



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 25, 2012**  
Time: **9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance(Rear Yard and Non-Complying Structure Variances)**  
Hearing Body: **Zoning Administrator**

PORPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>561 Sanchez St</b>	Case No.: <b>2012.0192V</b>
Cross Street(s): <b>Hancock And 19Th Streets</b>	Building Permit: <b>N/A</b>
Block / Lot No.: <b>3585/033</b>	Applicant/Agent: <b>Bob &amp; Jo Anne Nelson</b>
Zoning District(s): <b>RH-3 / 40-X</b>	Telephone: <b>415-621-7967</b>
Area Plan: <b>N/A</b>	E-Mail: <b>bjnelsonsf@att.net</b>

### PROJECT DESCRIPTION

The proposal is to extend the existing non-complying one-story rear deck by approximately 3 feet horizontally towards the north side property line. The proposed scope of work was previously denied by the Board of Permit Appeals under Appeal No. V03-106.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of 45 percent of the lot depth, approximately 49 feet, 6 inches, where 11 feet is currently provided. The existing single-family dwelling extends approximately 20 feet into the required rear yard and the deck and stairs extend an additional 18 feet, 6 inches. The proposed horizontal side deck extension would intensify the rear yard encroachment in width by approximately 3 feet; therefore, the project requires a variance.

**PER SECTION 188 OF THE PLANNING CODE** the subject building is located partially within the required rear yard and is a non-complying structure. The proposed deck extension is located within the required rear yard, which intensifies the non-conformity of the existing conditions. The proposed alteration requires a variance.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Tom Wang** Telephone: **415-558-6335** Mail: [Thomas.Wang@sfgov.org](mailto:Thomas.Wang@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0192V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

# NELSON DECK PROJECT

A SMALL - 62 SQ. FT. - ADDITION TO AN EXISTING DECK AT 561 SANCHEZ STREET IN SAN FRANCISCO

## PROJECT DESCRIPTION:

CONSTRUCT AN 86 SQUARE FOOT DECK EXTENSION TO CONNECT AN EXISTING 18 SQUARE FOOT BALCONY TO AN EXISTING 225 SQUARE FOOT DECK AT THE REAR OF THE OWNERS' HOME AT 561 SANCHEZ STREET.

## PROJECT INFORMATION:

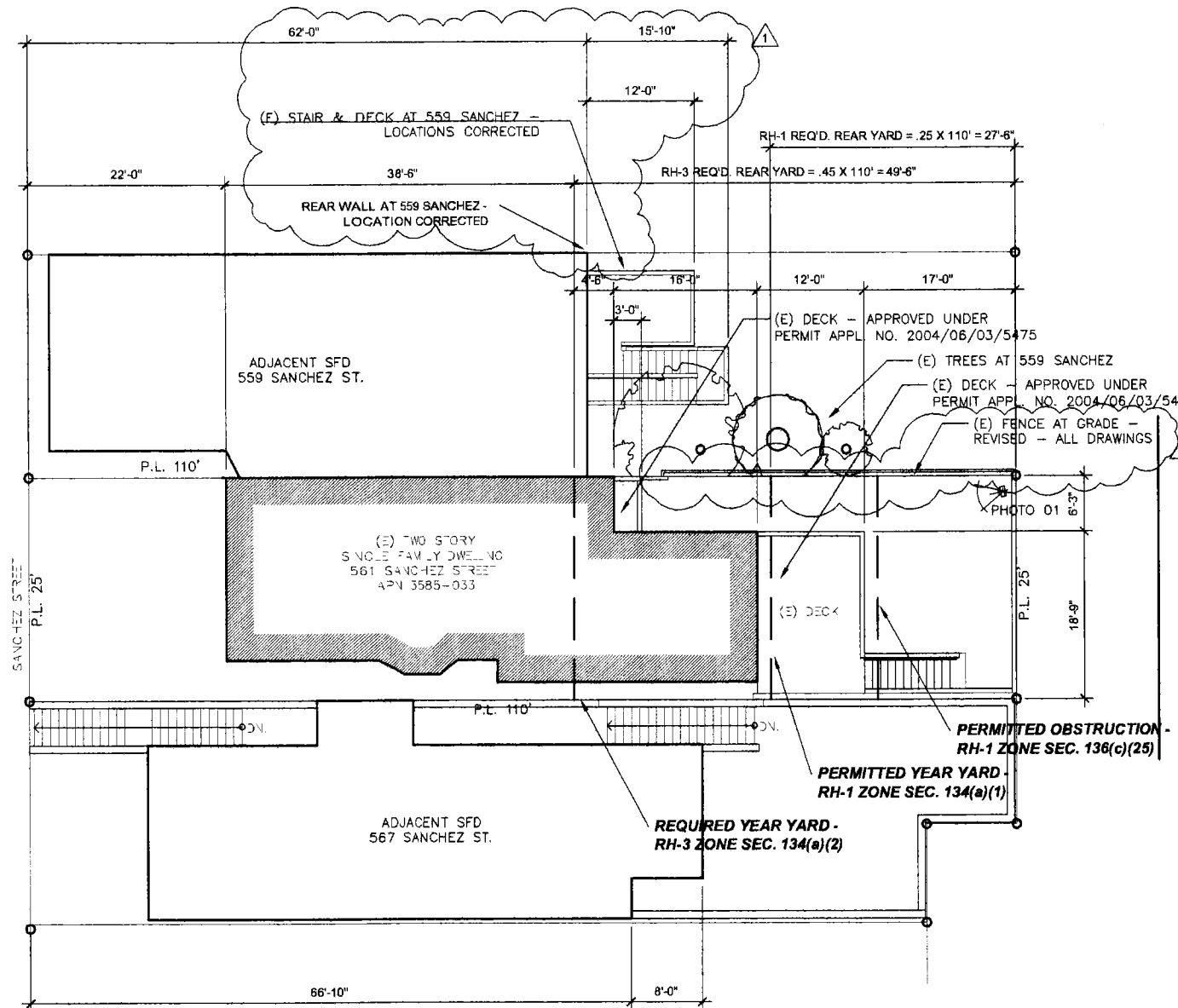
PROJECT LOCATION:  
561 SANCHEZ STREET  
BLOCK 3585 LOT 33  
ZONE: RH-3

OWNERS:  
BOB & JO ANNE NELSON

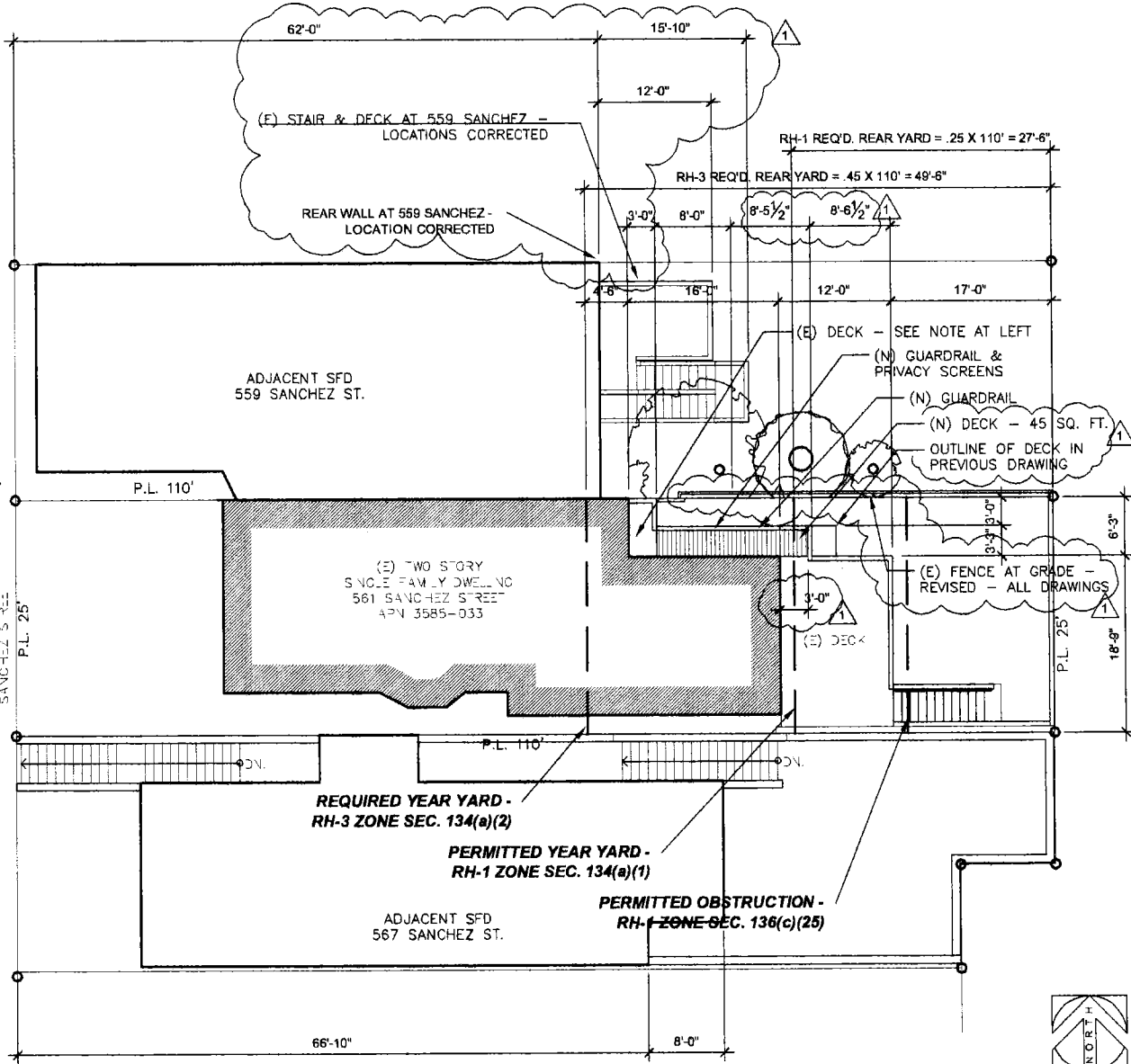
ARCHITECT:  
EDW. LEE HAMMACK, ARCHITECT  
3687 FOLSOM STREET  
SAN FRANCISCO CA 94110  
415-282-4428

## INDEX OF DRAWINGS:

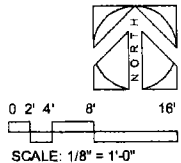
- |      |                                         |
|------|-----------------------------------------|
| A1.1 | (THIS SHEET)                            |
| A2.1 | FIRST FLOOR PLAN - EXISTING & PROPOSED  |
| A2.2 | SECOND FLOOR PLAN - EXISTING & PROPOSED |
| A3.1 | EAST ELEVATION - EXISTING               |
| A3.2 | EAST ELEVATION - PROPOSED               |
| A3.3 | NORTH ELEVATION - EXISTING              |
| A3.4 | NORTH ELEVATION - PROPOSED              |



1 SITE PLAN - EXISTING



2 SITE PLAN - PROPOSED



SITE PLAN; GENERAL INFORMATION

EXTENSION OF EXISTING DECK  
561 SANCHEZ

DATE: 16 MAY 2011  
REVISIONS:  
1 15 JAN. 2012

SHEET NO.  
A1.1

EDW. LEE HAMMACK ARCHITECT  
CA Reg. No. C-13890  
3687 FOLSOM STREET  
SAN FRANCISCO CA 94110  
415-282-4428

12 0192 V

SANCHEZ STREET

SIDEWALK

P.L. 25'

P.L. 110'

P.L. 110'

ADJACENT SFD  
567 SANCHEZ ST.

ADJACENT SFD  
559 SANCHEZ ST.

REAR WALL AT 559 SANCHEZ -  
LOCATION CORRECTED

EDGES OF (E) WOOD DECKS  
SHOWN DASHED, TYPICAL

(E) TWO STORY  
SINGLE FAMILY DWELLING  
561 SANCHEZ STREET  
APN 3585-033

BEDROOM

DINING ROOM

KITCHEN

LIVING ROOM

(E) SLIDING GLASS DOOR

(E) WOOD DECK

(E) WOOD GUARDRAIL  
BELOW

(E) WOOD GUARDRAIL -  
TO 36" ABOVE DECK

(E) CONCRETE  
SLAB ON GRADE

(E) CONC. WALL

REQUIRED YEAR YARD -  
RH-3 ZONE SEC. 134(a)(2)

PERMITTED YEAR YARD -  
RH-1 ZONE SEC. 134(a)(1)

PERMITTED OBSTRUCTION -  
RH-1 ZONE SEC. 136(c)(25)

## SECOND FLOOR PLAN - PROPOSED

SANCHEZ STREET

SIDEWALK

P.L. 25'

P.L. 110'

P.L. 110'

ADJACENT SFD  
567 SANCHEZ ST.

ADJACENT SFD  
559 SANCHEZ ST.

REAR WALL AT 559 SANCHEZ -  
LOCATION CORRECTED

(E) TWO STORY  
SINGLE FAMILY DWELLING  
561 SANCHEZ STREET  
APN 3585-033

BEDROOM

DINING ROOM

KITCHEN

LIVING ROOM

(E) SLIDING GLASS DOOR

WOOD GUARDRAIL

(E) DECK - 204 SQ. FT.

(E) WOOD GUARDRAIL  
BELOW

(E) CONCRETE  
SLAB ON GRADE

(E) CONC. WALL

REQUIRED YEAR YARD -  
RH-3 ZONE SEC. 134(a)(2)

PERMITTED YEAR YARD -  
RH-1 ZONE SEC. 134(a)(1)

PERMITTED OBSTRUCTION -  
RH-1 ZONE SEC. 136(c)(25)

## SECOND FLOOR PLAN - EXISTING

0 1' 2' 4' 8'  
SCALE: 1/4" = 1'-0"



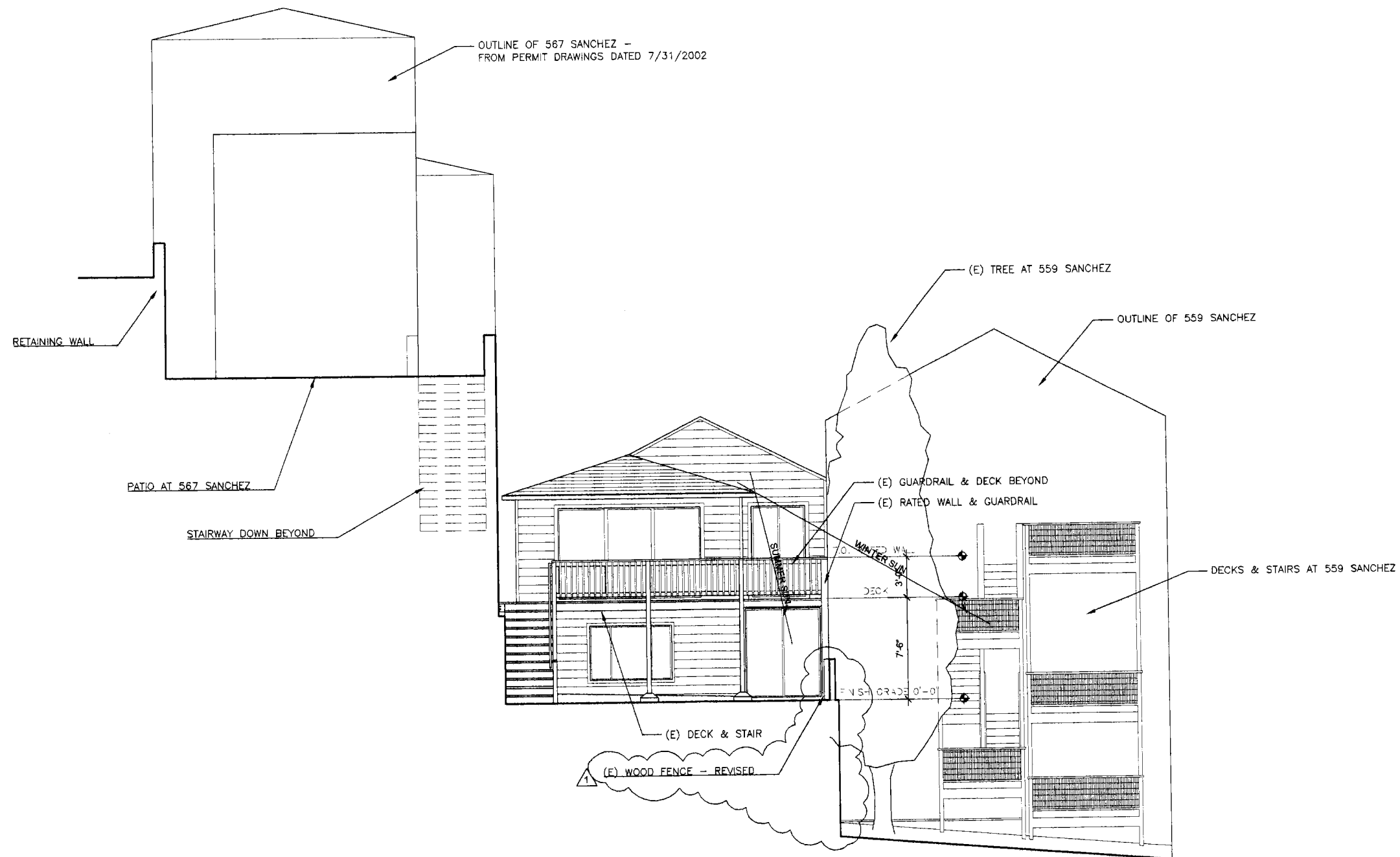
## SECOND FLOOR PLAN - EXISTING & PROPOSED

## 561 SANCHEZ

EXTENSION OF EXISTING DECK

DATE:  
16 MAY 2011  
REVISIONS:  
1 15 JAN. 2012

SHEET NO.  
A2.2



1 EAST ELEVATION - EXISTING

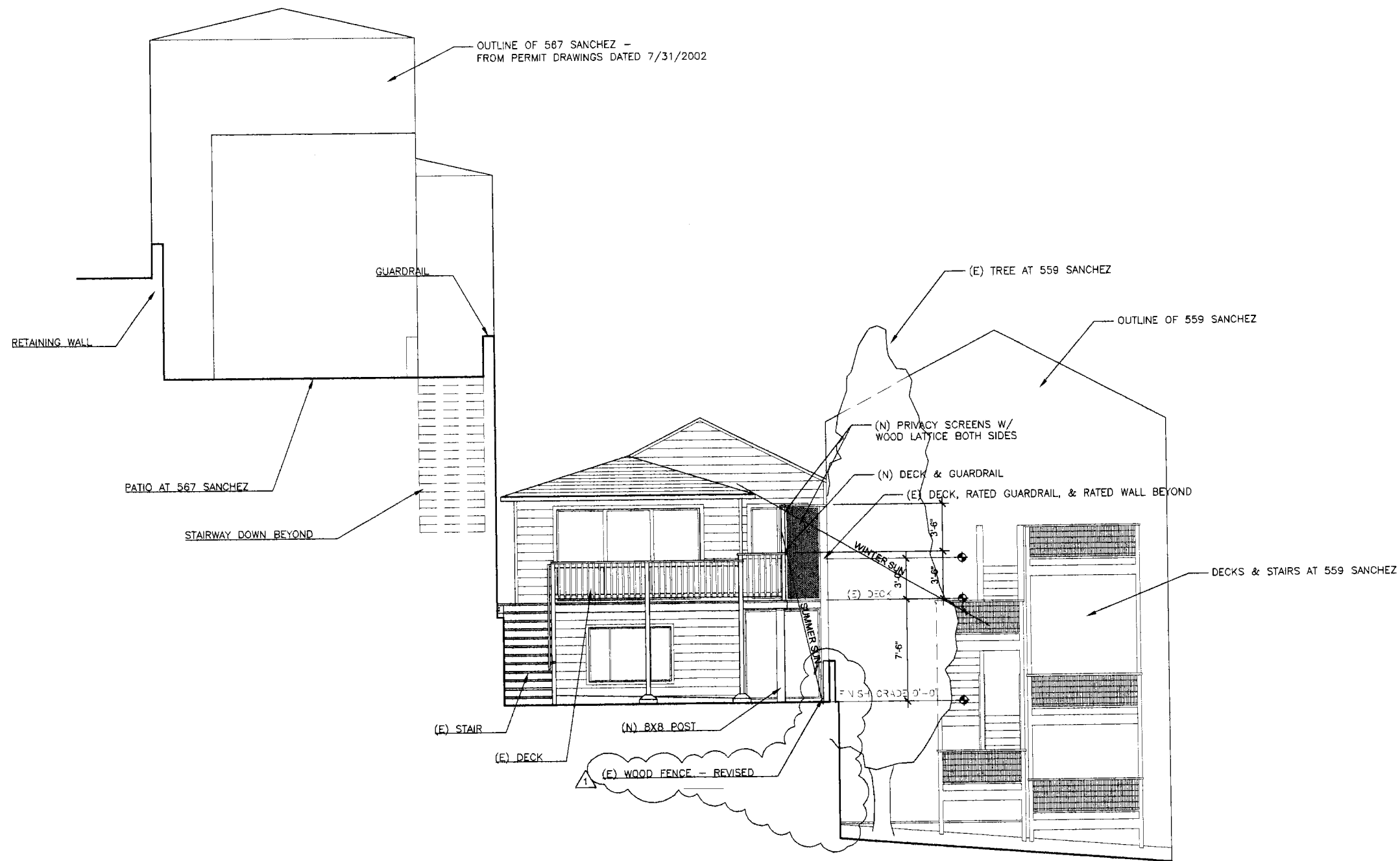
0 1' 2' 4' 8'  
SCALE: 1/4" = 1'-0"

EAST ELEVATION -  
EXISTING

EXTENSION OF EXISTING DECK  
561 SANCHEZ  
CALIFORNIA  
SAN FRANCISCO

DATE:  
16 MAY 2011  
REVISIONS:  
1 15 JAN. 2012

SHEET NO.  
A3.1



1 EAST ELEVATION - PROPOSED

0 1' 2' 4' 8'  
SCALE: 1/4" = 1'-0"

DATE:  
16 MAY 2011  
REVISIONS:  
1 15 JAN. 2012

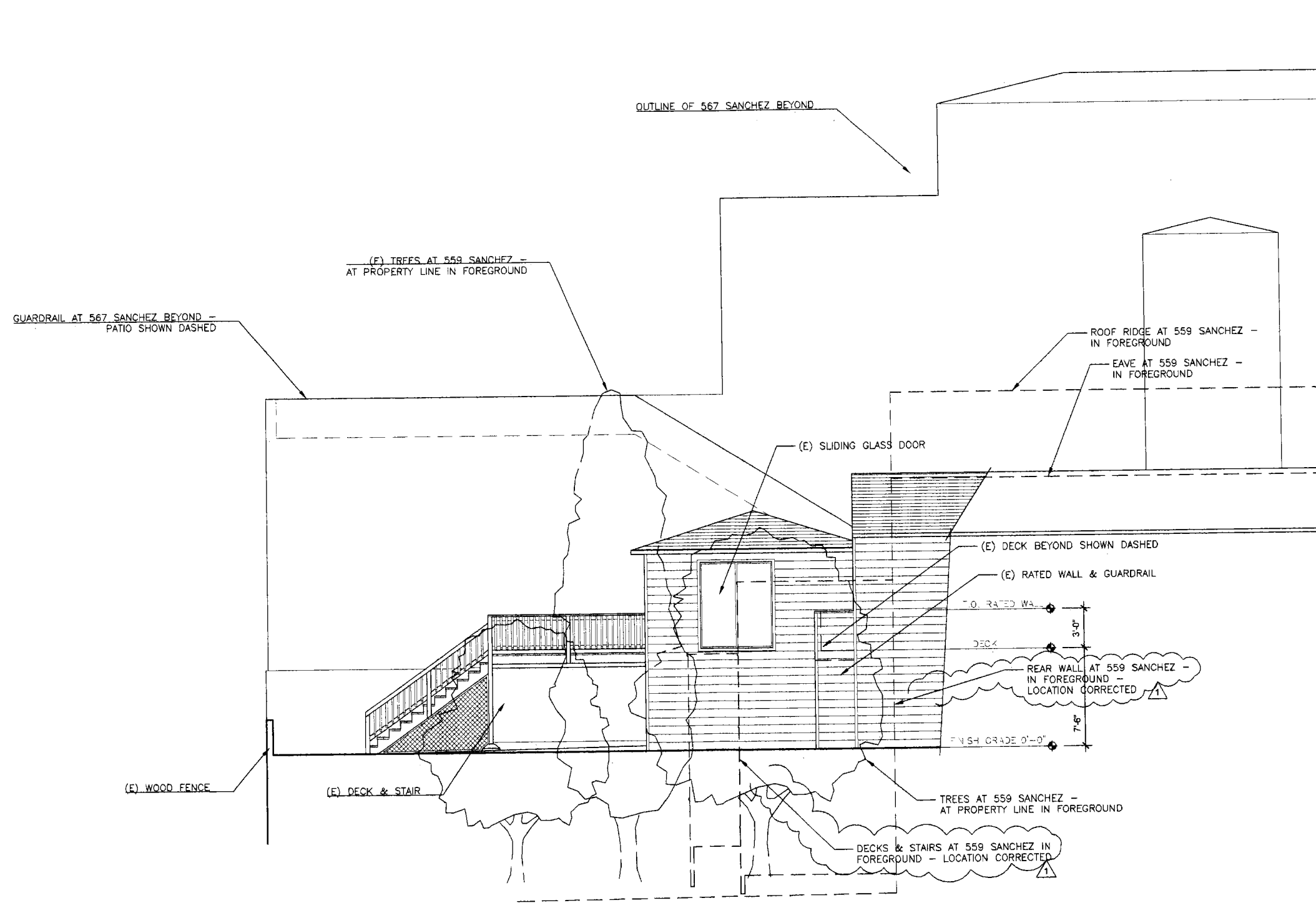
SHEET NO.  
A3.2

EXTENSION OF EXISTING DECK  
561 SANCHEZ

CALIFORNIA  
SAN FRANCISCO

EAST ELEVATION -  
PROPOSED

EDW. LEE HAMMACK ARCHITECT  
Co. Reg. No. C-18890  
San Francisco, CA 94119 415.382.6258  
3427 Fillmore Street



1

NORTH ELEVATION - EXISTING

0' 1' 2' 4' 8'  
SCALE: 1/4" = 1'-0"

NORTH ELEVATION -  
EXISTING

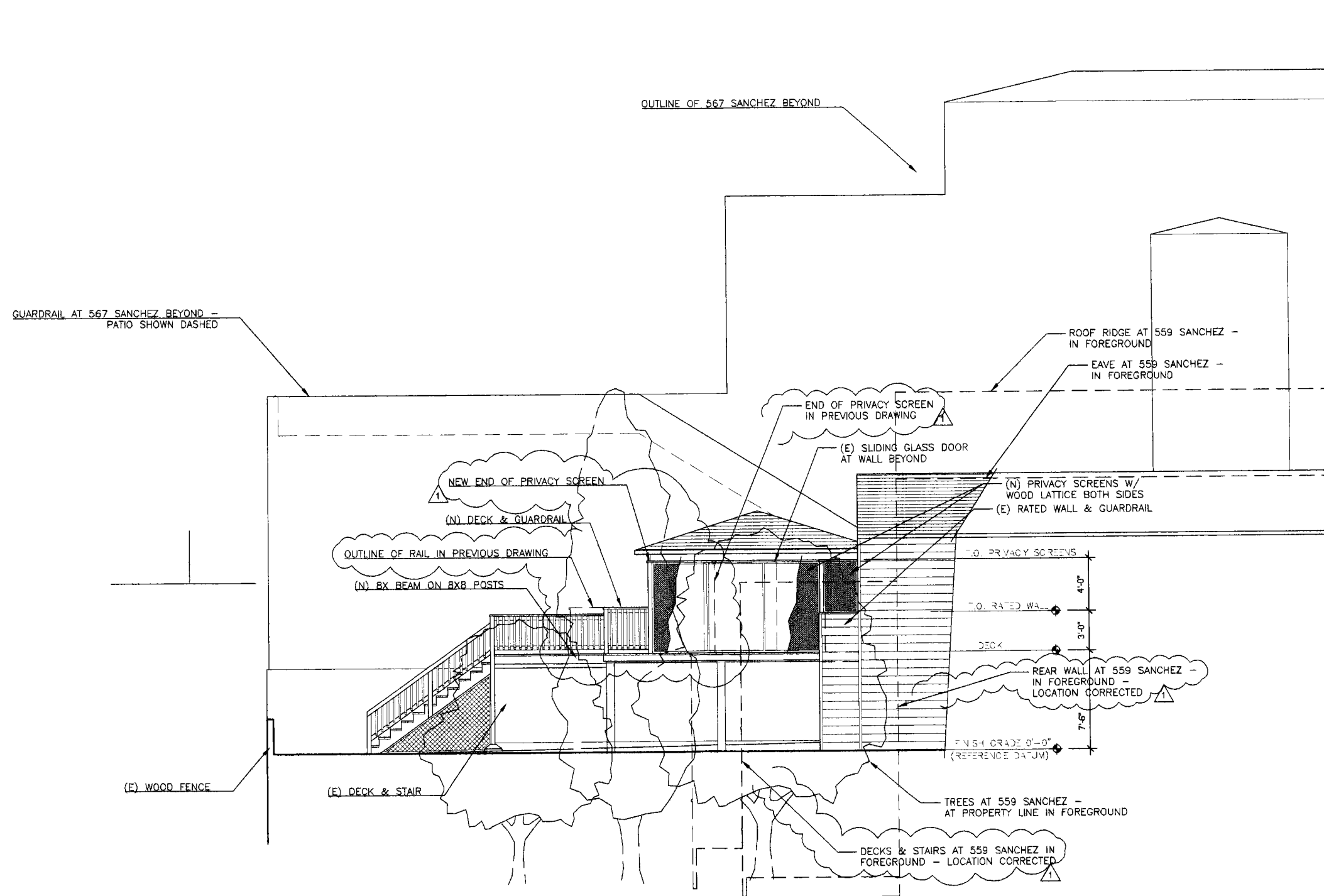
EXTENSION OF EXISTING DECK  
561 SANCHEZ

CALIFORNIA  
SAN FRANCISCO

DATE:  
16 MAY 2011  
REVISIONS:  
15 JAN. 2012

SHEET NO.  
A3.3

EDGE LEE HAMMACK ARCHITECT  
C/O Reg. No. C-13850  
San Francisco, CA 94110  
415.262.6258



1

NORTH ELEVATION - PROPOSED

0 1' 2' 4' 8'

SCALE: 1/4" = 1'-0"

NORTH ELEVATION -  
PROPOSED

EXTENSION OF EXISTING DECK  
561 SANCHEZ

CALIFORNIA  
SAN FRANCISCO

DATE:  
16 MAY 2011  
REVISIONS:  
15 JAN. 2012

SHEET NO.  
A3.4

EDWARD LEE HANBACK ARCHITECT  
CA Reg. No. C-13850  
415 284-4158  
San Francisco, CA 94110