



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
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Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 24, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(rear yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>2764 Greenwich Street</b>	Case No.: <b>2012.0211V</b>
Cross Street(s): <b>Baker/Broderick</b>	Building Permit: <b>2010.03.24.8854</b>
Block / Lot No.: <b>0939/053</b>	Applicant/Agent: <b>Brian Milford, Architect</b>
Zoning District(s): <b>RH-2 / 40-X</b>	Telephone: <b>415.346.9990</b>
Area Plan: <b>N/A</b>	E-Mail: <b>brian@martinkovicmilford.com</b>

### PROJECT DESCRIPTION

The project proposes rear and front horizontal additions to the existing three-story, single-family house. A one-story addition at the rear facade extends into the required rear yard.

**Planning Code Section 134 requires a rear yard equal to 45 percent of the lot depth for the subject property. The required rear yard is 54 feet.**

**Planning Code Section 136 allows a 12-foot deep, 10-foot tall one-story extension or a 12-foot deep, two-story extension with two 5-foot wide side yards into the required rear yard. The project's proposed one-story extension is 8-feet deep from the required rear yard line, 13-feet 6-inches tall and proposes two 3-foot wide side yards.**

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Glenn Cabreros**

Telephone: **415-558-6169** Mail: [glenn.cabreros@sfgov.org](mailto:glenn.cabreros@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0211V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.





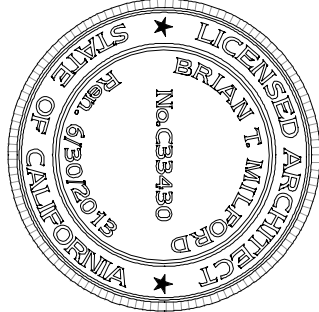


2764 GREENWICH STREET

RESIDENTIAL ADDITION  
PLANNING DEPARTMENT  
SUBMITTAL

2764 GREENWICH STREET  
SAN FRANCISCO, CA 94123

MARTINKOVIC-MILFORD  
520 SUTTER STREET SAN FRANCISCO CA 94102  
415.346.9990



DATE: 09.21.12
CODE: 0926.2.2
DRAWN: A.D.M.
CHECKED: B.T.M.
NORTH
VARIANCE APPLICATION

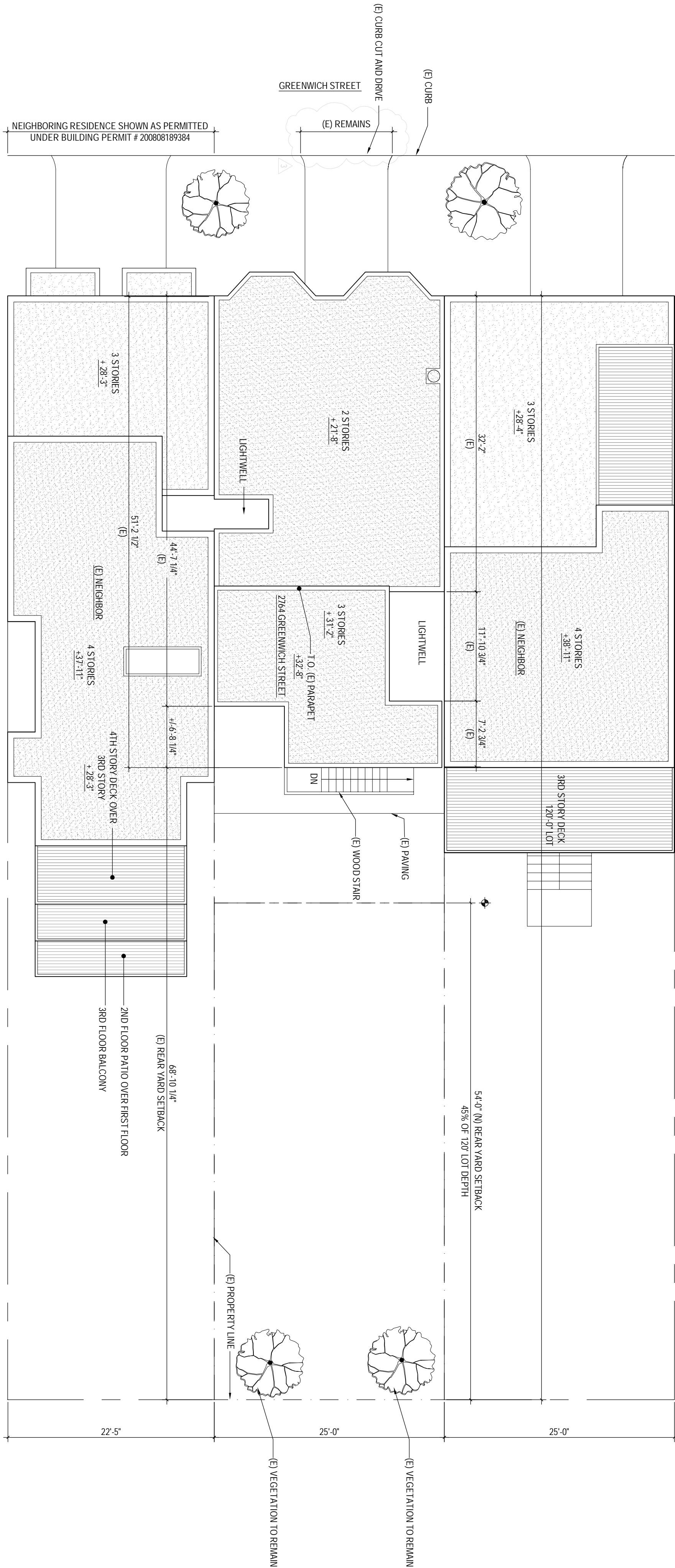
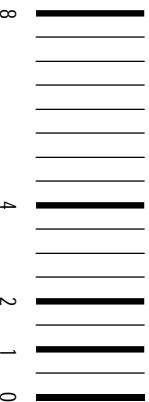
DATES OF ISSUANCE  
PRE APPLICATION MEETING 02.04.10  
PRE APPLICATION MEETING #2 03.01.10  
PLANNING PERMIT SUBMITTAL 03.20.10  
PLANNING RESPONSE 12.20.10  
SECOND PLANNING RESPONSE 08.19.11  
THIRD PLANNING RESPONSE 11.28.11  
VARIANCE APPLICATION 09.21.12


DATE: 09.21.12  
CODE: 0926.2.2  
DRAWN: A.D.M.  
CHECKED: B.T.M.



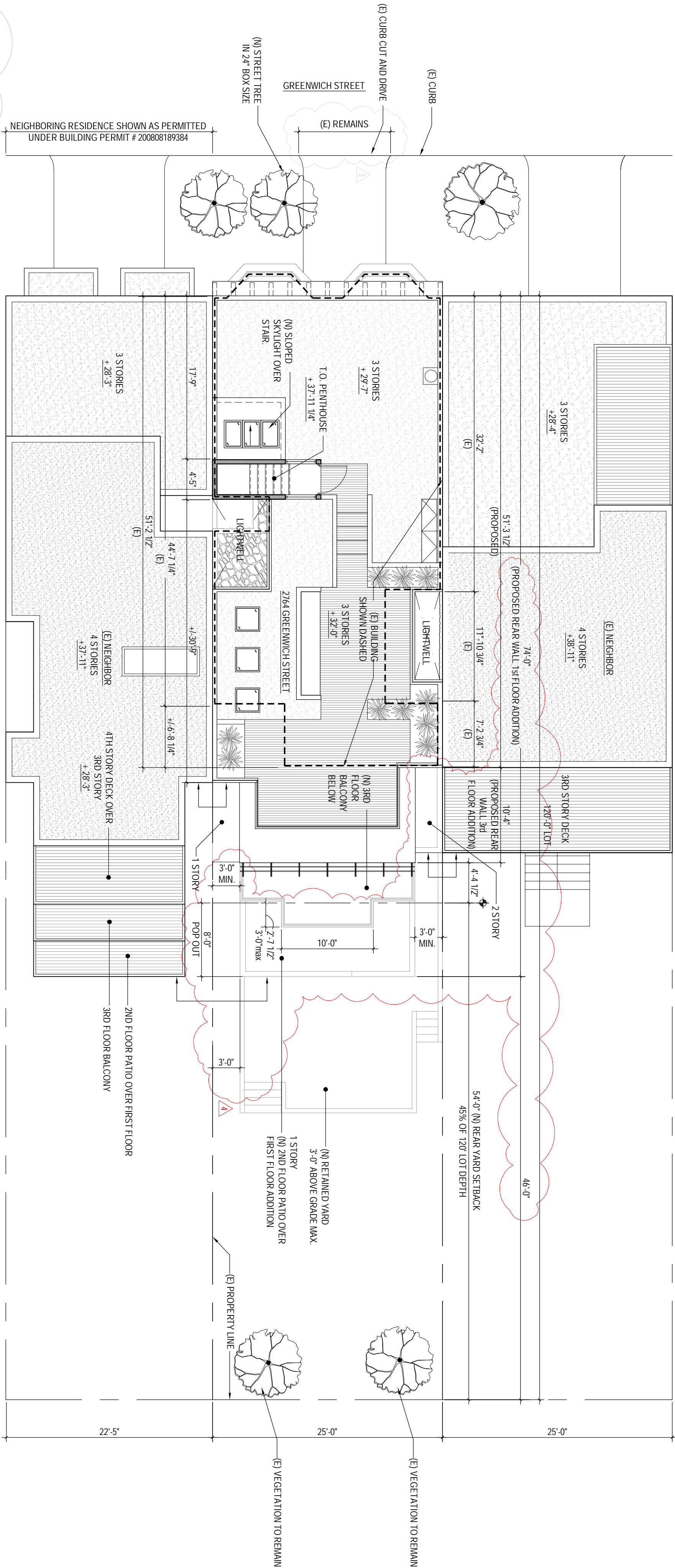
SITE PLANS  
SHEET NUMBER

A002



2 EXISTING SITE PAN

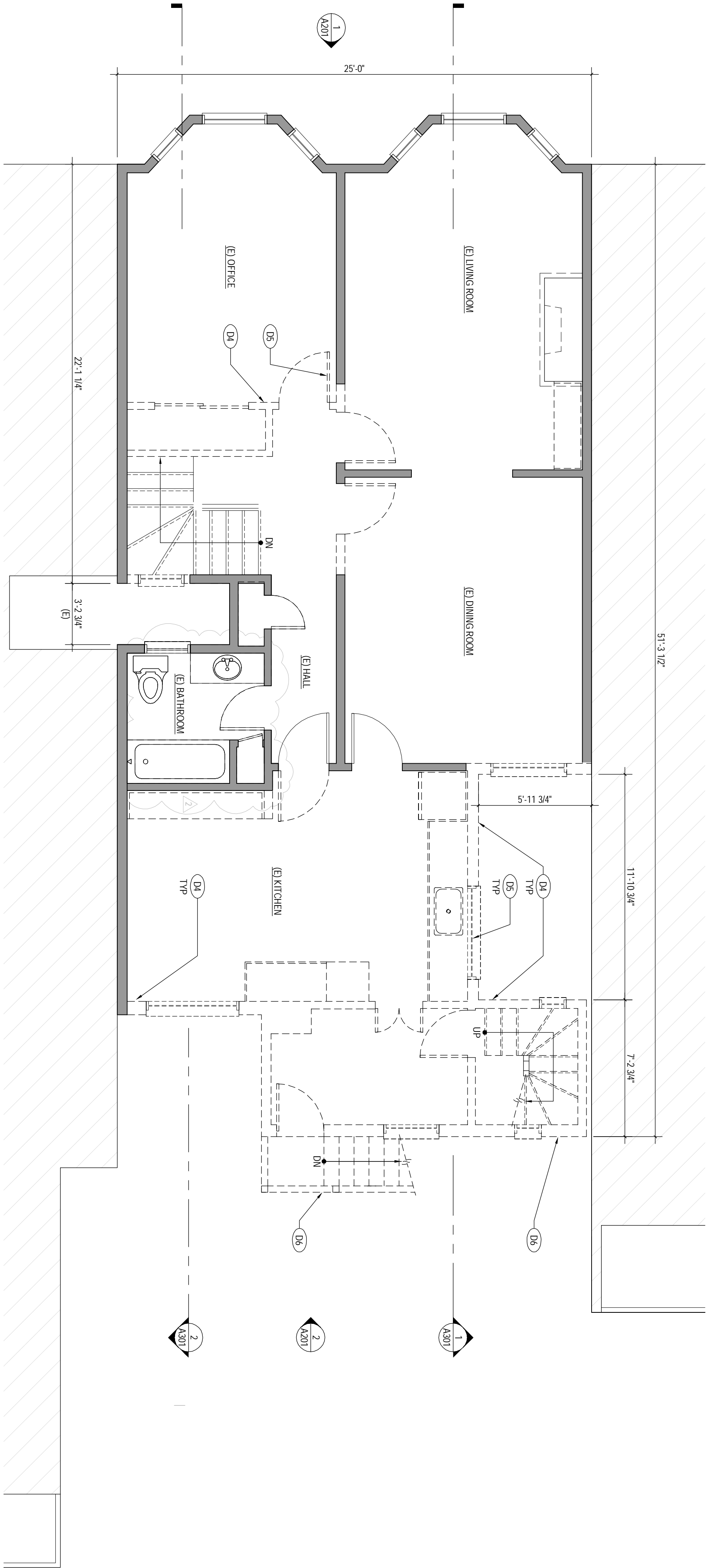
1/8" = 1'-0"



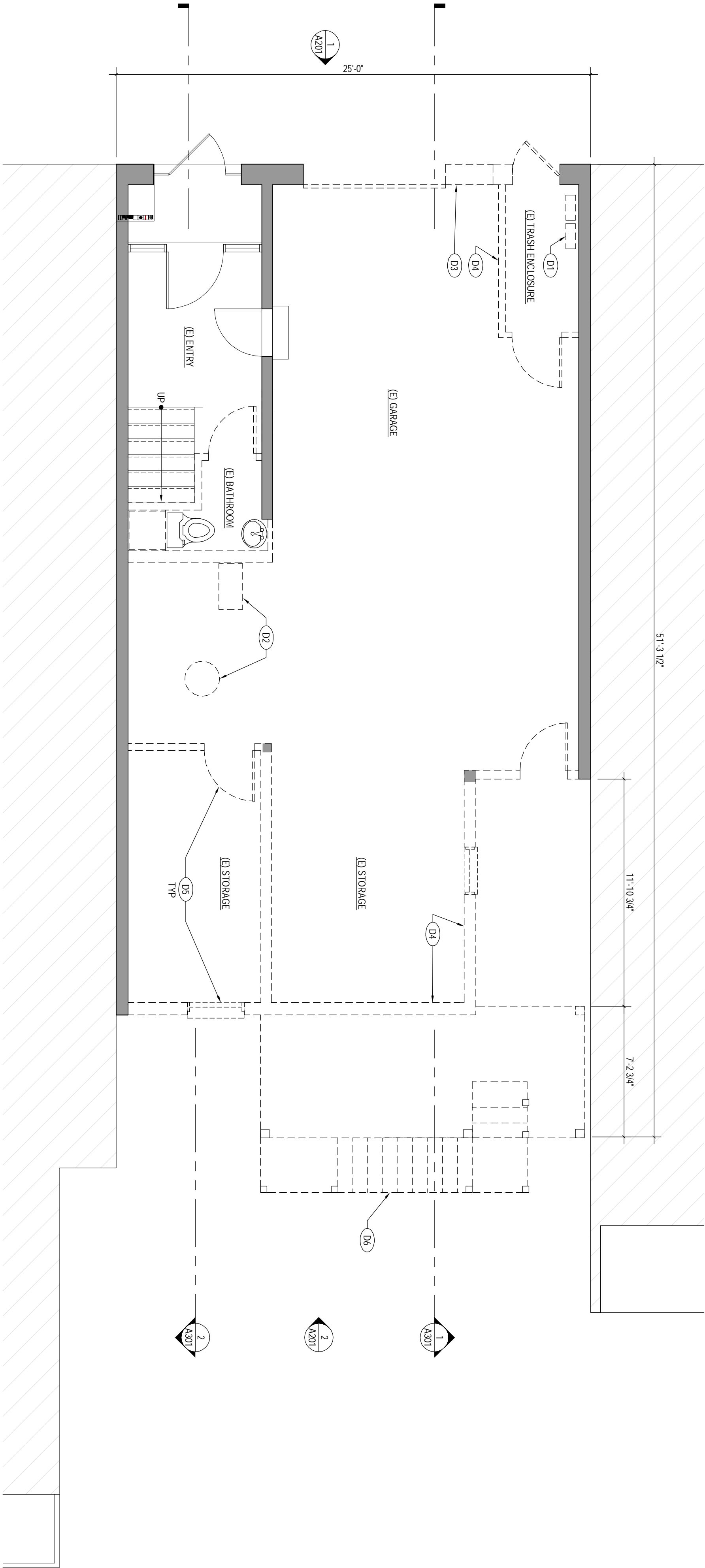
1 PROPOSED SITE PLAN

1/8" = 1'-0"





1 SECOND FLOOR EXISTING AND DEMOLITION PLAN  
1/4" = 1'-0"



1 FIRST FLOOR EXISTING AND DEMOLITION PLAN  
1/4" = 1'-0"

DEMOLITION KEYNOTES	
(D1)	(E) ELECTRICAL PANELS TO BE REPLACED
(D2)	(E) FURNACE AND WATER HEATER TO BE REPLACED
(D3)	DEMOLISH (E) DOOR AND WALL TO ACCOMMODATE NEW DOOR
(D4)	DEMOLISH (E) WALL
(D5)	DEMOLISH (E) DOOR OR WINDOW
(D6)	DEMOLISH (E) STAIR AND PORCH
(D7)	DEMOLISH (E) FLOOR FRAMING DOWN TO CEILING FRAMING BELOW. PREPARE FOR NEW FLOOR FRAMING.
(D8)	DEMOLISH (E) ROOFING AND ROOF FRAMING DOWN TO BEAMS FRAMING BELOW. PREPARE FOR NEW FLOOR FRAMING.

DEMOLITION NOTES

- CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN.
- DEMOLISH ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, FRAMING, AND FOUNDATION WORK AS NECESSARY TO ACCOMMODATE ALL NEW WORK.
- CONTRACTOR TO INSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK.
- CONTRACTOR TO REPLACE ALL DAMAGED OR ROTTEN EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT.
- REFER TO GENERAL NOTES SHEET A002 FOR ADDITIONAL INFORMATION.

LEGEND

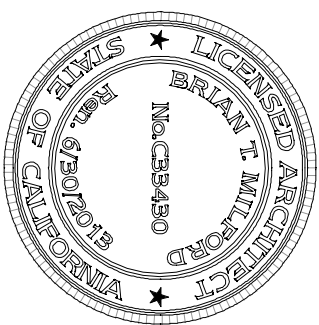
	(E) WALL CONSTRUCTION TO REMAIN
	(E) CONSTRUCTION TO BE DEMOLISHED
	(N) WALL CONSTRUCTION

2764 GREENWICH STREET

RESIDENTIAL ADDITION  
PLANNING DEPARTMENT  
SUBMITTAL

2764 GREENWICH STREET  
SAN FRANCISCO, CA 94123

**MARTIN OVIE MILFORD**  
520 SUTTER STREET SAN FRANCISCO CA 94102  
415 346 9990



DATES OF ISSUANCE

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VARIANCE APPLICATION

DATE	09.21.12
CODE	0926.2.2
DRAWN A.D.M.	
CHECKED B.T.M.	
NORTH	

DEMOLITION PLAN

SHEET NUMBER

A101



2764 GREENWICH STREET

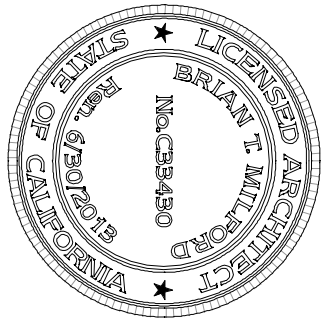
RESIDENTIAL ADDITION

PLANNING DEPARTMENT  
SUBMITTAL

2764 GREENWICH STREET  
SAN FRANCISCO, CA 94123



**MARTIN & MILFORD**  
520 SUTTER STREET SAN FRANCISCO CA 94102  
415.346.9990



DEMOLITION NOTES

1. CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN
2. DEMOLISH ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, FRAMING, AND FOUNDATION WORK AS NECESSARY TO ACCOMMODATE ALL NEW WORK
3. CONTRACTOR TO INSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK
4. CONTRACTOR TO REPAVE ALL DAMAGED OR ROTTEN EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR
5. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT
6. REFER TO GENERAL NOTES, SHEET A007 FOR ADDITIONAL INFORMATION

DEMOLITION KEYNOTES

(D1)	(E) ELECTRICAL PANELS TO BE REPLACED
(D2)	(E) FURNACE AND WATER HEATER TO BE REPLACED
(D3)	DEMOLISH (E) DOOR AND WALL TO ACCOMMODATE NEW DOOR
(D4)	DEMOLISH (E) WALL
(D5)	DEMOLISH (E) DOOR OR WINDOW
(D6)	DEMOLISH (E) STAIR AND PORCH
(D7)	DEMOLISH (E) FLOOR FRAMING DOWN TO CEILING FRAMING BELOW. PREPARE FOR NEW FLOOR FRAMING
(D8)	DEMOLISH (E) ROOFING AND ROOF FRAMING DOWN TO BEAMS FRAMING BELOW. PREPARE FOR NEW FLOOR FRAMING

LEGEND

	(E) WALL CONSTRUCTION TO REMAIN
	(E) CONSTRUCTION TO BE DEMOLISHED
	(N) WALL CONSTRUCTION

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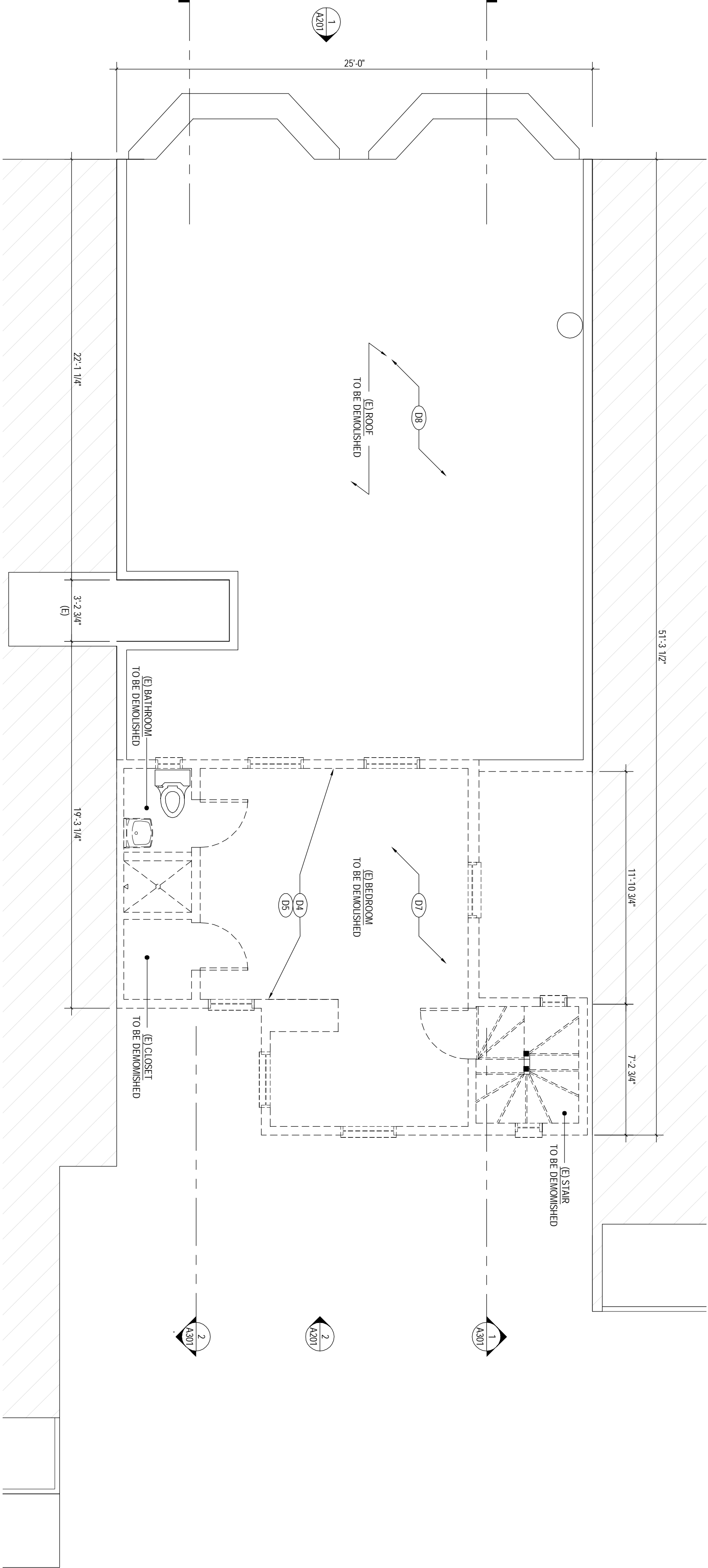
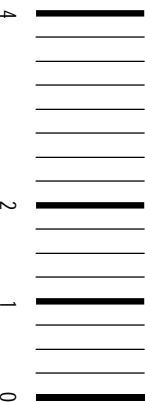
VARIANCE APPLICATION

DATE 09.21.12  
CODE 0926.2.2  
DRAWN A.D.M.  
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NORTH

DEMOLITION PLAN

SHEET NUMBER

A102



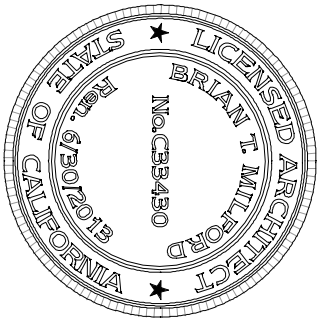


2764 GREENWICH STREET

RESIDENTIAL ADDITION  
PLANNING DEPARTMENT  
SUBMITTAL

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SAN FRANCISCO, CA 94123

**MARTINKOVIC-MILFORD**  
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VARIANCE APPLICATION

DATE 09.21.12  
CODE 0926.2.2  
DRAWN A.D.M.  
CHECKED B.T.M.  
NORTH

CONSTRUCTION PLAN

SHEET NUMBER

A111

CONSTRUCTION KEYNOTES

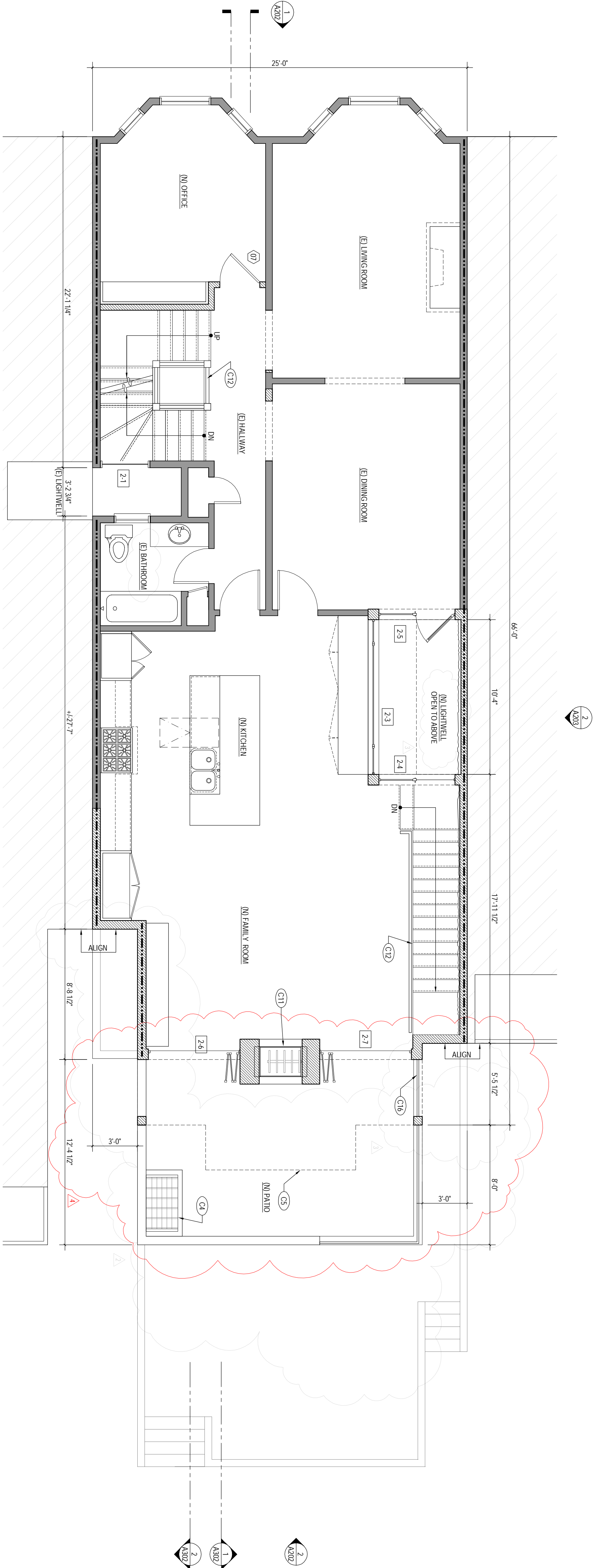
- |       |  |
|-------|--|
| (C1)  | (N) FURNACE  |
| (C2)  | (N) TANKLESS WATER HEATER                                  |
| (C3)  | (N) UTILITY SINK   |
| (C4)  | (N) EXTERIOR GAS GRILLE                                    |
| (C5)  | (N) DECK ABOVE   |
| (C6)  | (E) LIGHTWELL  |
| (C7)  | (N) YARD OR PAVERS   |
| (C8)  | (N) CONCRETE RETAINING WALLS AT 3'-0" MAX. ABOVE GRADE     |
| (C9)  | (N) EXTERIOR STEEL STAIR                                   |
| (C10) | NOT USED   |
| (C11) | (N) SEE THROUGH GAS FIREPLACE                              |
| (C12) | (N) OPEN STAIR   |
| (C13) | (N) WET BAR  |
| (C14) | EXTEND (E) FLUE 2'-0" ABOVE (E) ADJACENT ROOF CONSTRUCTION |
| (C15) | (N) METAL TRELLIS  |
| (C16) | (N) METAL RAIL   |
| (C17) | (N) PARAPET WALL   |
| (C18) | (N) BUILT UP ROOF ON SECOND FLOOR BELOW                    |
| (C19) | STEP UP IN ROOF HEIGHT. SEE SECTIONS                       |

CONSTRUCTION NOTES

- ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE A-01
- ALL DIMENSIONS ARE TO FACE OF FINISH CENTERLINE OF OPENING OR EDGE OF JAMB FRAME U.O.N.
- DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON THE WALL U.O.N.
- WINDOWS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON WINDOW DIMENSION OR WALL IN WHICH THEY ARE LOCATED
- PROVIDE MINIMUM R-19 BATT INSULATION IN FLOOR AREAS
- PROVIDE MINIMUM R-19 BATT INSULATION IN ROOFING AREAS
- PROVIDE MINIMUM OF 8-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) LIVING SPACE AND REAR GRASS SPACE WALL, AS INDICATED ON PLANS
- PROVIDE GYPSUM BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
- WOOD LOCATED DEEPER THAN 6" TO EARTH SHALL BE TREATED WOOD
- SEE GENERAL NOTES, SHEET A-02 FOR ADDITIONAL INFORMATION

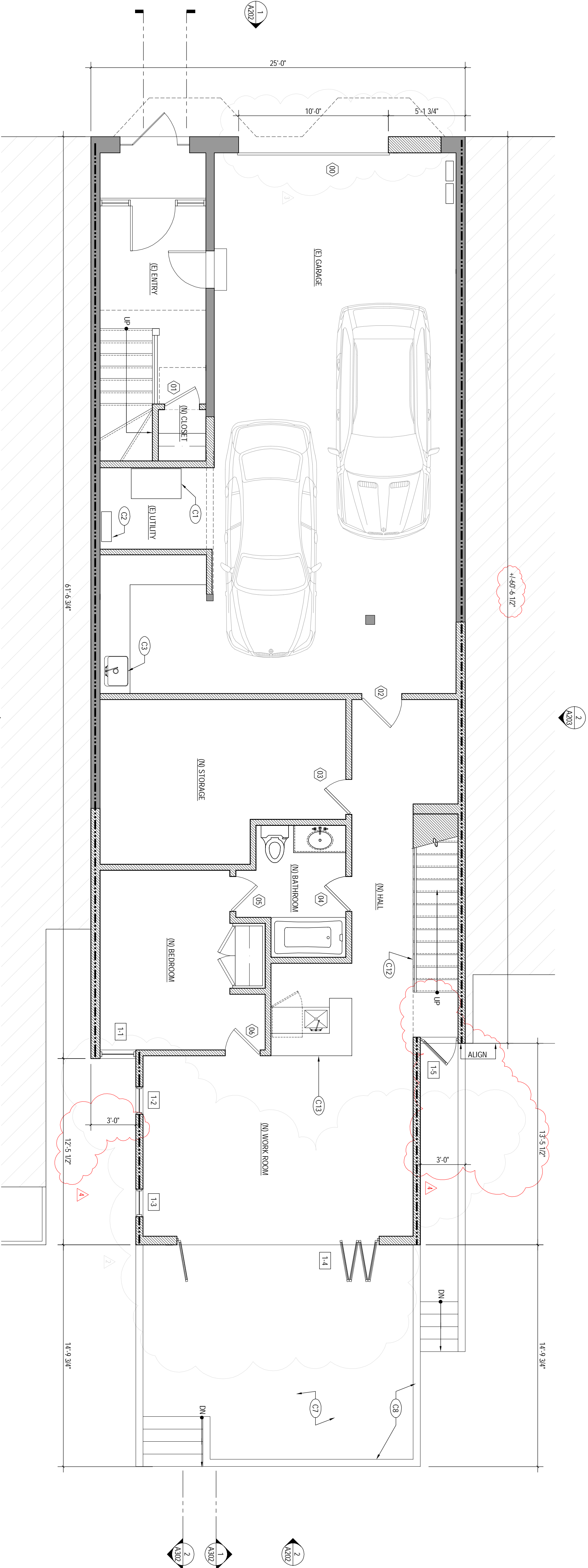
LEGEND

- |   |
|---|
| (E) WALL CONSTRUCTION                               |
| (A) (N) SCHEDULED WALL OR FINISH ASSEMBLY           |
| --- INDICATES RATED ASSEMBLY. SEE A-01              |
| (D) (N) STEEL AND GLASS WINDOW/DOOR SYSTEM          |
| (D) (N) WOOD DOOR                                   |
| (A) (N) PARTITION TYPE. SEE PARTITION TYPES A--     |
| (F) (N) FLOORING OR ROOF ASSEMBLY. SEE SCHEDULE A-- |
| (D) SCHEDULED FINISH MATERIAL. SEE SCHEDULE A-01    |
| NOTE: ALL (N) WALLS TYPE "A" U.O.N.                 |



2 SECOND FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"



1 FIRST FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"



CONSTRUCTION KEYNOTES	
(C1)	(N) FIREPLACE
(C2)	(N) TANKLESS WATER HEATER
(C3)	(N) UTILITY SINK
(C4)	(N) EXTERIOR GAS GRILLE
(C5)	(N) DECK ABOVE
(C6)	(E) LIGHTWELL
(C7)	(N) YARD OR PAVERS
(C8)	(N) CONCRETE RETAINING WALLS AT 3'-0" MAX. ABOVE GRADE
(C9)	(N) EXTERIOR STEEL STAIR
(C10)	NOT USED
(C11)	(N) SEE THROUGH GAS FIREPLACE
(C12)	(N) OPEN STAIR
(C13)	(N) WET BAR
(C14)	EXTEND (E) FLUE 2'-0" ABOVE (E) ADJACENT ROOF CONSTRUCTION
(C15)	(N) METAL TRELLIS
(C16)	(N) METAL RAIL
(C17)	(N) PARADET WALL
(C18)	(N) BUILT UP ROOF ON SECOND FLOOR BELOW
(C19)	STEP UP IN ROOF HEIGHT. SEE SECTIONS

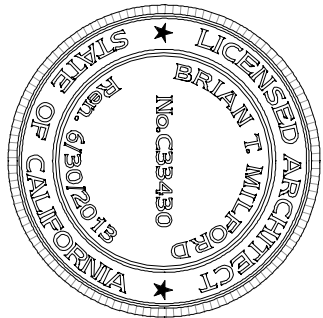
2764 GREENWICH STREET

RESIDENTIAL ADDITION

PLANNING DEPARTMENT SUBMITTAL

2764 GREENWICH STREET  
SAN FRANCISCO, CA 94123

MARTIN KOVIE MILFORD  
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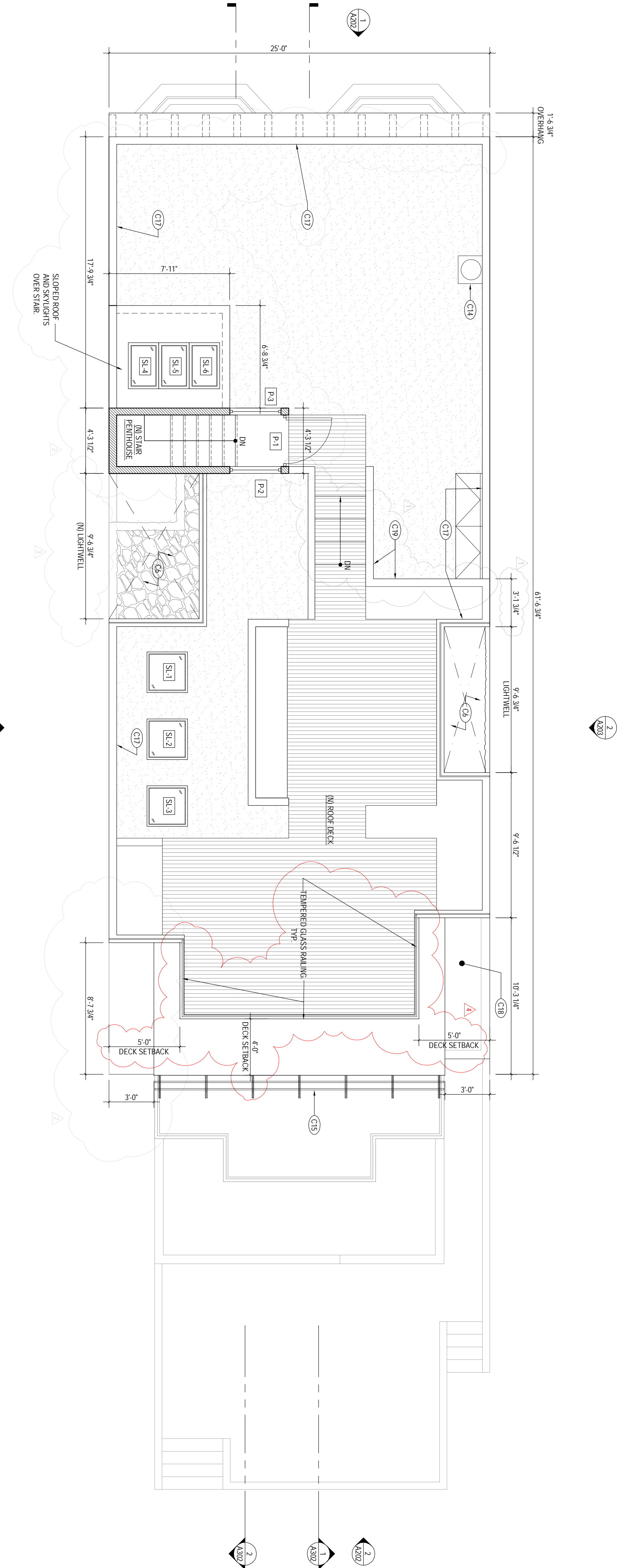
CONSTRUCTION NOTES	
1.	ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE A-001
2.	ALL DIMENSIONS ARE TO FACE OF FINISH. CENTERLINE OF OPENING OR EDGE OF JAMB FRAME U.O.N.
3.	DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON THE WALL U.O.N.
4.	WINDOWS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON INTERIOR DIMENSION OF WALL IN WHICH THEY ARE LOCATED
5.	PROVIDE MINIMUM R-19 BATT INSULATION IN FLOOR JOISTS IN (N) CRAWL SPACE AREA AND (N) ROOFING AREAS
6.	PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) LIVING SPACE AND REAR CRAWL SPACE WALL, AS INDICATED ON PLANS
7.	PROVIDE GEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
8.	WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
9.	SEE GENERAL NOTES, SHEET A-002 FOR ADDITIONAL INFORMATION

DATES OF ISSUANCE
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VARIANCE APPLICATION 09.21.12

LEGEND	
(A)	(E) WALL CONSTRUCTION
(N)	(N) SCHEDULED WALL OR FINISH ASSEMBLY
(A-001)	INDICATES PATED ASSEMBLY. SEE A-001
(D-01)	(N) STEEL AND GLASS WINDOW/DOOR SYSTEM
(D-02)	(N) WOOD DOOR
(A)	(N) PARTITION TYPE, SEE PARTITION TYPES A--
(F-1)	(N) FLOORING OR ROOF ASSEMBLY, SEE SCHEDULE A--
(D)	SCHEDULED FINISH MATERIAL. SEE SCHEDULE A-001
(N)	NOTE: ALL (N) WALLS TYPE "N" U.O.N.

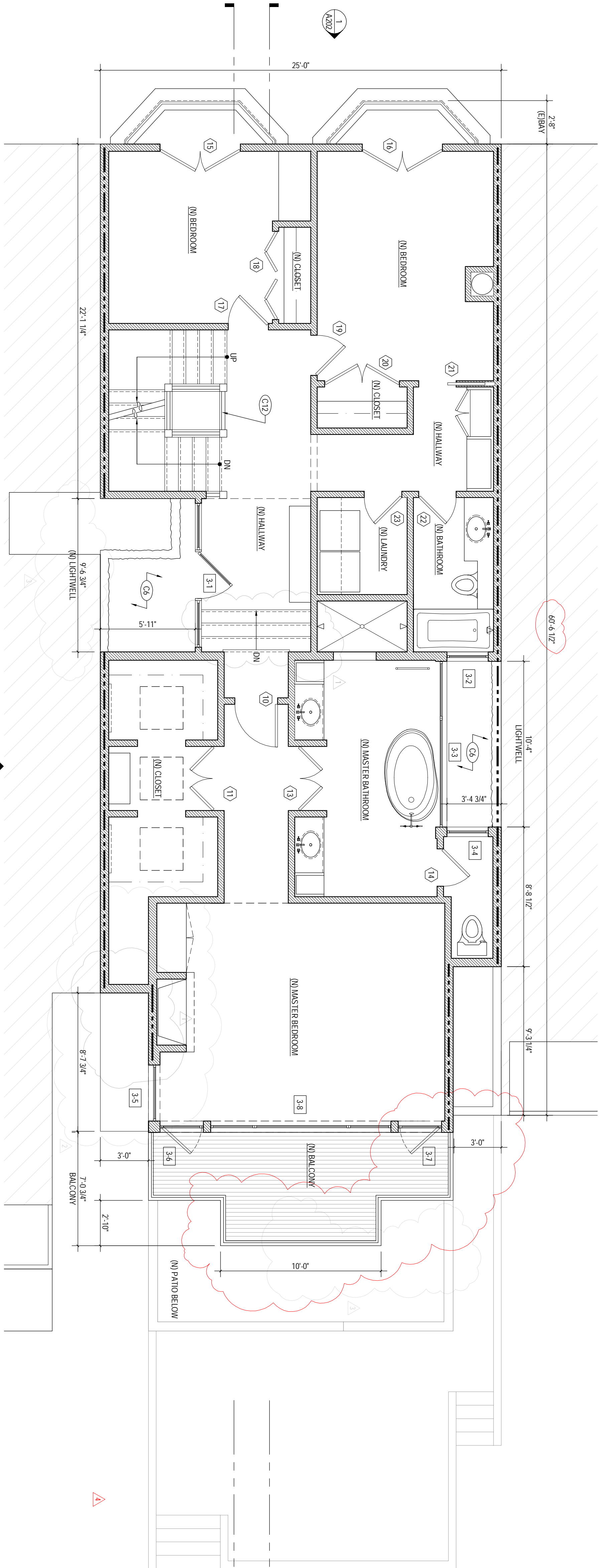
VARIANCE APPLICATION
DATE 09.21.12
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DRAWN A.D.M.
CHECKED B.T.M.
NORTH

CONSTRUCTION PLAN	
SHEET NUMBER	A112



2 ROOF CONSTRUCTION PLAN

1/4" = 1'-0"



1 THIRD FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"





## 2 EXISTING REAR ELEVATION

1/4" = 1'-0"

(E) NEIGHBOR TO ROOF BEYOND  
+38'-11"

(E) NEIGHBOR TO ROOF  
+28'-4"



## 1 EXISTING FRONT ELEVATION

1/4" = 1'-0"

### ELEVATION KEY NOTES

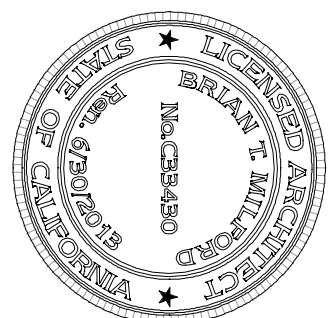
1	(E) NEIGHBORING BUILDING
2	(C) DOOR TO BE INFILLED
3	(E) WINDOWS AND DOORS TO REMAIN. TYP. U-ON.
4	(E) WINDOWS AND DOORS TO BE REMOVED/REPLACED
5	(C) BRICKS TO REMAIN. TYP.
6	(N) STAIR PORCHHOUSE
7	(N) METAL RAILING
8	(N) GLASS RAILING
9	(N) PAINTED CEMENT PLASTER
10	(N) WOOD WINDOW
11	(N) WOOD DOOR
12	(N) WOOD TRIM
13	(N) METAL FRAME DOORS AND WINDOWS, TYPICAL AT REAR OF HOUSE
14	(E) TREE AS APPROVED BY PERMIT #200808189384
15	(E) RESIDENCE AS APPROVED BY PERMIT #200808189384
16	(N) WOOD GARAGE DOOR
17	(N) STONE VENEER
18	(N) WOOD SIDING
19	(N) METAL STAIR HANDRAIL
20	(E) WOOD STAIR TO BE REMOVED
21	(N) PARAPET
22	(N) PAINTED WOOD CORNICE AND BRACKETS
23	(N) CONCRETE RETAINING WALL
24	(N) PAINTED STEEL CHAMFER AT BALCONY EDGE
25	(N) PAINTED METAL OPEN TRELLIS
26	(N) PAINTED WOOD BRICK MOLD TRIM. SEE 3X4X2

2764 GREENWICH STREET

RESIDENTIAL ADDITION  
PLANNING DEPARTMENT  
SUBMITTAL

2764 GREENWICH STREET  
SAN FRANCISCO, CA 94123

**MARTIN D. VIE MLEFORD**  
520 SUTTER STREET SAN FRANCISCO CA 94102  
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CHECKED B.T.M.  
NORTH

EXISTING EXTERIOR  
ELEVATIONS

SHEET NUMBER

A201





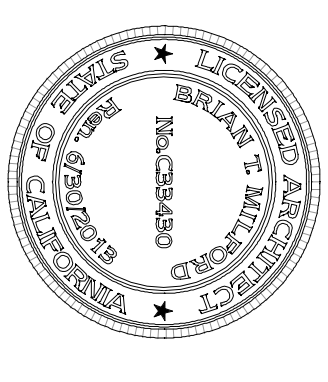


2764 GREENWICH  
STREET

RESIDENTIAL ADDITION  
PLANNING DEPARTMENT  
SUBMITTAL

2764 GREENWICH STREET  
SAN FRANCISCO, CA 94123

**MARTINKOVIC MILFORD**  
520 SUTTER STREET SAN FRANCISCO CA 94102  
415 346 9990



DATES OF ISSUANCE

ELEVATION KEY NOTES	
1	(E) NEIGHBORING BUILDING
2	(E) DOOR TO BE INFILLED
3	(E) WINDOWS AND DOORS TO REMAIN, TYP U.O.N.
4	(E) WINDOWS AND DOORS TO BE REMOVED/REPLACED
5	(E) BRICKS TO REMAIN, TYP.
6	(N) STAIR PEN/HOUSE
7	(N) METAL RAILING
8	(N) GLASS RAILING
9	(N) PAINTED GEMENT PLASTER
10	(N) WOOD WINDOW
11	(N) WOOD DOOR
12	(N) WOOD TRIM
13	(N) METAL FRAME DOORS AND WINDOWS, TYPICAL, A TRAILER OR HOUSE
14	(E) TREE AS APPROVED BY PERMIT #200808187934
15	(E) RESIDENCE AS APPROVED BY PERMIT #200808187934
16	(N) WOOD GARAGE DOOR
17	(N) STONE VENEER
18	(N) WOOD SILING
19	(N) METAL STAIR AND HANDRAIL
20	(E) WOOD STAIR TO BE REMOVED
21	(N) PARADET
22	(N) PAINTED WOOD CORNICIE AND BRACKETS
23	(N) CONCRETE RETAINING WALL
24	(N) PAINTED STEEL CHANNEL A BALCON FEDGE
25	(N) PAINTED METAL OPEN TRELLIS
(N)	PAINTED WOOD BRICK MOLD TRIM, SEE 3A/20

## VARIANCE APPLICATION

DATE 09.21.12

CODE 0926.2.2

**DRAWN A.D.M.**

CHECKED B.T.M.

▼ NORTH

## PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A203

4  
2  
1  
0



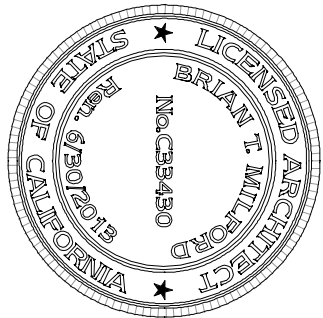
2764 GREENWICH STREET

RESIDENTIAL ADDITION

PLANNING DEPARTMENT  
SUBMITTAL

2764 GREENWICH STREET  
SAN FRANCISCO, CA 94123

**MARTINKOVIC MILFORD**  
520 SUTTER STREET SAN FRANCISCO CA 94102  
415.346.9990



DATES OF ISSUANCE  
PRE APPLICATION MEETING 02.04.10  
PRE APPLICATION MEETING #2 03.01.10  
PLANNING PERMIT SUBMITTAL 03.20.10  
PLANNING RESPONSE 12.20.10  
SECOND PLANNING RESPONSE 08.19.11  
THIRD PLANNING RESPONSE 11.28.11  
VARIANCE APPLICATION 09.21.12

VARIANCE APPLICATION

DATE 09.21.12  
CODE 0926.2.2  
DRAWN A.D.M.  
CHECKED B.T.M.  
NORTH

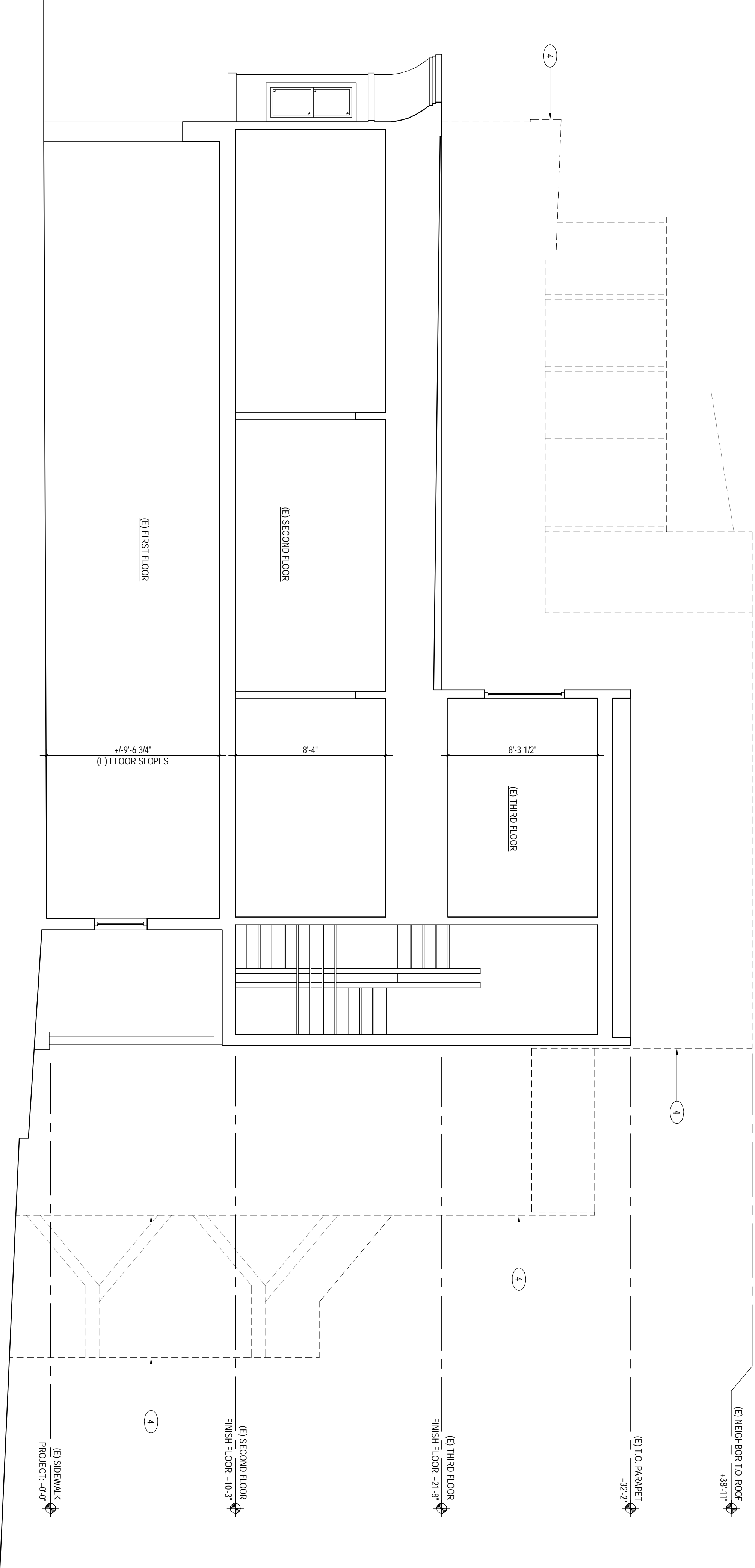
EXISTING BUILDING SECTIONS  
SHEET NUMBER

A301

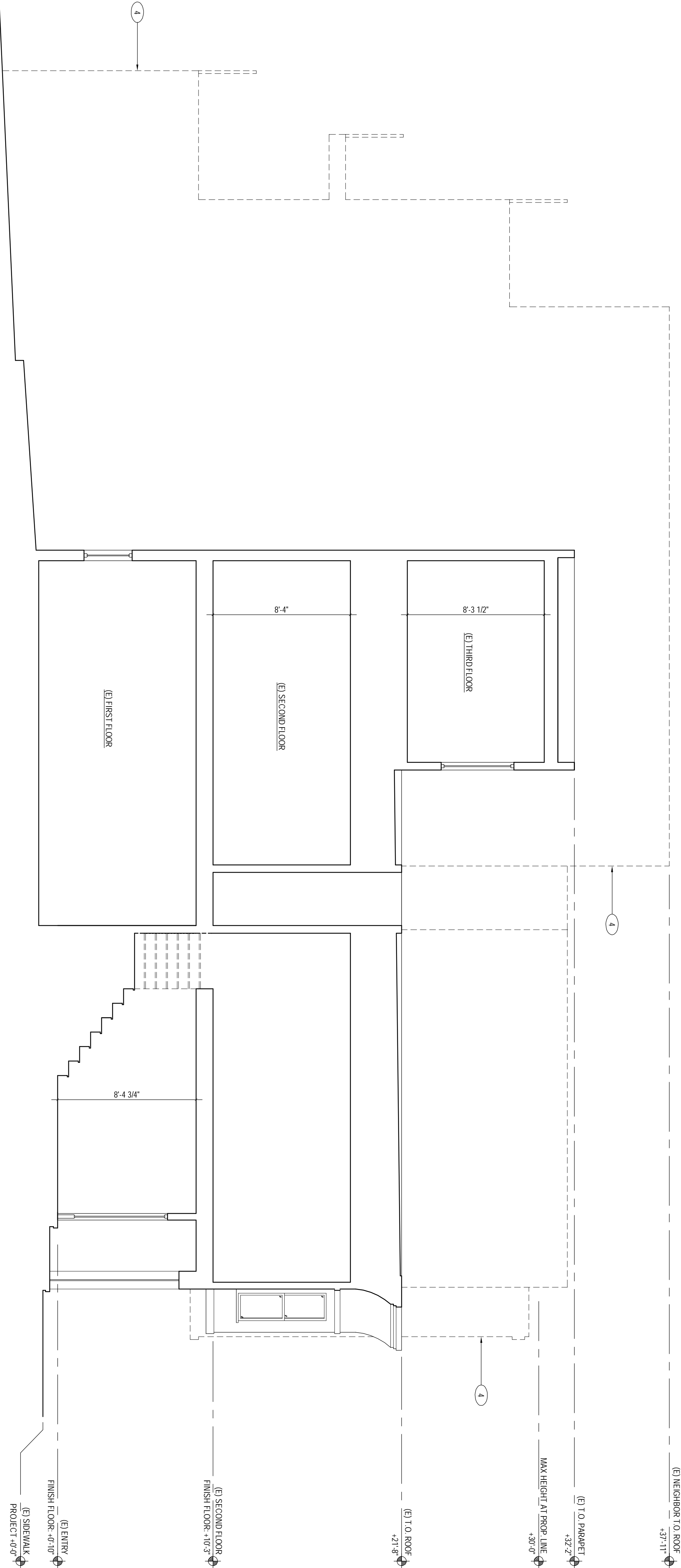


SECTION KEY NOTES

1	(N) LOW SLOPED (MIN. 1/4" - 1'-0") BUILD UP ROOF SLOPE TO DRAIN OR GUTTER AS INDICATED
2	(N) PARAPET
3	(N) OPEN STEEL TRELLIS
4	OUTLINE OF (E) NEIGHBOR BEYOND
5	(N) GLASS RAILING
6	(N) METAL RAILING
7	(N) METAL STAIR AND RAIL
8	--
9	--
10	--
11	--
12	--
13	--
14	--
15	--
16	--



2 EXISTING LONGITUDINAL SECTION  
1/4" = 1'-0"



1 EXISTING LONGITUDINAL SECTION  
1/4" = 1'-0"

SECTION KEY NOTES	
1	(N) DOWN SLOPE MIN. 1/4" - 1'-0" BUILT UP ROOF. SLOPE TO DRAIN OR GUTTER AS INDICATED
2	(N) PARAPET
3	(N) OPEN STEEL TRELLIS
4	OUTLINE OF (E) NEIGHBOR BEYOND
5	(N) GLASS RAILING
6	(N) METAL RAILING
7	(N) METAL STAIR AND RAIL
8	--
9	--
10	--
11	--
12	--
13	--
14	--
15	--
16	--

2764 GREENWICH STREET

RESIDENTIAL ADDITION

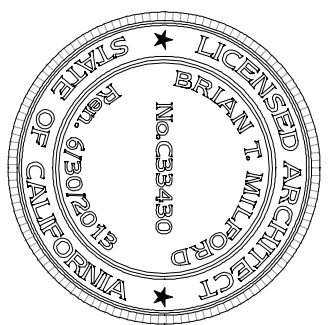
PLANNING DEPARTMENT SUBMITTAL

2764 GREENWICH STREET  
SAN FRANCISCO, CA 94123

MARTINKOVIC-MILFORD

520 SUTTER STREET SAN FRANCISCO CA 94102

415.346.9990



DATES OF ISSUANCE

PRE APPLICATION MEETING 02.04.10

PRE APPLICATION MEETING #2 03.01.10

PLANNING PERMIT SUBMITTAL 03.20.10

PLANNING RESPONSE 12.20.10

SECOND PLANNING RESPONSE 08.19.11

THIRD PLANNING RESPONSE 11.28.11

VARIANCE APPLICATION 09.21.12

VARIANCE APPLICATION

DATE 09.21.12

CODE 0926.2.2

DRAWN A.D.M.

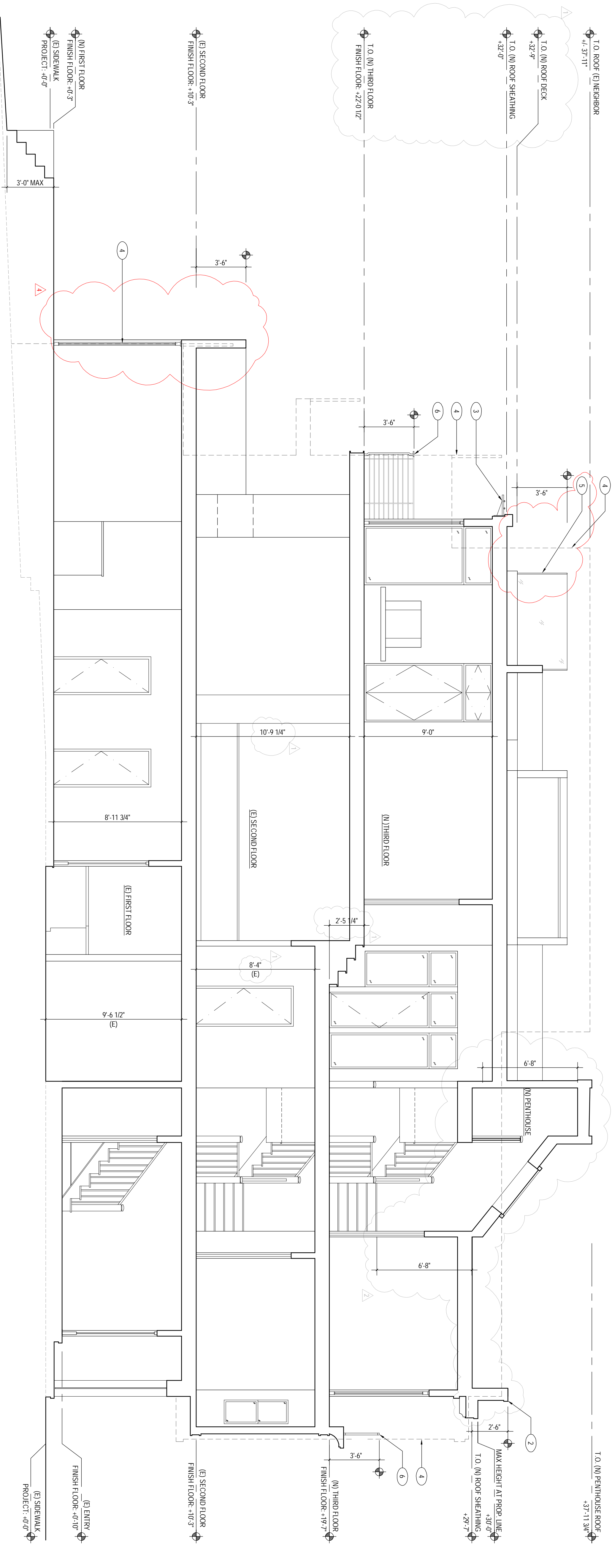
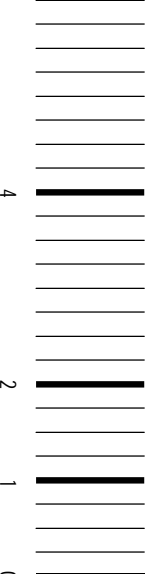
CHECKED B.T.M.

NORTH

PROPOSED BUILDING SECTIONS

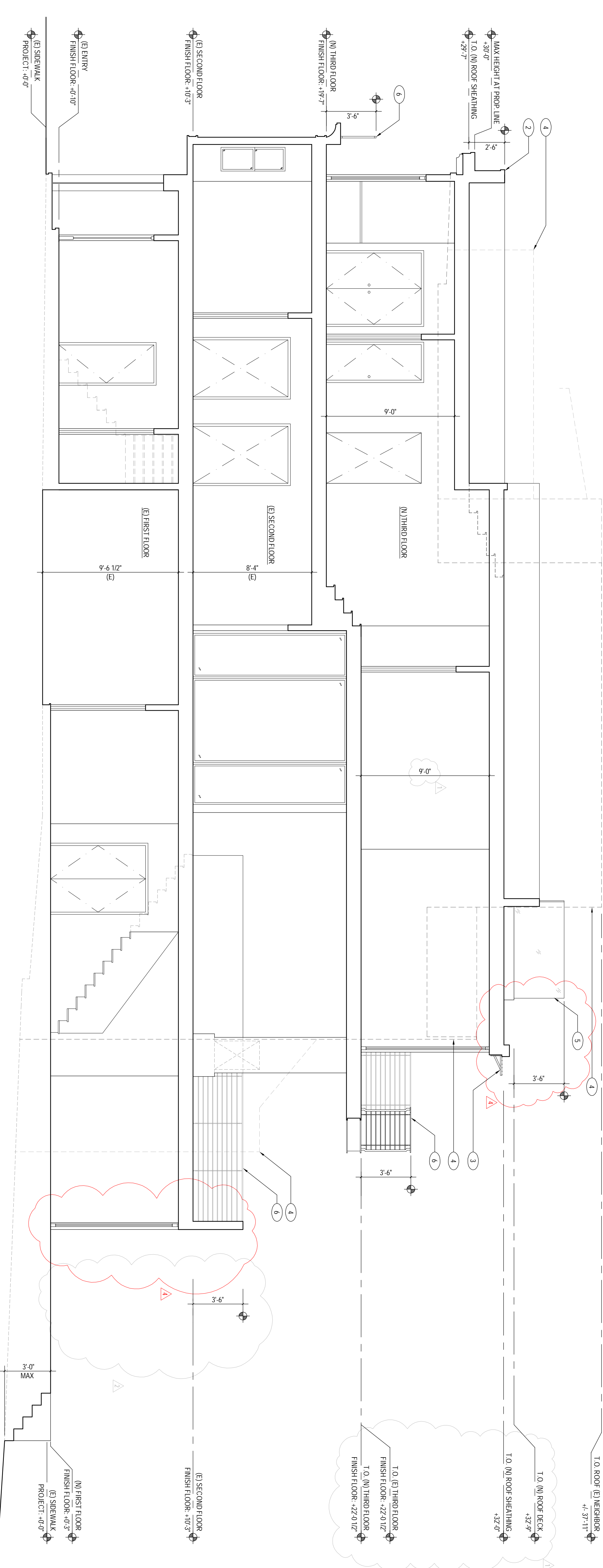
SHEET NUMBER

A302



2 PROPOSED LONGITUDINAL SECTION

1/4" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION

1/4" = 1'-0"