



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 25, 2012**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variances (Rear Yard and Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2529 - 2533 Post Street	Case No.:	2012.0395V
Cross Street(s):	Baker Street & Lyon Street	Building Permit:	2012.03.27.6976
Block /Lot Nos.:	1081 / 049-051	Applicant (agent):	Andrew Morrall
Zoning District(s):	RH-3 / 40-X	Telephone:	(415) 282-0616
Area Plan:	N/A	E-Mail:	andy@morallarch.com

PROJECT DESCRIPTION

The proposal is removal and replacement of existing decks and exit stairs at the rear of the three-story, three-family dwelling. The proposed rear decks will be set back approximately 13'6" from the north property line and will abut the south property line with a one hour fire-rated wall with a height of approximately 28' above grade. The new rear exit stairs will be set back approximately 5' from the north and east property lines.

SECTION 134 OF THE PLANNING CODE requires a rear yard in an RH-3 Zoning District to be equivalent to 45 percent of the total lot depth, or when using averaging, no less than 25 percent of the lot depth or 15 feet, whichever is greater. The subject property, with a lot depth of 110 feet, has a required rear yard of 27'6". The new rear deck and exit stairs will extend entirely into the required rear yard.

SECTION 188 OF THE PLANNING CODE prohibits the expansion or replacement of a noncomplying structure. Because a portion of the existing building already encroaches into the required rear yard, it is considered a legal noncomplying structure. Therefore, the proposed replacement and expansion would be contrary to Section 188 of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0395V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. The mailing of such notification will be performed separately.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

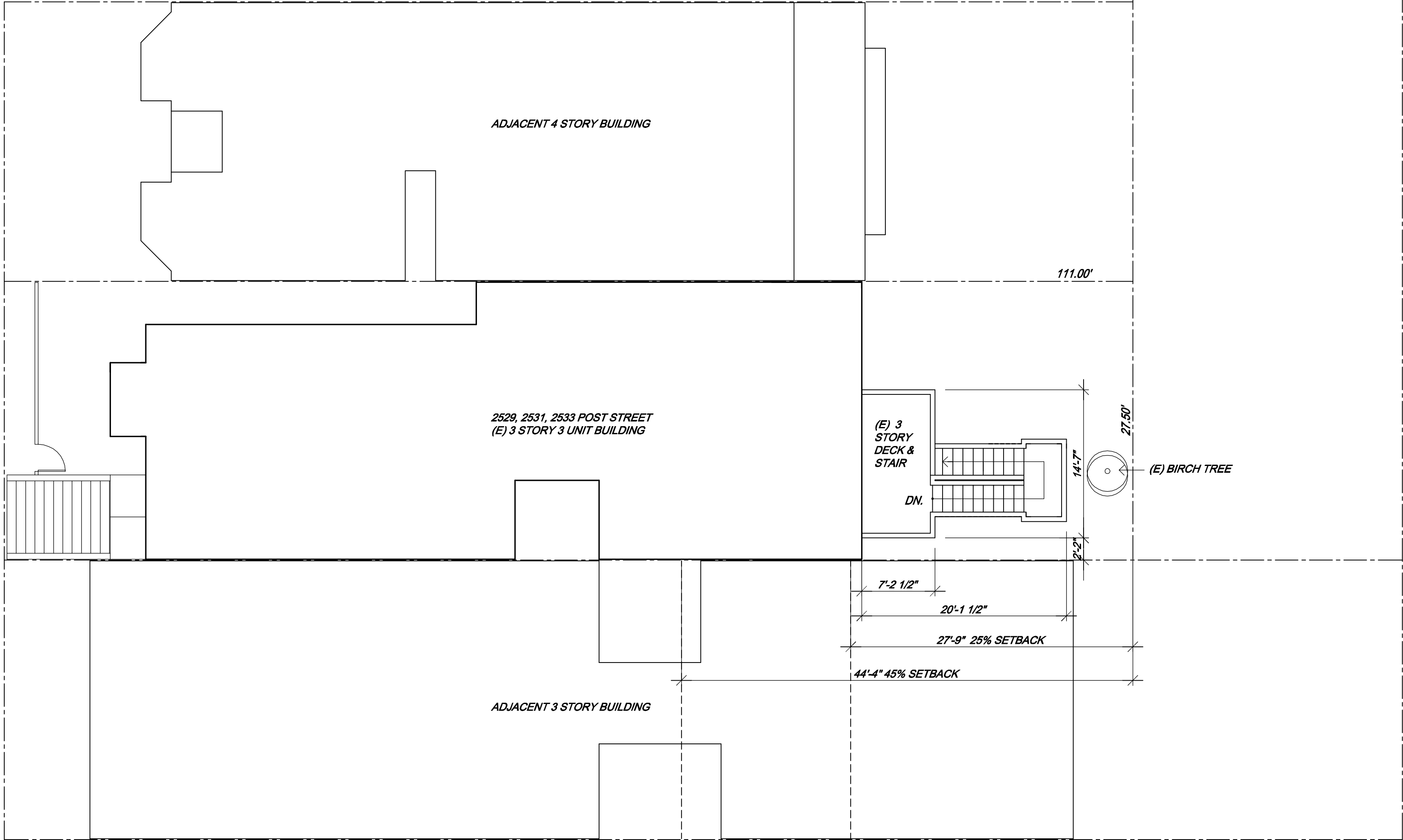
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

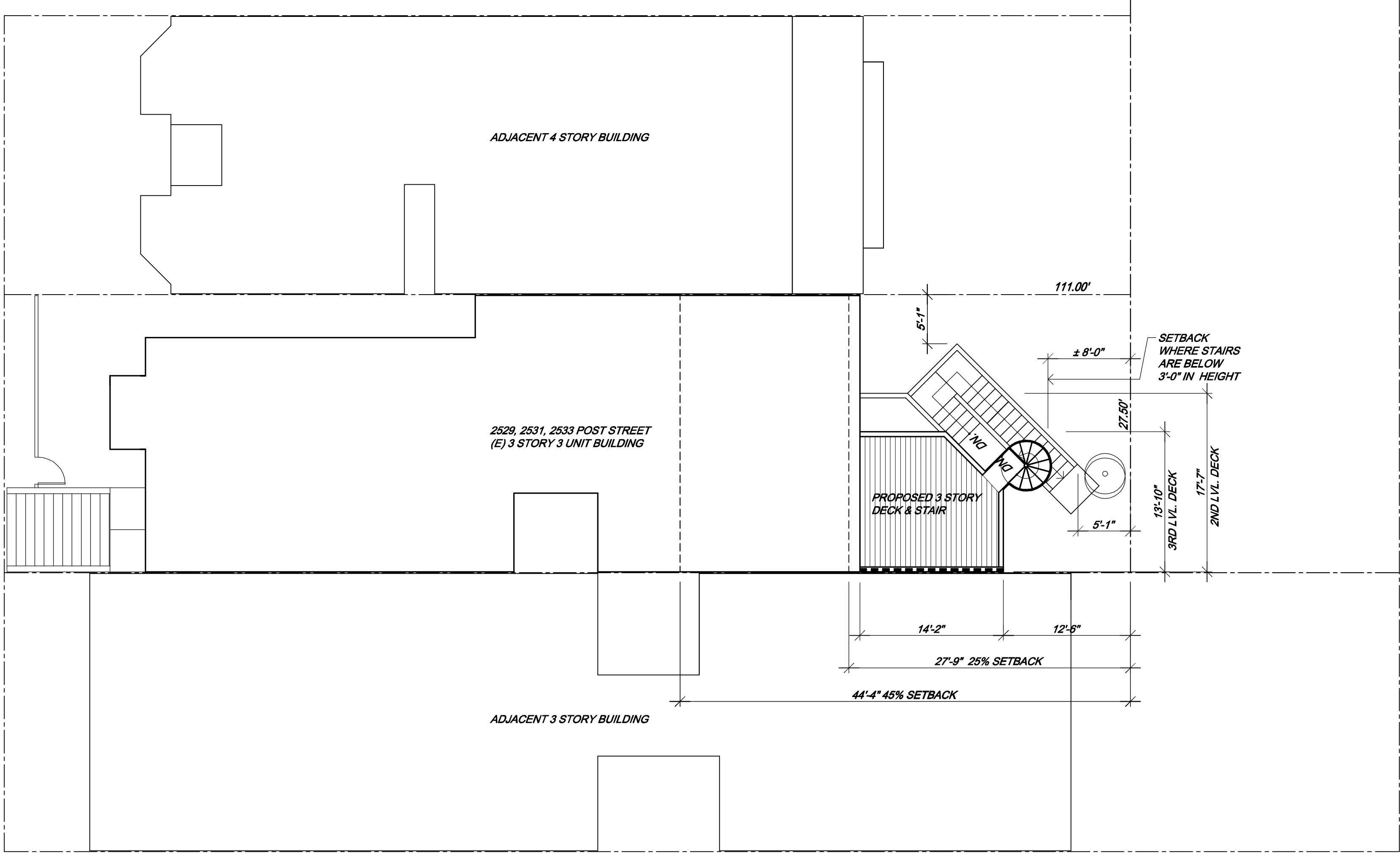
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



EXISTING REAR DECK SITE PLAN

1/8" = 1'-0"



PROPOSED REAR DECK SITE PLAN

1/8" = 1'-0"

PROJECT DATA

ALL WORK HEREIN SHALL BE ACCORDING TO THE MOST CURRENT CODES, THE 2010 CALIFORNIA BUILDING CODE, ELECTRICAL CODE, PLUMBING CODE, AND MECHANICAL CODE.

PROJECT ADDRESS: 2529, 2531, 2533 POST STREET

ZONING: RH3

BLOCK / LOT NO: 1081/049 - 051

OCCUPANCY TYPE: R2

BUILDING TYPE: V-A

EXISTING SQ. FT.: NA

REVISED SQ. FT.: NA

DESCRIPTION OF PROJECT:
DEMOLISH EXISTING DILAPIDATED DECK AND STAIR. REPLACE WITH NEW, CODE COMPLIANT DECK AND STAIR.

OWNER CONTACT:
KEVIN WEIL
2531 POST STREET
SAN FRANCISCO CA. 94115
415-351-1866

ARCHITECT:
ANDREW MORRALL
2730 MISSION STREET
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415-282-0616

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IMPROVEMENTS FOR THE RESIDENCE OF:

2529,2531 & 2533 POST ST.
SAN FRANCISCO, CA. 94115

SHEET INDEX

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- A-1.2 PROPOSED THIRD LEVEL REAR DECK PLAN
- A-2.1 PROPOSED REAR DECK ELEVATIONS
- A-2.2 PROPOSED REAR DECK ELEVATIONS AND SECTION
- A-3.1 EXISTING GRADE LEVEL & SECOND LEVEL REAR DECK PLANS
- A-3.2 EXISTING THIRD LEVEL REAR DECK PLANS & EXISTING REAR DECK ELEVATION
- A-3.3 EXISTING REAR DECK ELEVATIONS

SHEET TITLE:

PROPOSED & EXISTING
SITE PLANS

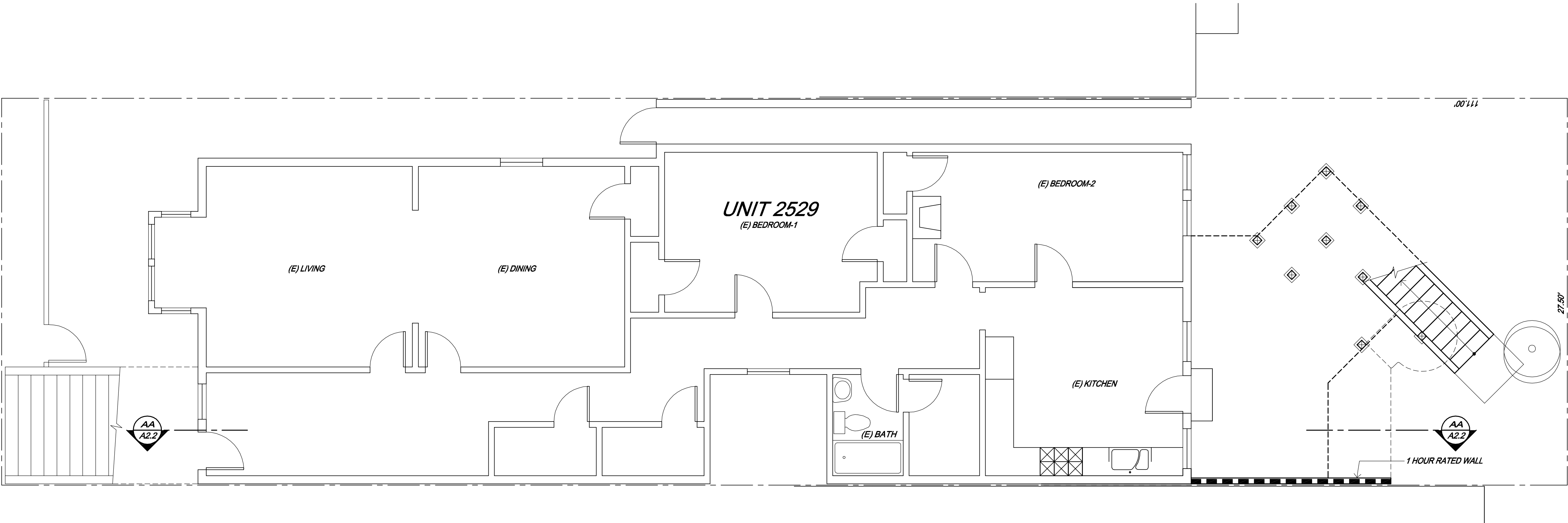
DATE : ISSUANCE:

02.23.12 VARIANCE

SHEET NUMBER:

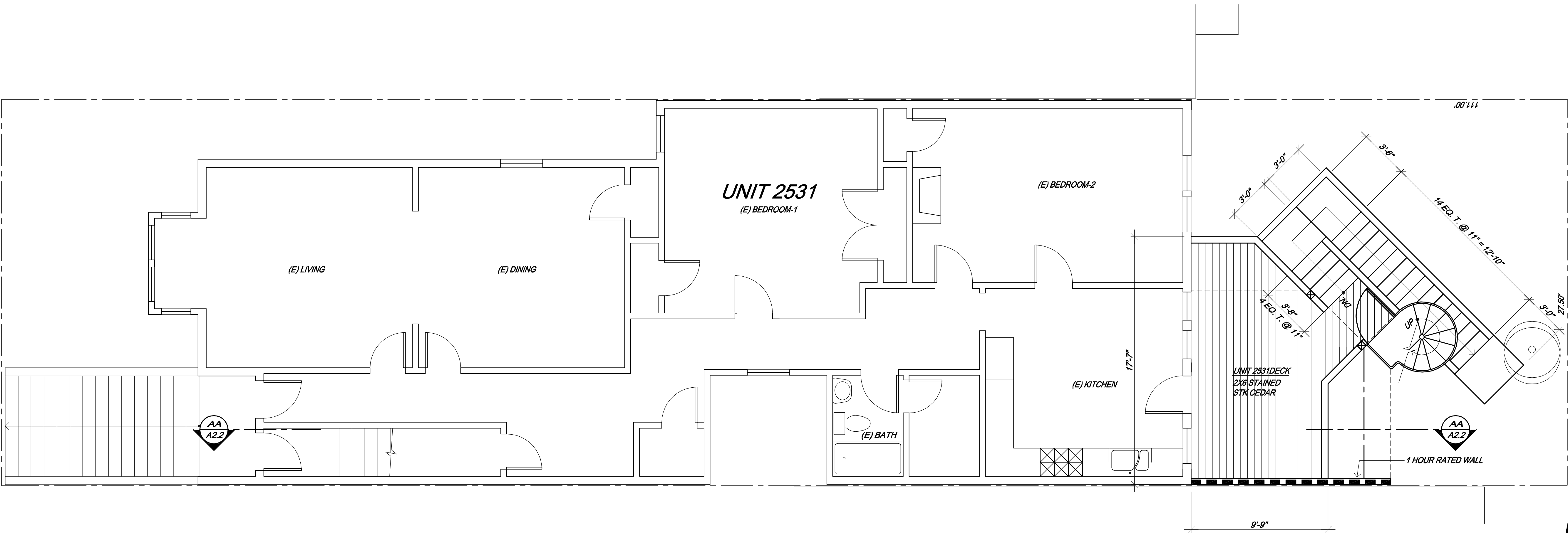
A-0.1

IMPROVEMENTS FOR THE RESIDENCE OF:
2529,2531 & 2533 POST ST.
SAN FRANCISCO, CA. 94115



PROPOSED GRADE LEVEL REAR DECK
1/4" = 1'-0"

SHEET TITLE:
PROPOSED GRADE &
SECOND LEVEL DECK



PROPOSED SECOND LEVEL REAR DECK
1/4" = 1'-0"

DATE : 02.23.12
ISSUANCE: VARIANCE

SHEET NUMBER:
A-1.1

IMPROVEMENTS FOR THE RESIDENCE OF:

2529,2531 & 2533 POST ST.

SAN FRANCISCO, CA. 94115

SHEET TITLE:

PROPOSED THIRD

LEVEL DECK

DATE :

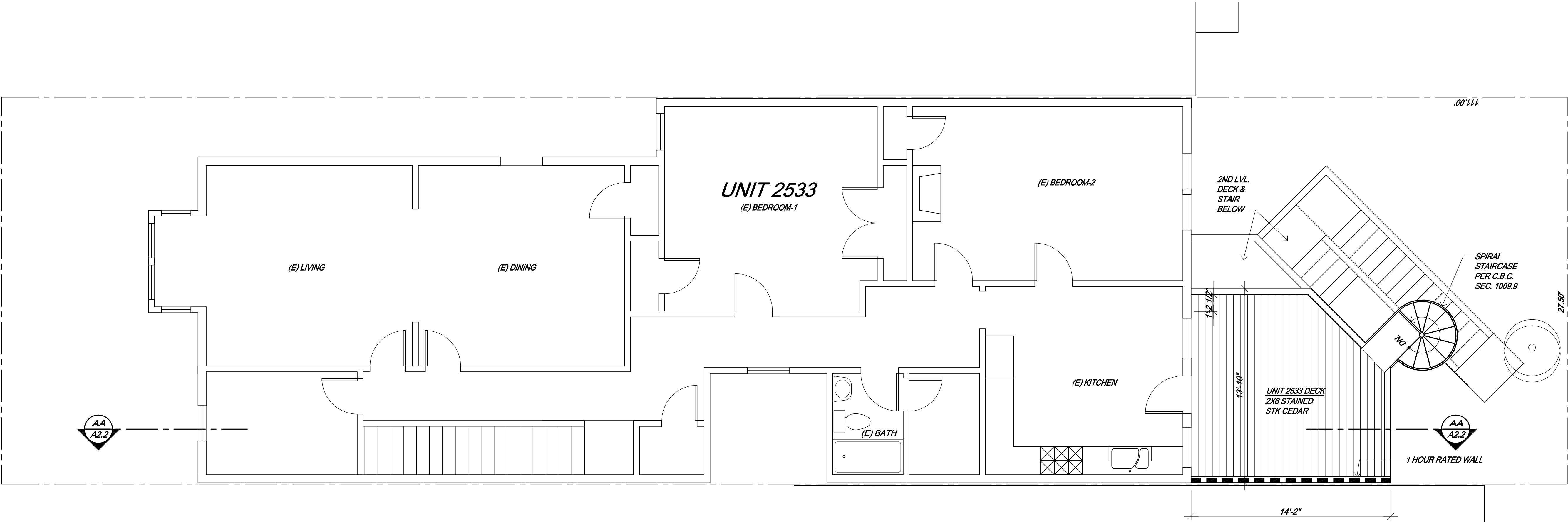
ISSUANCE:

02.23.12

VARIANCE

SHEET NUMBER:

A-1.2



PROPOSED THIRD LEVEL REAR DECK

1/4" = 1'-0"

PROJECT NORTH

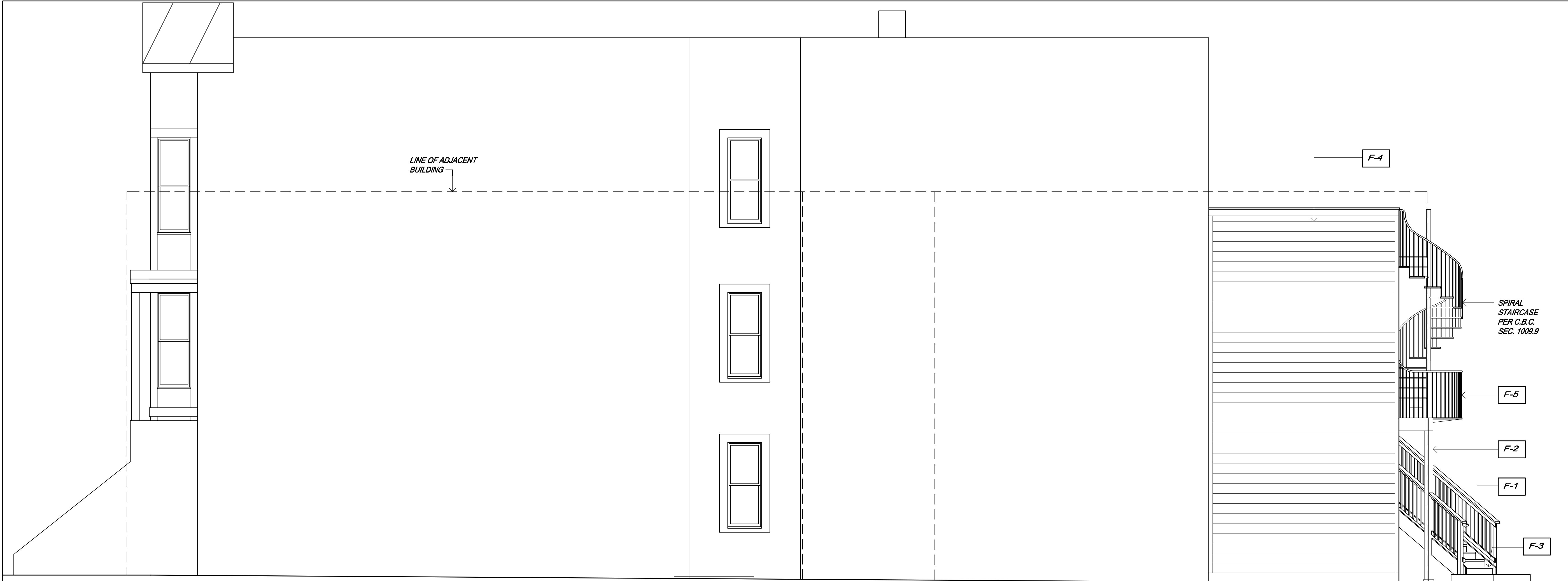
IMPROVEMENTS FOR THE RESIDENCE OF:
2529,2531 & 2533 POST ST.
SAN FRANCISCO, CA. 94115

SHEET TITLE:

PROPOSED DECK ELEVATIONS

DATE : 02.23.12ISSUANCE: VARIANCE

SHEET NUMBER:
A-2.1



PROPOSED DECK LEFT SIDE ELEVATION - FACING SOUTH
1/4" = 1'-0"



IMPROVEMENTS FOR THE RESIDENCE OF:
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SHEET TITLE:

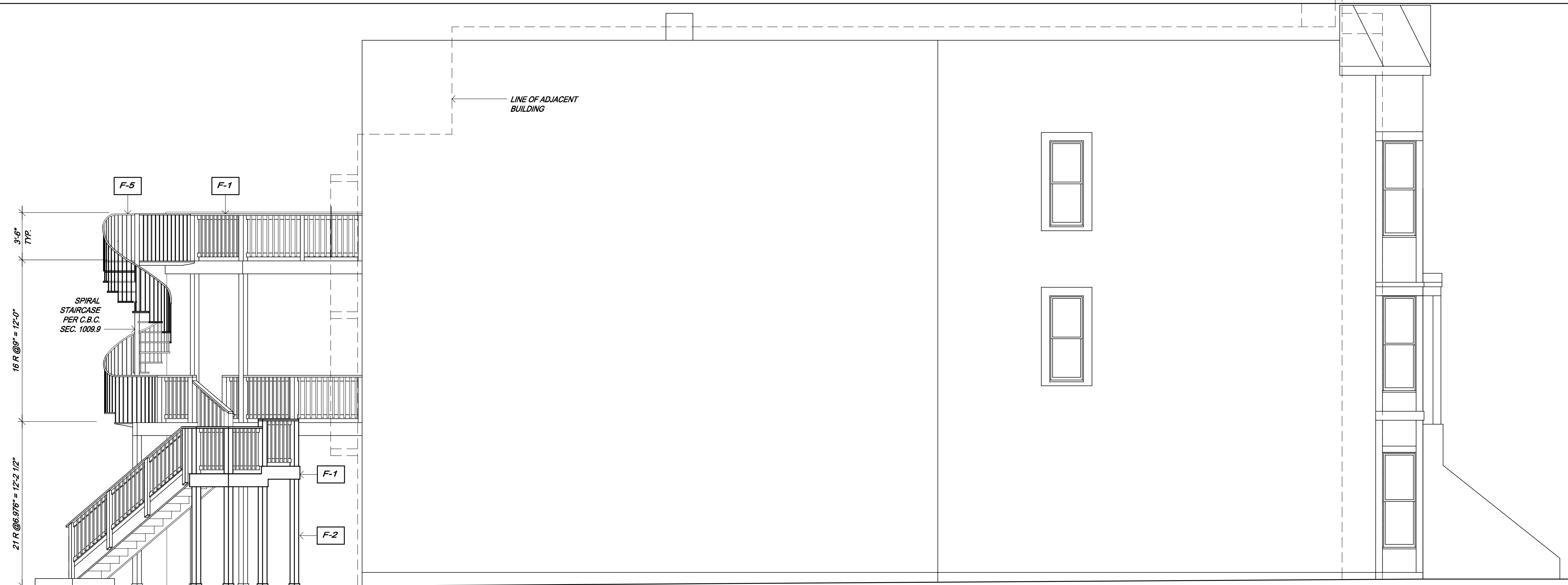
PROPOSED DECK
ELEVATION & SECTION

DATE : ISSUANCE:

02.23.12 VARIANCE

SHEET NUMBER:

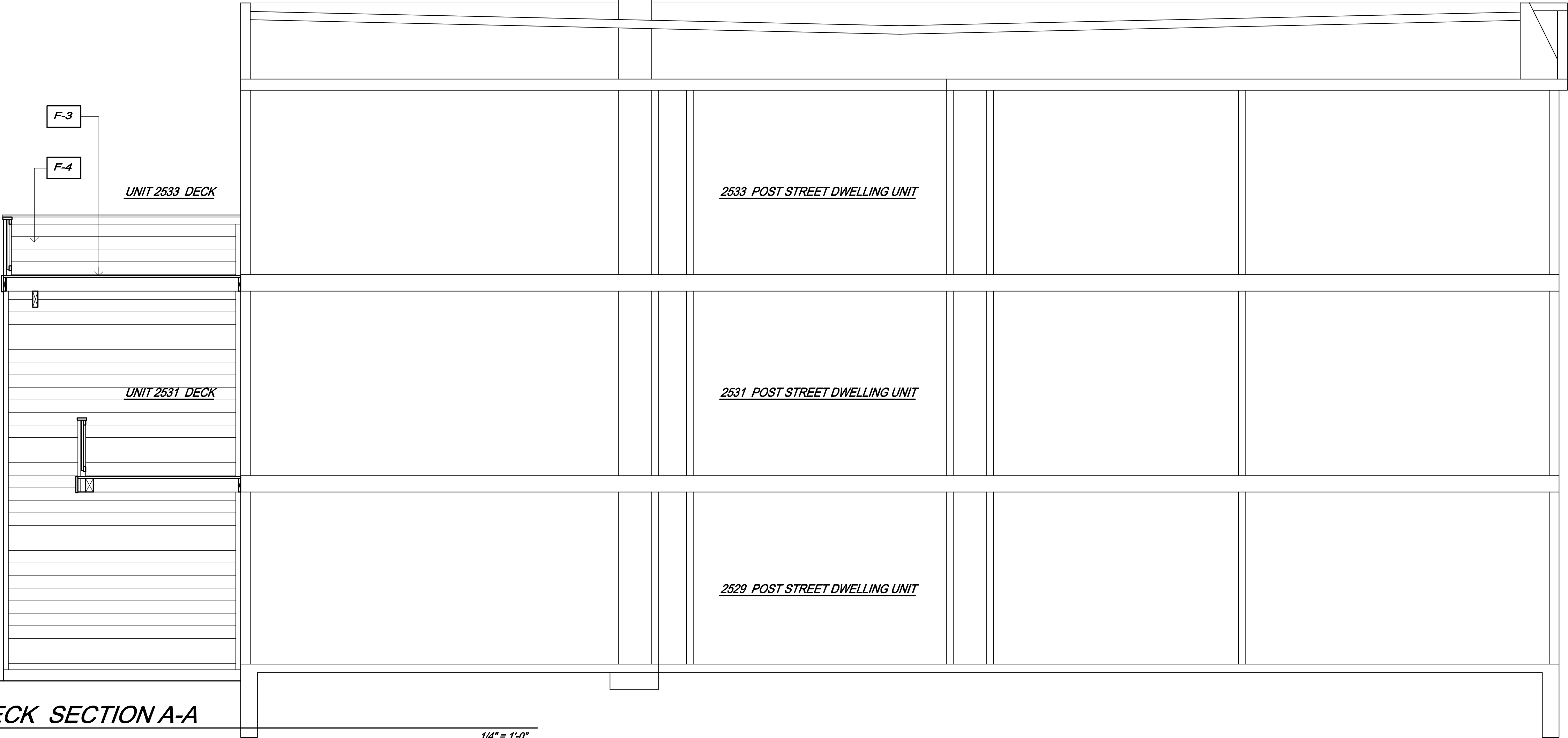
A-2.2



PROPOSED DECK RIGHT SIDE ELEVATION - FACING SOUTH
1/4" = 1'-0"

MATERIAL LEGEND

- F-1 PRIMED 6S & PAINTED TO MATCH BLDG. TRIM STK DRY CEDAR GUARD RAIL AND DECK SKIRT
- F-2 PRIMED 6S & PAINTED TO MATCH BLDG. TRIM WD. STRUCTURAL POSTS
- F-3 STAINED STK CEDAR 2X6 DECKING AND STAIR TREADS AND RISERS
- F-4 SMOOTH HARDPLANK SIDING, EXPOSURE TO MATCH (E)
- F-5 PTD. GALV. MTL. STAIR TO MATCH (E) HOUSE TRIM



PROPOSED DECK SECTION A-A

1/4" = 1'-0"

IMPROVEMENTS FOR THE RESIDENCE OF:

2529,2531 & 2533 POST ST.

SAN FRANCISCO, CA. 94115

SHEET TITLE:

EXISTING GRADE &

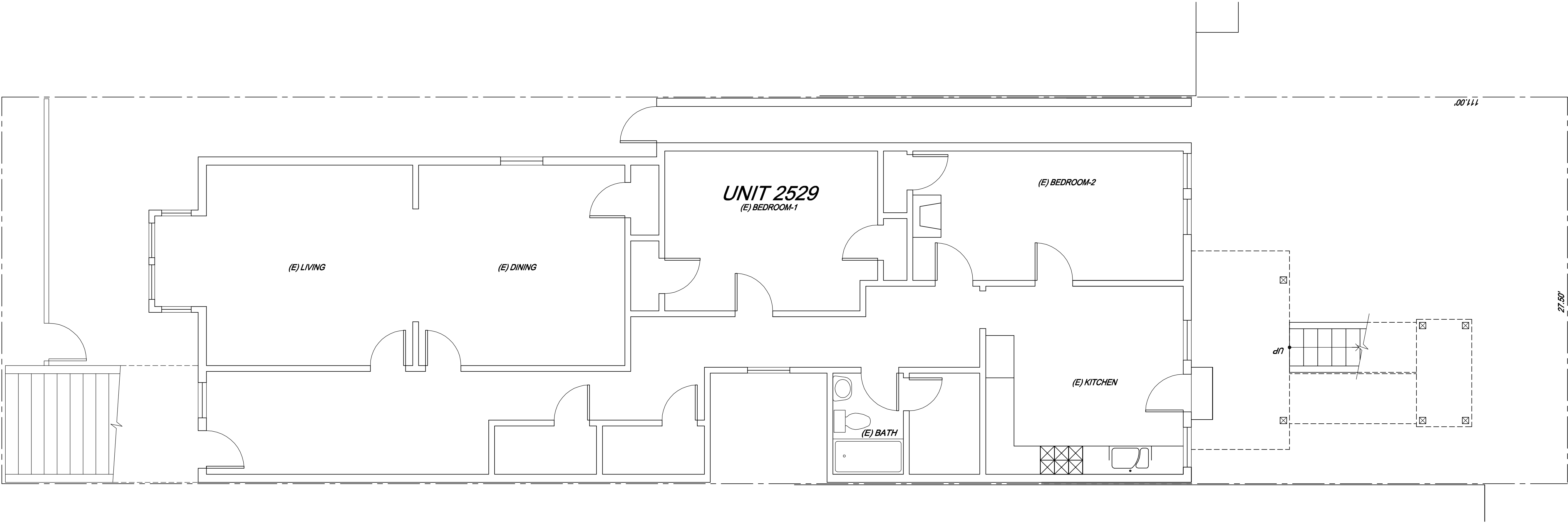
SECOND LEVEL DECK

DATE :ISSUANCE:

02.23.12VARIANCE

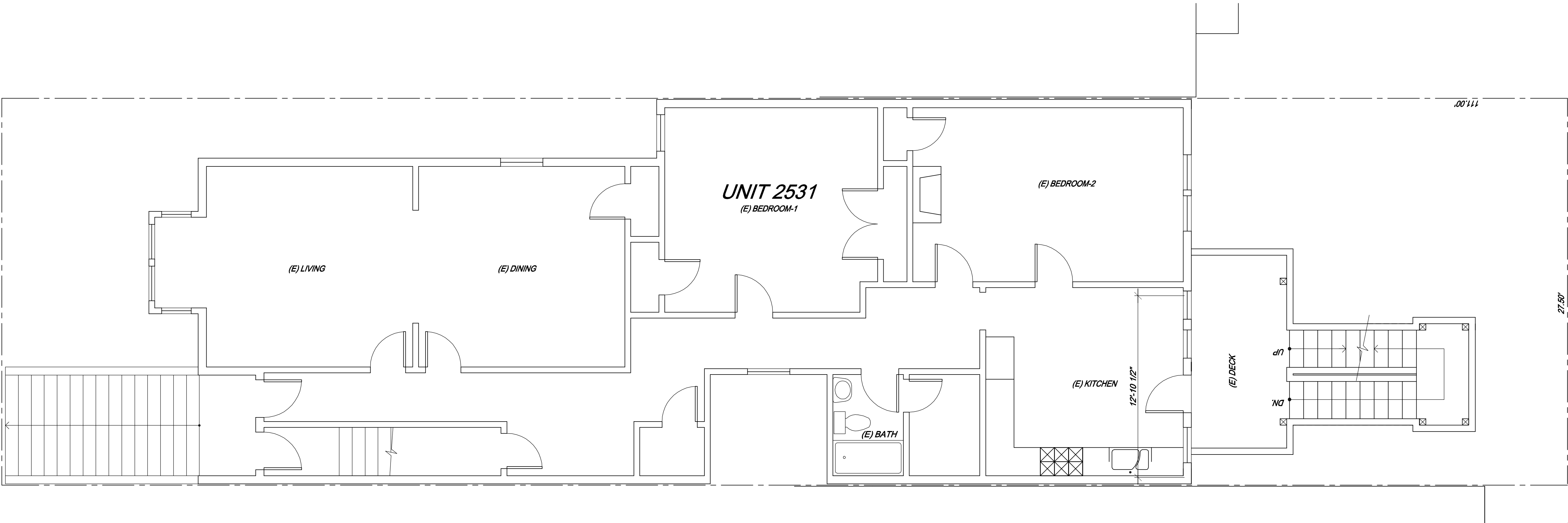
SHEET NUMBER:

A-3.1



EXISTING GRADE LEVEL REAR DECK

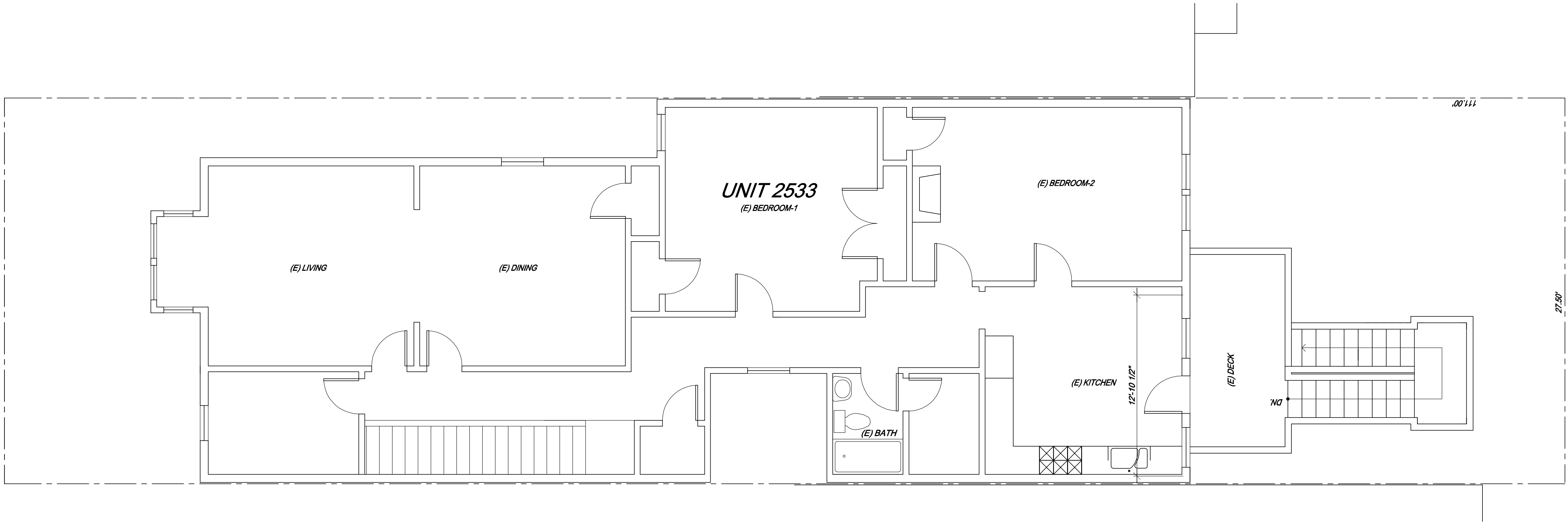
1/4" = 1'-0"



EXISTING SECOND LEVEL REAR DECK

1/4" = 1'-0"

PROJECT NORTH



EXISTING THIRD LEVEL REAR DECK

1/4" = 1'-0"

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2730 MISSION STREET
SAN FRANCISCO CA. 94110
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IMPROVEMENTS FOR THE RESIDENCE OF:

2529,2531 & 2533 POST ST.
SAN FRANCISCO, CA. 94115

SHEET TITLE:

EXISTING THIRD
LEVEL DECK

DATE : ISSUANCE:

02.23.12 VARIANCE

SHEET NUMBER:

A-3.2

PROJECT NORTH

IMPROVEMENTS FOR THE RESIDENCE OF:
2529,2531 & 2533 POST ST.
SAN FRANCISCO, CA. 94115

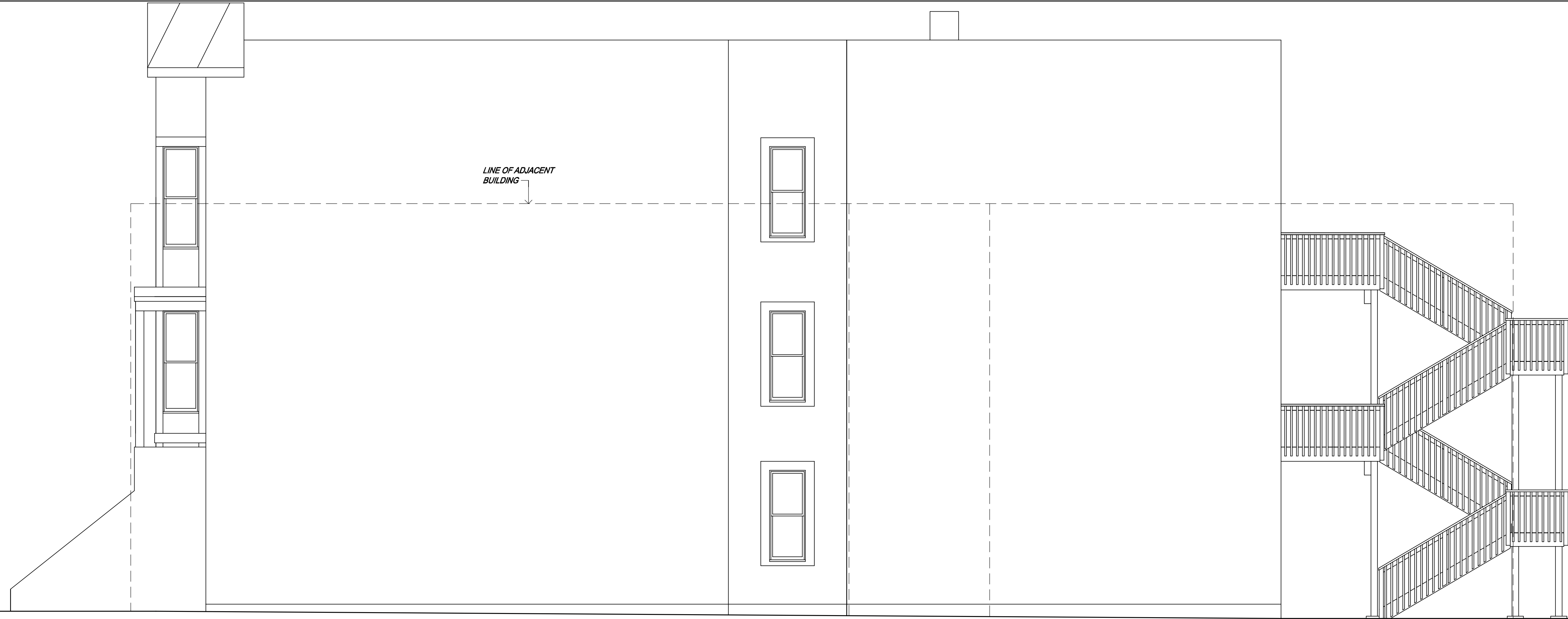
SHEET TITLE:

EXISTING DECK
ELEVATIONS

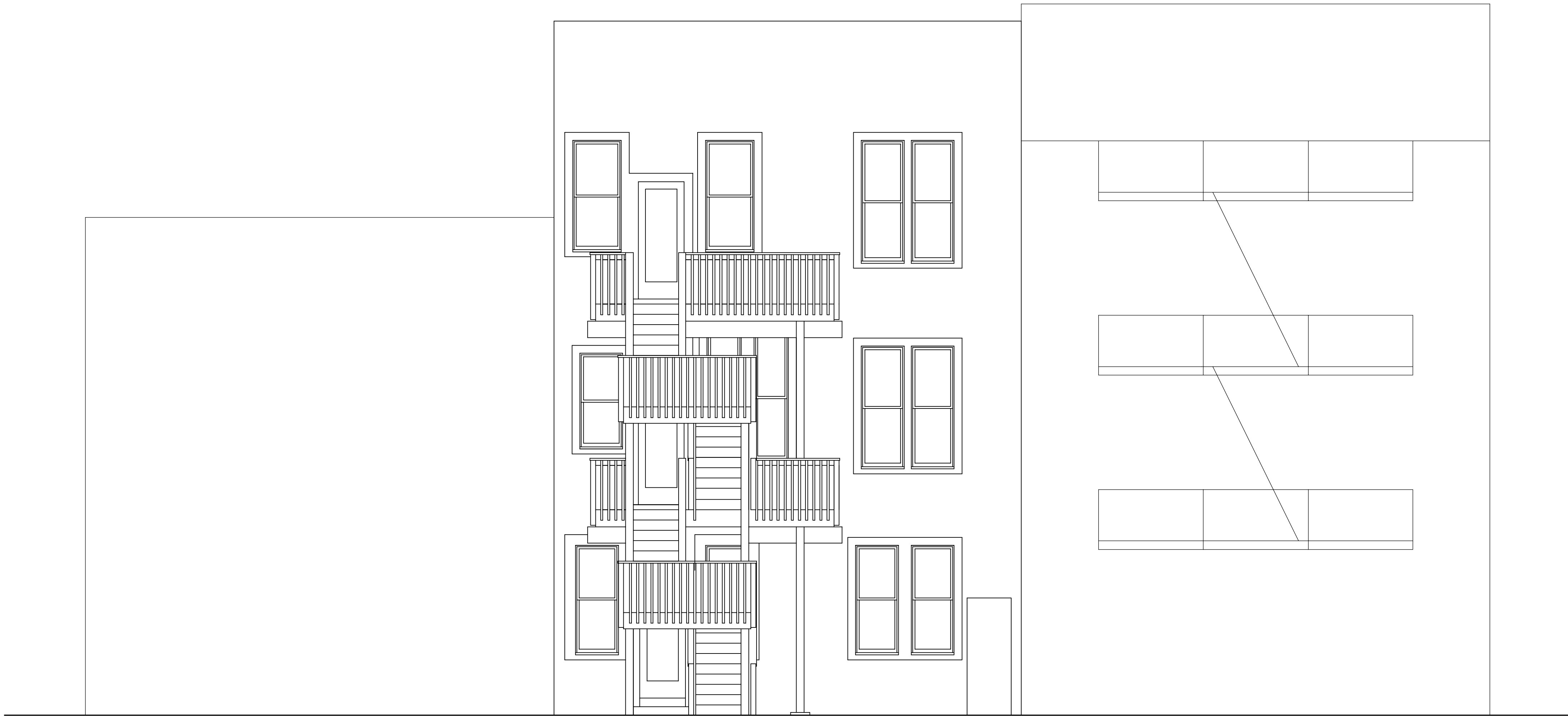
DATE :	ISSUANCE:
06.15.11	CLIENT REVIEW
02.03.12	OWNER REVIEW

SHEET NUMBER:

A-3.3



EXISTING DECK LEFT SIDE ELEVATION - FACING SOUTH
RIGHT SIDE SIMILAR 1/4" = 1'-0"



EXISTING DECK REAR ELEVATION - FACING EAST
1/4" = 1'-0"