



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 24, 2012**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Off-Street Parking)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 672 Peralta Avenue	Case No.: 2012.0379V
Cross Street(s): Powhattan Street	Building Permit: 201111038253
Block / Lot No.: 5638/007	Applicant/Agent: David Sternberg
Zoning District(s): RH-2 / 40-X	Telephone: 415-882-9783 x11
Area Plan: Bernal Heights	E-Mail: dsternberg@sternbergbenjamin.com

PROJECT DESCRIPTION

The proposal is a vertical and horizontal addition to add habitable space within the existing three-story, single-family dwelling.

Planning Code Section 242 establishes the parking requirement for properties located in the Bernal Heights Special Use District. The project proposes an addition of approximately 400 square feet; therefore, Planning Code Section 242 requires two off-street parking spaces for the project. The first space must be a standard space with a minimum length of 18'-6" and an area of 160 square feet; each subsequent space may be a compact space with a minimum length of 16'-0" and an area of 127.5 square feet. Both spaces must be independently accessible and allow maneuvering space. The existing garage does not provide sufficient maneuvering space to accommodate two independently accessible off-street parking spaces; therefore, a Variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **ben fu** Telephone: **415-558-6613** Mail: ben.fu@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0379V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

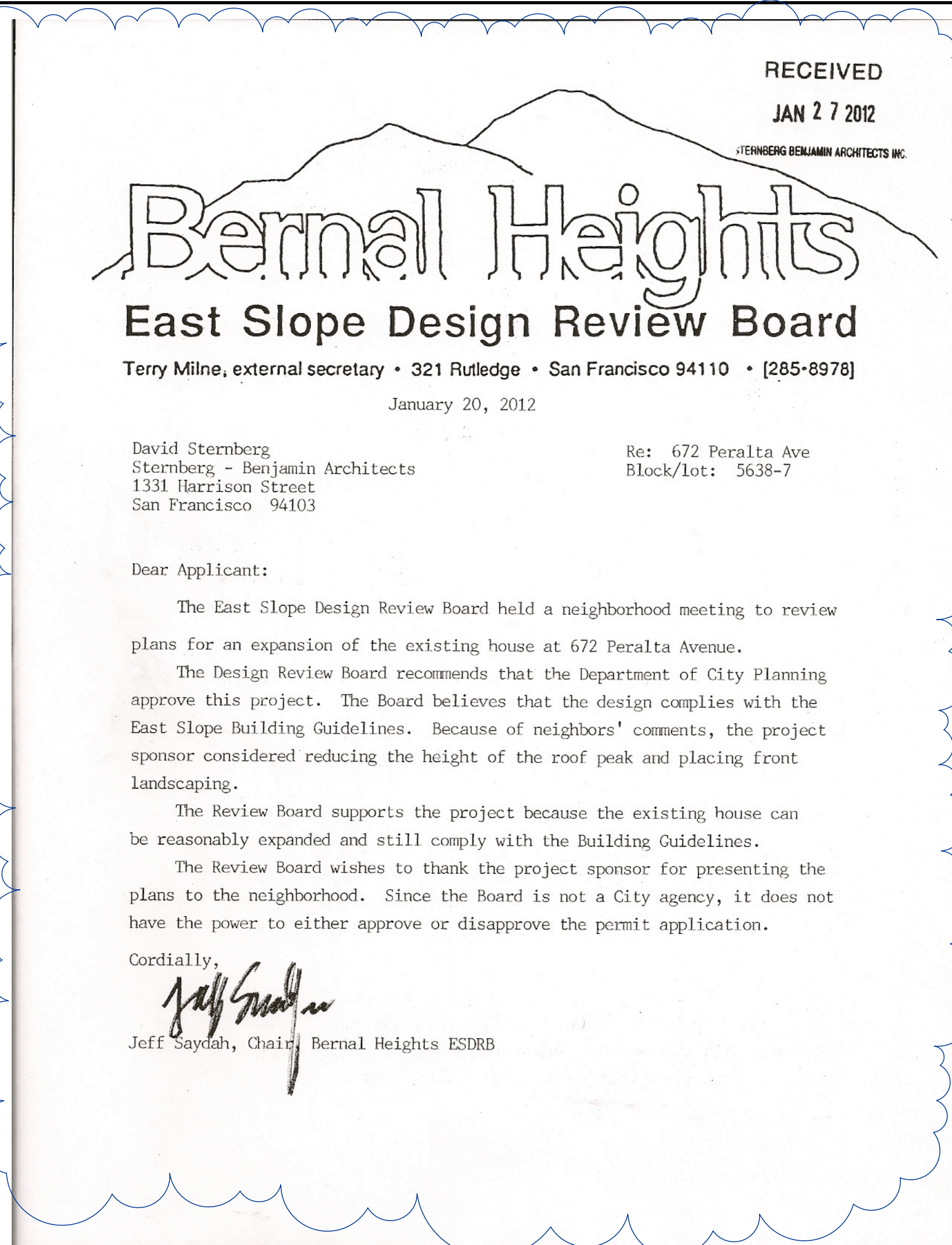
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



BUILDING DEPARTMENT NOTES

672 PERALTA AVENUE, SAN FRANCISCO, CA.

BLOCK AND LOT: BLOCK 5638 LOT 007

APPLICABLE BUILDING CODES: 2010 CALIFORNIA BUILDING CODE W/ SAN FRANCISCO AMENDMENTS, 2010 MECHANICAL, ELECTRICAL, PLUMBING AND FIRE CODES.

OCCUPANCY CLASSIFICATION: GROUP R-3, SINGLE-FAMILY RESIDENTIAL AND GROUP U, PRIVATE GARAGE.

CONSTRUCTION TYPE: TYPE V-B, 0 HOUR, WOOD FRAME CONSTRUCTION

MECHANICAL WORK: MECHANICAL AND VENTILATION WORK SHALL BE UNDER SEPARATE PERMIT.

	EXISTING:	ALLOWABLE:	PROPOSED:
CONST. TYPE	V, B	V, B	V, B
OCCUP. GROUP	R-3 / U	R-3 / U	R-3 / U
BLDG. HEIGHT	24'-5.5"	35'-0" / 35'-0"	33'-0"
TOTAL BLDG. AREA	1,268 SF	UL / 5,500 SF	1,663 SF
NO. OF STORIES	2 STORIES OVER BASEMENT	3 / 1 STORY	2 STORIES OVER BASEMENT
NO. OF UNITS	1	1 / 1	1
FIRE SPRINKLERS	NO	NO / NO	NO
SEISMIC UPGRADE	NO	YES / YES	YES / YES

PLANNING DEPARTMENT NOTES

PROJECT LOCATION: 672 PERALTA AVENUE, SAN FRANCISCO, CA,
BLOCK 5638, LOT 007.

ZONING DISTRICT: RH-2, RESIDENTIAL HOUSE, TWO FAMILY.
BERNAL HEIGHTS SUD, SFPC SECTION 242.

HEIGHT / BULK LIMIT: 30'. SUBJECT TO BERNAL HEIGHTS SUD FOR UPSLOPE LOT.

REAR YARD SETBACK: 35%, SUBJECT TO BERNAL HEIGHTS SUD.
35% REAR YARD PROVIDED.

FLOOR AREA RATIO (F.A.R.): NOT APPLICABLE

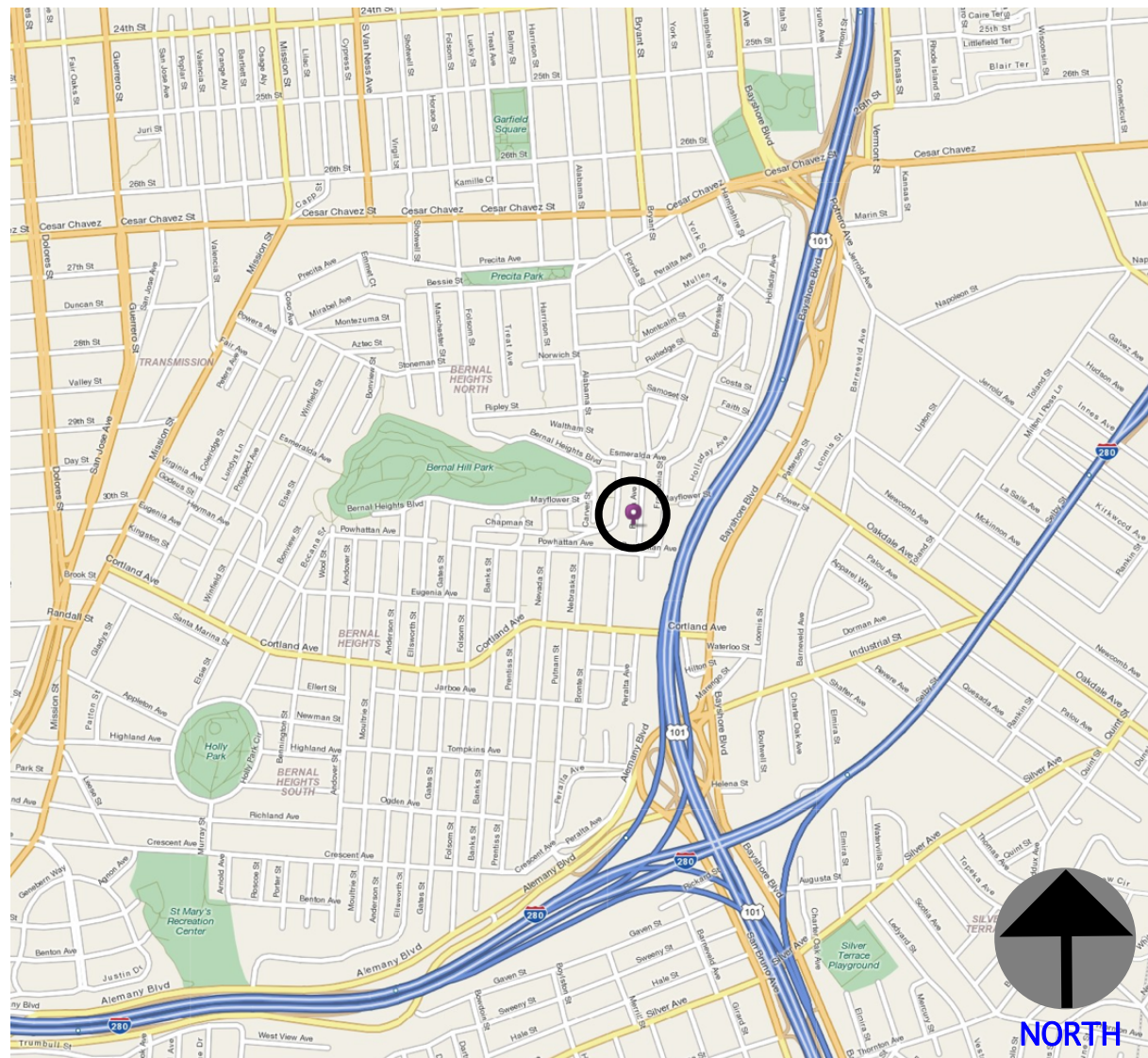
PARKING: EXISTING SINGLE FAMILY HOUSE CONTAINS ONE PARKING SPACE. THE PROPOSED REMODEL ADDS 395 SF (OVER 200 SF IN RH-2) OF AREA REQUIRING ONE ADDITIONAL PARKING SPACE. PARKING VARIANCE SHALL BE APPLIED FOR AS SITE CONSTRAINTS WILL NOT ALLOW THE ADDITION OF ANOTHER PARKING SPACE.

BUILDING AREAS:

EXISTING:	
FIRST FLOOR:	461 SF
SECOND FLOOR:	807 SF
TOTAL:	<u>1,268 SF</u>

PROPOSED:	
FIRST FLOOR:	822 SF
SECOND FLOOR:	841 SF
TOTAL:	<u>1,663 SF</u>

VICINITY MAP




SCOPE OF WORK

REMOVE EXISTING TWO STORY OVER BASEMENT SINGLE FAMILY HOUSE. EXISTING HOUSE CONTAINS TWO BEDROOMS, STUDY, ONE BATHROOM, LAUNDRY ROOM AND ONE-CAR GARAGE. REMODELED HOUSE SHALL CONTAIN THREE BEDROOMS, TWO AND ONE-HALF BATHROOMS, LAUNDRY AREA, ROOF TERRACE AND ONE-CAR GARAGE. THE EXISTING UPPER FLOORS SHALL BE RAISED 5'-6" TO ALLOW FOR MORE USABLE ADDITIONAL ROOMS. THE ROOF SHALL BE 5'-6" TALLER AT THE FLAT PORTION AND 8'-2.5" AT THE SLOPED PORTION. WORK ALSO TO INCLUDE REPLACEMENT OF THE FOLLOWING: WINDOWS, DOORS, AND ALL UTILITIES AND FINISHES.

DRAWING INDEX

A0	COVER SHEET
A1	(E) SITE PLAN
A2	(E) FLOOR PLANS
A3	(E) BUILDING SECTION
A4	(E) SOUTH AND EAST ELEVATIONS
A5	(E) NORTH AND WEST ELEVATIONS
A6	PROPOSED SITE PLAN
A7	PROPOSED FLOOR PLANS
A8	PROPOSED SECTION AND ROOF PLAN
A9	PROPOSED SOUTH AND EAST ELEVATIONS
A10	PROPOSED NORTH AND WEST ELEVATIONS

PERMIT APPLICATION # 2011 1103 8253

<p>1331 HARRISON STREET SAN FRANCISCO, CA 94103 TEL 415.882.9783 FAX 415.885.9786</p> <p> STERNBERG ARCHITECTS</p> <p>www.sternbergbenjamin.com</p>		<p>SINGLE FAMILY HOUSE REMODEL 672 PERALTA AVENUE BLOCK 5838 LOT 007 SAN FRANCISCO, CA. 94110</p>		<p>COVER SHEET</p>	
PRE-APP.	09/14/11				
PERMIT	10/28/11				
PLNG REV	02/13/12				
Rev./Issue.	Date				
Date:	08/20/11				
Scale:	1/4"=1'-0"				
Drawn:	DS				
Sheet:	A0				



1


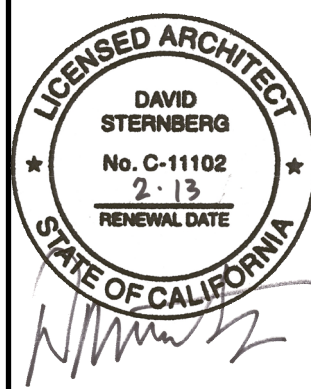


Rev./Issue.	Date
Date:	08/20/11
Scale:	1/4"=1'-0"
Drawn:	DS
Sheet:	

A1

EXISTING SITE /
ROOF PLAN

SINGLE FAMILY HOUSE
REMODEL
672 PERALTA AVENUE
BLOCK 5638 LOT 007
SAN FRANCISCO, CA, 94110



STERNBERG
BENJAMIN

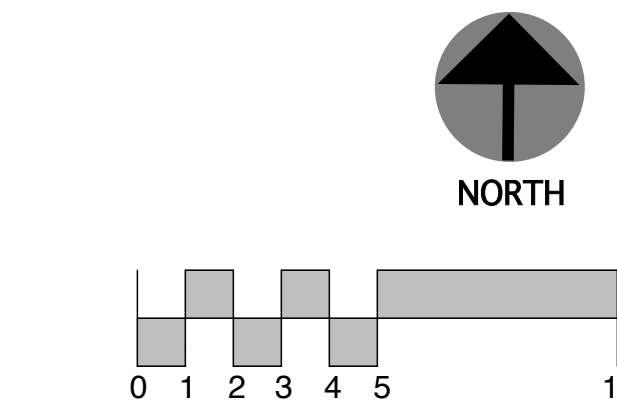
1331 HARRISON STREET
SAN FRANCISCO CA 94103
TEL 415.882.9783 FAX 415.882.9786
www.bergbenjamin.com

www.sternbergbenjamin.com



1331 HARRISON STREET
SAN FRANCISCO, CA 94103
TEL 415.882.9783 FAX 415.882.9786
www.burgbenjamin.com

www.sternbergbenjamin.com

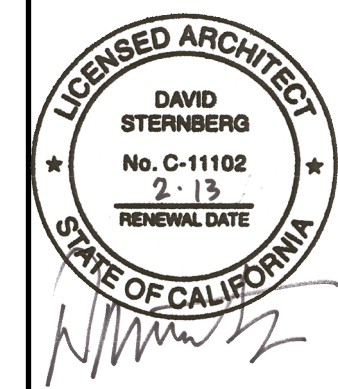


1

PERMIT APPLICATION # 2011 1103 8253

PPE-APP.	09/14/11
PERMIT	10/28/11
PLNG REV	02/13/12
Rev./Issue.	Date
Date:	08/20/11
Scale:	1/4"=1'-0"
Drawn:	DS
Sheet:	
A6	

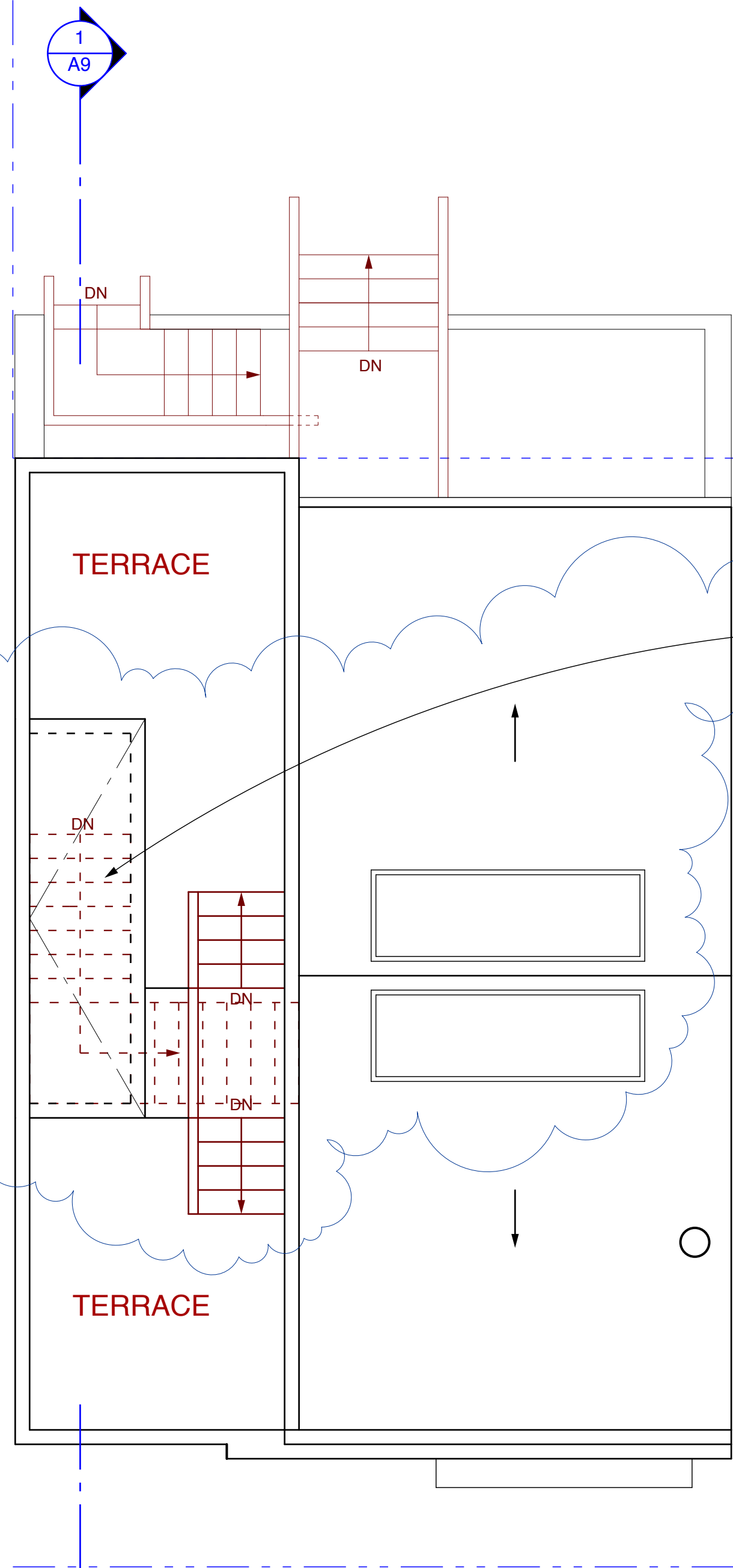
SINGLE FAMILY HOUSE
REMODEL
672 PERALTA AVENUE
BLOCK 5638 LOT 007
SAN FRANCISCO, CA. 94110



STERNBERG
BENJAMIN
ARCHITECTS

1331 HARRISON STREET
SAN FRANCISCO CA 94103
TEL 415.882.9783 FAX 415.882.9786
ergbenjamin.com

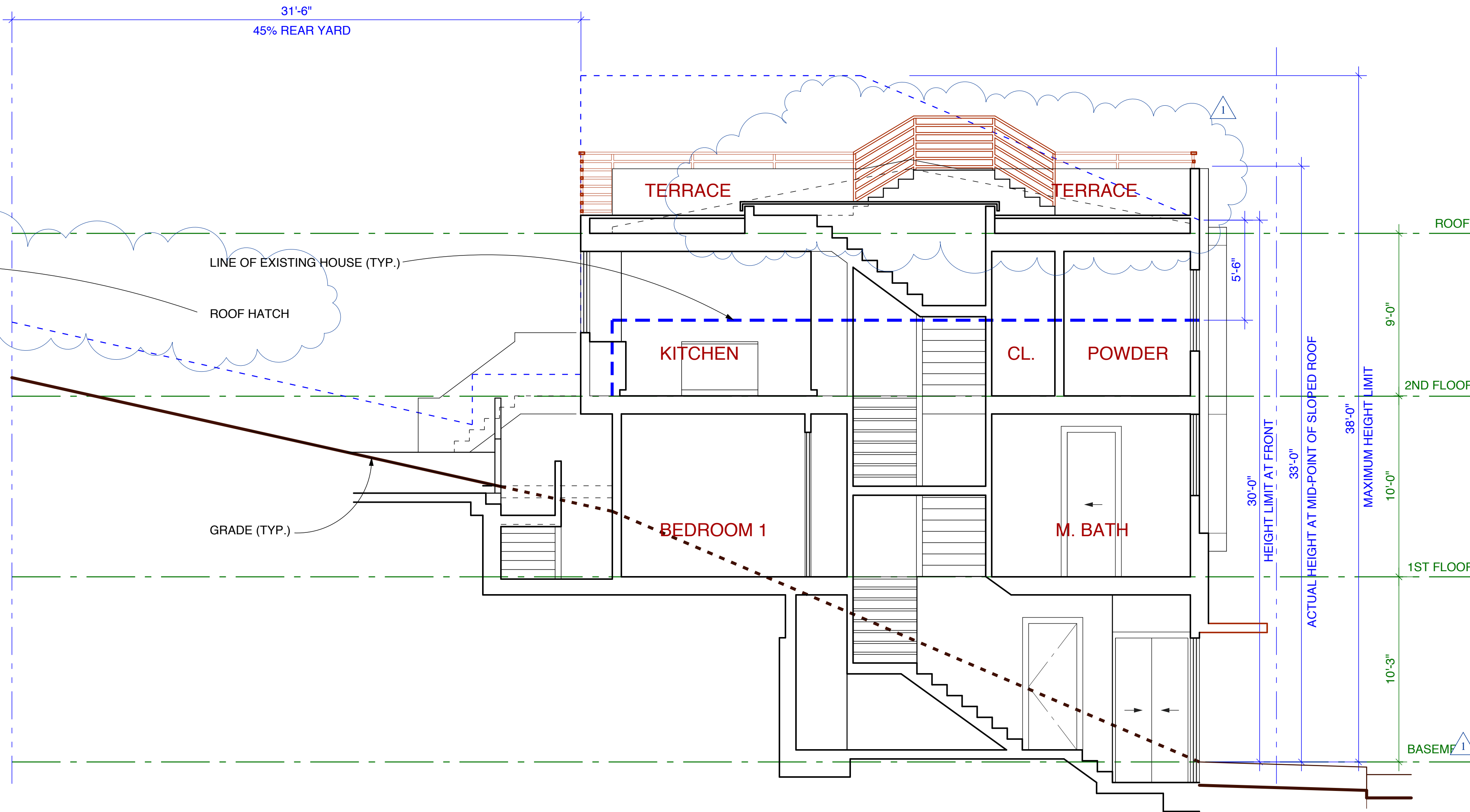
www.sternbergbenjamin.com



ROOF PLAN

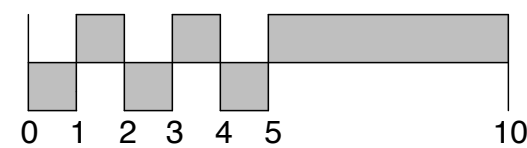


2



BUILDING SECTION

1



PERMIT APPLICATION # 2011 1103 8253

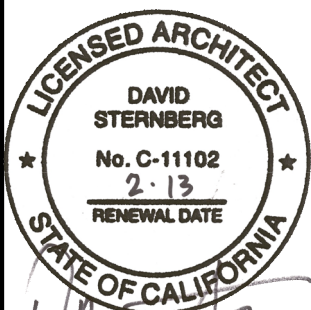
PRE-APP.	09/14/11
PERMIT	10/28/11
PLNG REV	02/13/12

Rev/Issue.	Date
------------	------

Date:	08/20/11
Scale:	1/4"=1'-0"
Drawn:	DS
Sheet:	

SINGLE FAMILY HOUSE
REMODEL
672 PERALTA AVENUE
BLOCK 5638 LOT 007
SAN FRANCISCO, CA. 94110

SECTION AND
ROOF PLAN

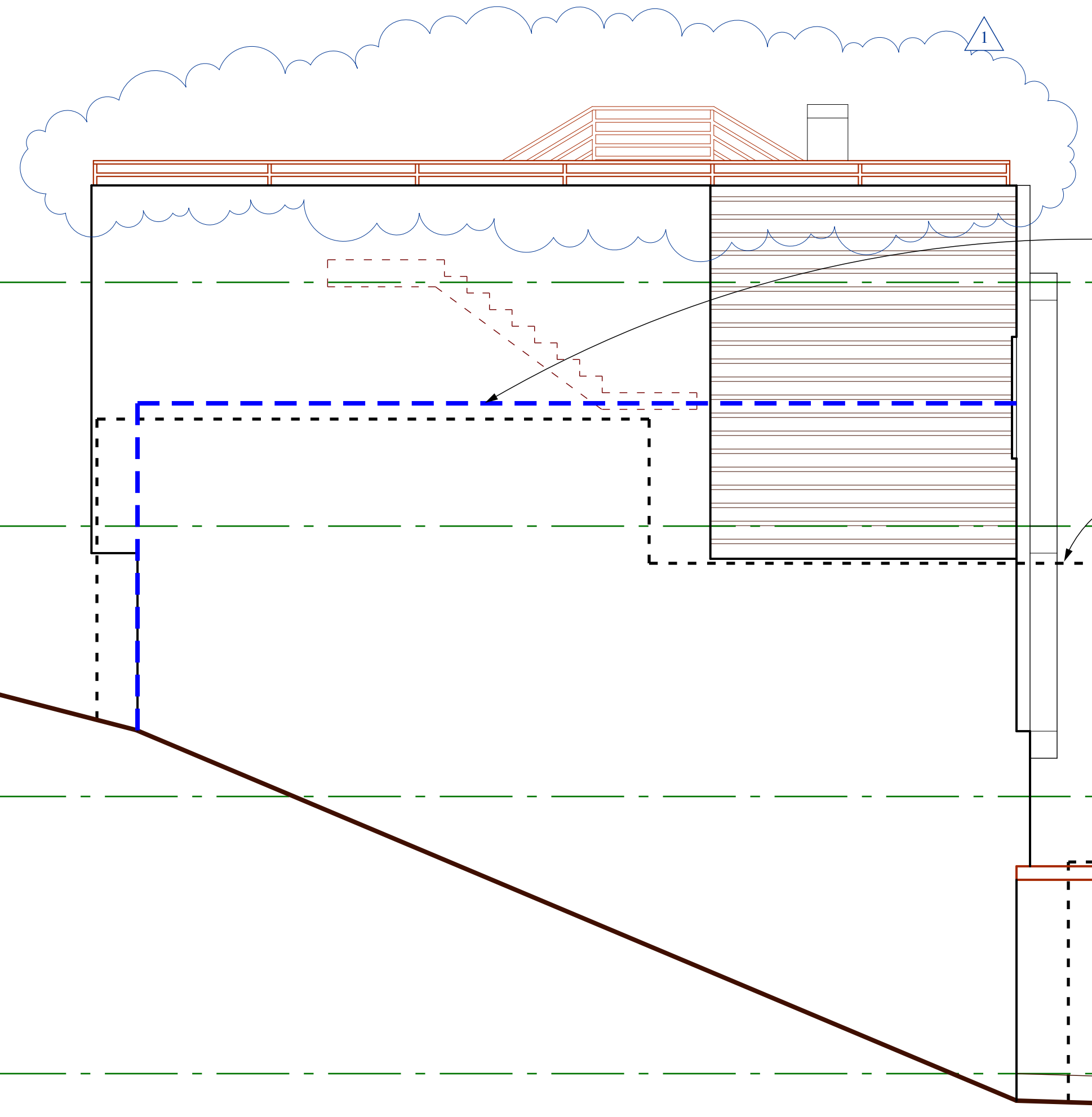


STERNBERG
BENJAMIN
ARCHITECTS

1331 HARRISON STREET
SAN FRANCISCO CA 94103
TEL 415.882.9783 FAX 415.882.9786

www.sternbergbenjamin.com

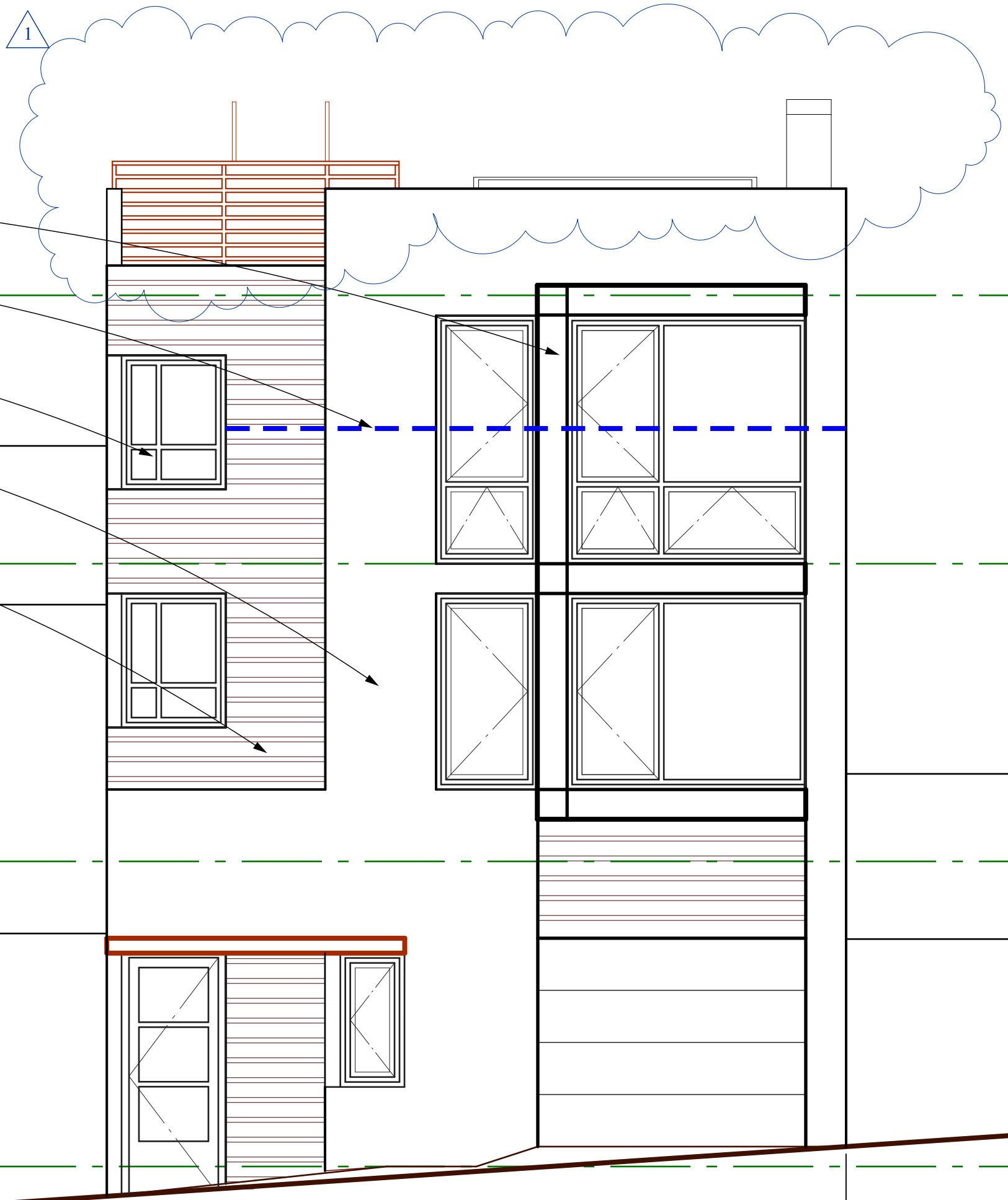
A8



- METAL AT BAY (TYP.)
- LINE OF EXISTING HOUSE (TYP.)
- METAL WINDOWS (TYP.)
- CEMENT PLASTER (TYP.)
- WOOD SIDING (TYP.)
- EXISTING BUILDING (FOREGROUND)

SOUTH (SIDE) ELEVATION

1



NEIGHBORING BUILDING

25' WIDE

672 PERALTA AVE.

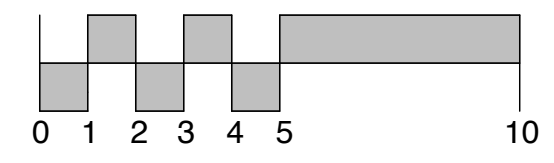
25' WIDE

VACANT LOT

25' WIDE

EAST (FRONT) ELEVATION

2



PERMIT APPLICATION # 2011 1103 8253

1331 HARRISON STREET
SAN FRANCISCO CA 94103
TEL 415.882.9783 FAX 415.882.9786

STERNBERG
BENJAMIN
ARCHITECTS

www.sternbergbenjamin.com

LICENSED ARCHITECT
DAVID STERNBERG
No. C-11102
2-13
RENEWAL DATE

STATE OF CALIFORNIA

Signature

SINGLE FAMILY HOUSE
REMODEL
672 PERALTA AVENUE
BLOCK 5638 LOT 007
SAN FRANCISCO, CA. 94110

PROPOSED SOUTH &
EAST ELEVATIONS

PRE-APP. 09/14/11

PERMIT 10/28/11

PLNG REV 02/13/12

Rev/Issue.

Date

Date: 08/20/11

Scale: 1/4"=1'-0"

Drawn: DS

Sheet:

A9