



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 26, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard & Non-conforming structure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 850 Battery St	Case No.: 2012.0158V
Cross Street(s): Vallejo Street	Building Permit: N/A
Block / Lot No.: 0141/008	Applicant/Agent: Dean Orr
Zoning District(s): C-2 / 65-X	Telephone: 348-9650 x22
Area Plan: N/A	E-Mail: deano@jensen-architects.com

PROJECT DESCRIPTION

850 BATTERY STREET, Lot 008 in Assessor's Block 0141 in a C-2 (Community Business) Zoning District, a 65-X Height and Bulk District, and the Northeast Waterfront Historic District. The proposal is for a one-story vertical addition to the existing two-story commercial building to create two new residential units. Open space for the new units would be provided by two roof patios (approximately 18.5 feet by 30 feet) facing onto Vallejo Street. The existing building will be rehabilitated and a new garage opening will be installed at the east end of the north elevation. A Certificate of Appropriateness for the proposed project was approved by the Historic Preservation Commission at a regularly scheduled public hearing on August 1, 2012 (Case No. 2012.0158A, Motion No. 0167).

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 24.5 feet. The proposed vertical addition would be constructed to the rear lot line over three-quarters of the width of the property and result in only a partial rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

PER SECTION 188 OF THE PLANNING CODE a non-complying structure may be altered provided no new discrepancy is created. The existing building is built to the lot lines and is a non-complying structure as it was constructed within the required rear yard. The proposed vertical addition would add to the non-complying structure and thus would be contrary to Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Melissa P. LaValley** Telephone: **415-575-9084** Mail: melissa.lavalley@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0158V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

There is no associated Building Permit Application with this Variance request.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS		
A	&	AND
	<	ANGLE
	@	AT
B	A.B.	ANCHOR BOLT
	ABV.	ABOVE
	ACCU.	ACoustICAL
C	A.D.	AREA DRAIN
	ADJ.	ADJUSTABLE
	A.F.F.	ABOVE FINISH FLOOR
D	AGGR.	AGGREGATE
	ALUM.	ALUMINUM
	ALT.	ALTERNATE
E	APPROX.	APPROXIMATE
	ARCH.	ARCHITECT
	ARCH'L	ARCHITECTURAL
F	ASPH.	ASPHALT
	B.	BATHROOM
	BD.	BOARD
G	B.H.C.S.	BUTTON HEAD CAP SCREW
	BITUM.	BITUMINOUS
	BLDG.	BUILDING
H	BLK.	BLOCKING
	BLM.	BEAM
	B.O.	BOTTOM OF
I	BR.	BEDROOM
	BTM.	BOTTOM
	B.U.	BUILT UP
J	CAB.	CABINET
	CARP.	CARPET
	C.B.	CATCH BASIN
K	CHAN.	CHANNEL
	C.H.	CEILING HEIGHT
	C.I.	CAST IRON
L	C.J.	CONTROL JOINT
	C.L.	CENTER LINE
	C.G.	CORNER GUARD
M	CLG.	CEILING
	CLG.	CAULKING
	CLO.	CLOSET
N	C.O.	CLEAN OUT
	CLR.	CLEAR
	COL.	COLUMN
O	COMP.	COMPOSITION
	CONC.	CONCRETE
	CONN.	CONNECTION
P	CONSTR.	CONSTRUCTION
	CONT.	CONTINUOUS
	C.M.U.	CONCRETE MASONRY UNIT
Q	C.T.	CERAMIC TILE
	CTR.	CENTER
	CTSK.	COUNTERSINK
R	C.W.	COLD WATER
	DBL.	DOUBLE
	DEPT.	DEPARTMENT
S	DET.	DETAIL
	D.F.	DRINKING FOUNTAIN
	Ø	DIAMETER
T	DIA.	DIAMETER
	DIM.	DIMENSION
	DISP.	DISPENSER
U	DN.	DOWN
	D.O.	DOOR OPENING
	DR.	DOOR
V	DS.	DOWNSPOUT
	DWG(S).	DRAWING(S)
	DWR.	DRAWER
W	(E)	EXISTING
	E.	EAST
	EA.	EACH
X	E.F.	EXHAUST FAN
	E.J.	EXPANSION JOINT
	EL.	ELEVATION
Y	ELEC.	ELECTRICAL
	ELEV.	ELEVATOR
	E.E.R.	EMERGENCY
Z	ENG.	ENGINEER
	EQ.	EQUAL
	EQT.	EQUIPMENT
AA	E.S.	EACH SIDE
	EXT.	EXTENSION
	F.A.	FIRE ALARM
BB	F.A.U.	FORCED AIR UNIT
	F.B.	FLAT BAR
	F.D.	FLOOR DRAIN
CC	F.F.	FIRE EXTINGUISHER
	F.E.C.	FIRE EXTINGUISHER CABINET
	F.C.D.	FLOOR CLEAN OUT
DD	F.F.	FINISH FLOOR
	F.H.C.S.	FLAT HEAD CAP SCREW
	F.H.M.S.	FLAT HEAD MACHINE SCREW
EE	F.H.W.S.	FLAT HEAD WOOD SCREW
	FIN.	FINISH
	FXT.	FIXTURE
FF	FLR.	FLOOR
	FLASH.	FLASHING
	FLUOR.	FLUORESCENT
GG	FND.	FOUNDATION
	F.O.	FACE OF
	F.O.C.	FACE OF CONCRETE
HH	F.O.F.	FACE OF FINISH
	F.O.M.	FACE OF MASONRY
	F.O.S.	FACE OF STUDS
II	PPRF.	FIREPROOF
	F.S.	FIRE SPRINKLER
	F.T.	FIRE TREATED
JJ	FT.	FOOT OR FEET
	FTG.	FOOTING
	FR.	FRAME
KK	GA.	GAUGE
	GALV.	GALVANIZED
	G.B.	GRAB BAR
LL	G.F.R.C.	GLASS FIBER REINFORCED CONCRETE
	GL.	GLASS
	GND.	GROUND
MM	GR.	GRADE
	G.S.M.	GALVANIZED SHEET METAL
	GYP. BD.	GYP(SUM BOARD)
NN	H.B.	HOSE BIB
	H.C.	HOLLOW CORE
	H.D.G.	HOT-DIPPED GALVANIZED
OO	HDR.	HEADER
	HDWD.	HARDWOOD
	HGT.	HEIGHT
PP	H.H.B.	HEX HEAD BOLT
	H.H.C.S.	HEX HEAD CAP SCREW
	H.M.	HOLLOW METAL
QQ	HORIZ.	HORIZONTAL
	H.R.	HAND RAIL
	HR.	HOUR
RR	H.W.	HOT WATER
	I.D.	INSIDE DIAMETER
	INSUL.	INSULATION
SS	INT.	INTERIOR
	INV.	INVERT
	JAN.	JANITOR
TT	JT.	JOINT
	KIT.	KITCHEN
	LAM.	LAMINATE
UU	LAV.	LAVATORY
	LBS.	POUNDS
	LKR.	LOCKER
VV	LOC.	LOCATION
	LTS.	LIGHTING
	MACH.	MACHINE
WW	MAG.	MAGNETIC
	MATL.	MATERIAL
	MAX.	MAXIMUM
XX	M.B.	MACHINE BOLT
	M.C.	MEDICINE CABINET
	M.D.F.	MEDIUM DENSITY FIBERBOARD
YY	M.D.O.	MEDIUM DENSITY OVERLAY (BOARD)
	MECH.	MECHANICAL
	MEMB.	MEMBRANE
ZZ	MFR.	MANUFACTURER
	MH.	MANHOLE
	MIN.	MINIMUM / MINUTE
AAA	MISC.	MISCELLANEOUS
	M.P.	MEASURING POINT
	MTD.	MOUNTED
BBB	MTL.	METAL
	MUL.	MULLION
	N.	NEW
CCC	N.	NORTH
	NAT.	NATURAL
	N.I.C.	NOT IN CONTRACT
DDD	NO.	NUMBER
	NOM.	NOMINAL
	N.T.S.	NOT TO SCALE
EEE	OBS.	OBSOLETE
	O.C.	ON CENTER
	O.D.	OUTSIDE DIAMETER (DIM.)
FFF	OFF.	OFFICE
	OPER.	OPERABLE
	OPNG.	OPENING
GGG	OPP.	OPPOSITE
	OPP. HD.	OPPOSITE HAND
	PAY.	PAVING
HHH	PERF.	PERFORATED
	PERP.	PERPENDICULAR
	PL.	PLATE
III	P.L.	PROPERTY LINE
	P.LAM.	PLASTIC LAMINATE
	PLAS.	PLASTER
JJJ	P.W.O.	PLYWOOD
	PR.	PAIR
	PROP.	PROPERTY
KKK	PT.	PAINT
	P.T.	PRESSURE TREATED
	PTD.	PAINTED
LLL	P.V.C.	POLY VINYL CHLORIDE
	Q.T.	QUARRY TILE
	QTY.	QUANTITY
MMM	R.	RISER
	RAD.	RADIUS
	R.C.	RESILIENT CHANNEL
NNN	R.I.C.	REINFORCED CONCRETE
	R.C.P.	REFLECTED CEILING PLAN
	R.D.	ROOF DRAIN
OOO	REF.	REFERENCE
	REFR.	REFRIGERATOR
	REGTR.	REGISTER
PPP	REIN.	REINFORCED
	REQD.	REQUIRED
	REQD.(S)	REQUIREMENT(S)
QQQ	RESUL.	RESILIENT
	REV.	REVISION
	R.H.W.S.	ROUND HEAD WOOD SCREW
RRR	R.H.M.S.	ROUND HEAD MACHINE SCREW
	RM.	ROOM
	R.O.	ROUGH OPENING
SSS	RWD.	REDWOOD
	R.W.L.	RAIN WATER LEADER
	S.	SOUTH
TTT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
	S.C.	SOLID CORE
	SCHED.	SCHEDULE
UUU	S.E.D.	SEE ELECTRICAL DWGS.
	SECT.	SECTION
	S.H.C.S.	SOCKET HEAD CAP SCREW
VVV	SHT.	SHEET
	SHTG.	SHEATHING
	SIM.	SIMILAR
WWW	S.J.	SEISMIC JOINT
	S.L.D.	SEE LANDSCAPE DWGS.
	S.M.D.	SEE MECHANICAL DWGS.
XXX	SPRC.	SPECIFICATION
	SQ.	SQUARE
	S.S.D.	SEE STRUCTURAL DWGS.
YYY	S.S.	STAINLESS STEEL
	STA.	STATION
	STL.	STEEL
ZZZ	STD.	STANDARD
	STOR.	STORAGE
	STRUC.	STRUCTURAL
AAA	SUSP.	SUSPENDED
	T.	TREAD
	TEL.	TELEPHONE
BBB	TEMP.	TEMPERED
	T & G.	TONGUE AND GROOVE
	THK.	THICK
CCC	THRU.	THROUGH
	TEN.	TENAIL
	T.O.	TOP OF
DDD	T.O.P.	TOP OF PLATE
	T.O.S.	TOP OF SLAB / SHEATHING
	T.V.	TELEVISION
EEE	T.O.W.	TOP OF WALL
	TYP.	TYPICAL
	UNF.	UNFINISHED
FFF	U.O.N.	UNLESS OTHERWISE NOTED
	UR.	URINAL
	VAR.	VARIES
GGG	V.C.T.	VINYL COMPOSITION TILE
	VER.	VERTICAL
	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
HHH	V.I.F.	VERY IN FIELD
	W.	WEST
	W.	WITH
III	W.C.	WATER FLOOR CLOSET
	WD.	WOOD
	W/D.	WASHER / DRYER
JJJ	WDM.	WINDOW
	W.G.	WIRE GLASS
	W.H.	WATER HEATER
KKK	W.M.	WALL MOUNT
	W.O.	WHERE OCCURS
	W/O.	WITHOUT
LLL	WP.	WATER PROOFING
	WSCOT.	WAINSCOT
	WT.	WEIGHT
MMM	W.W.F.	WIRE WELDED FABRIC
	W.W.M.	WOVEN WIRE MESH

850 BATTERY

PROJECT SUMMARY

DESCRIPTION:			
THIS PROJECT CONSISTS OF A NEW THIRD STORY VERTICAL ADDITION TO AN EXISTING TWO STORY COMMERCIAL BUILDING. THE THIRD STORY ADDITION WILL CONTAIN TWO RESIDENTIAL UNITS. USE OF THE EXISTING LOWER TWO FLOORS WILL REMAIN COMMERCIAL / OFFICE. SCOPE OF WORK WILL ALSO INCLUDE A NEW INTERIOR PARKING AREA AT THE FIRST FLOOR, STRUCTURAL IMPROVEMENTS, AND INTERIOR IMPROVEMENTS THROUGHOUT.			
PLANNING DATA:			
PROJECT ADDRESS	850 BATTERY STREET, SAN FRANCISCO, CA 94111		
BLOCK AND LOT	0141 / 008		
ZONING DISTRICT	C-2 - COMMUNITY BUSINESS		
BULK & HEIGHT DISTRICT	65-X (65'-0")		
PLANNING DISTRICT	NE TEAM		
SPECIAL USE DISTRICT	WATERFRONT SUB D		
PLANNING QUADRANT	NORTHEAST		
LANDMARK STATUS	N/A		
LOT AREA	4,468.43 SQ.FT.		
SETBACKS:	EXISTING	PROPOSED	REQ'D. / ALLOWABLE
FRONT SETBACK	N/A	N/A	N/A
REAR SET BACK	N/A	N/A	N/A
SIDE YARD SETBACK	N/A	N/A	N/A
REAR YARD	N/A	1,120 SQ.FT.	1,117 SQ.FT. (25% AT FIRST LEVEL OF RESIDENTIAL USE)
BUILDING DATA:	EXISTING	PROPOSED	REQ'D. / ALLOWABLE
CONSTRUCTION TYPE	TYPE V, N.R.	TYPE V-B	N/A
STORIES OF OCCUPANCY	2	3	N/A
BASEMENTS	0	0	N/A
BUILDING AREA (GROSS ENCLOSED AREA)	8,894 SQ.FT.	12,221 SQ.FT.	N/A
BUILDING HEIGHT	29'-10 1/2"	39'-9"	65'-0"
BUILDING USE	OFFICE	OFFICE / DWELLING (C.U.)	(C.U.)
OCCUPANCY GROUP	B	B / R3	N/A
FIRE SPRINKLERS	NO	YES	NO
FIRE ALARM SYSTEM	NO	YES	NO
OFF-STREET PARKING SPACES	0	2	2
NO. DWELLING UNITS	0	2	N/A

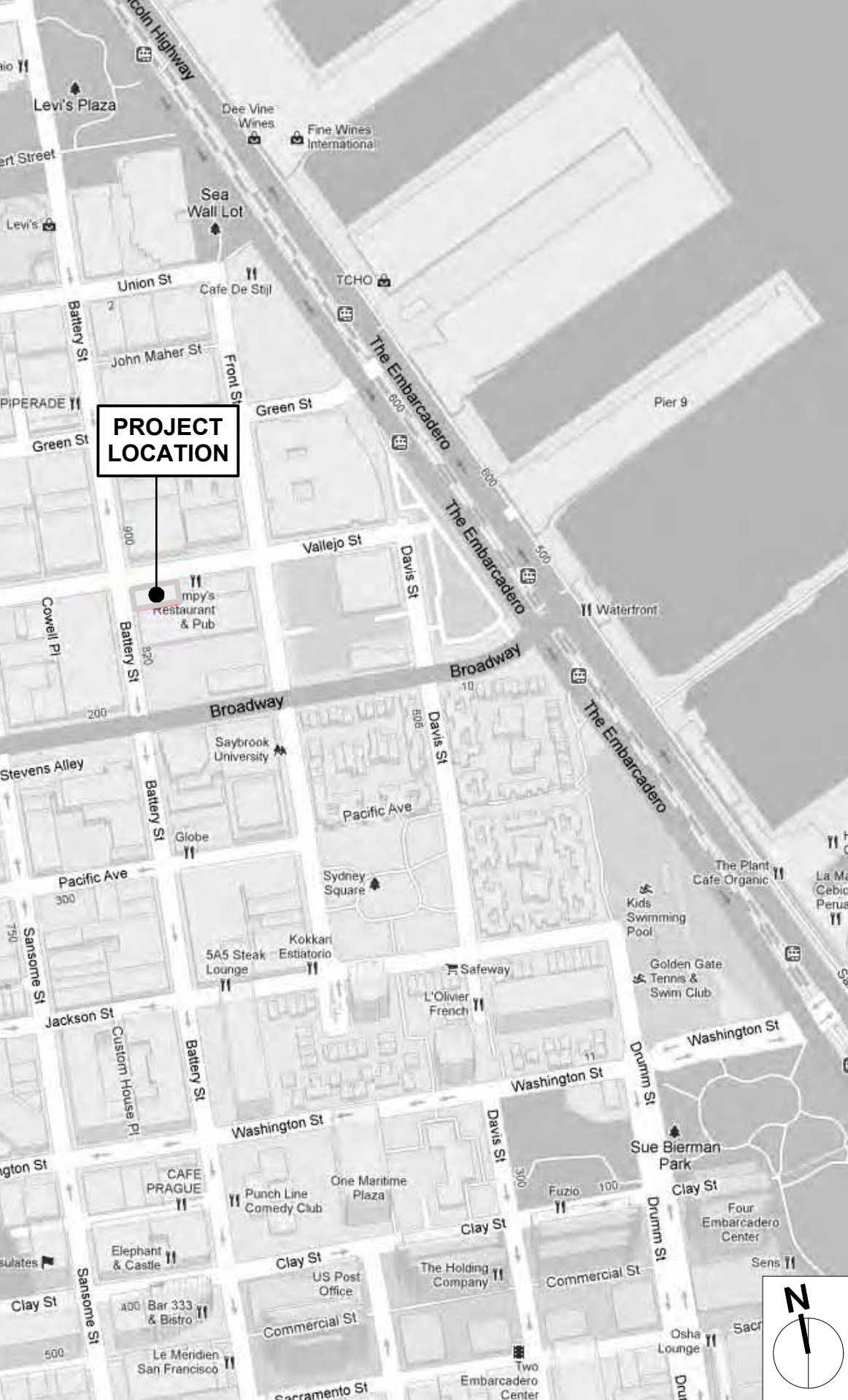
BUILDING AREA CALCULATIONS

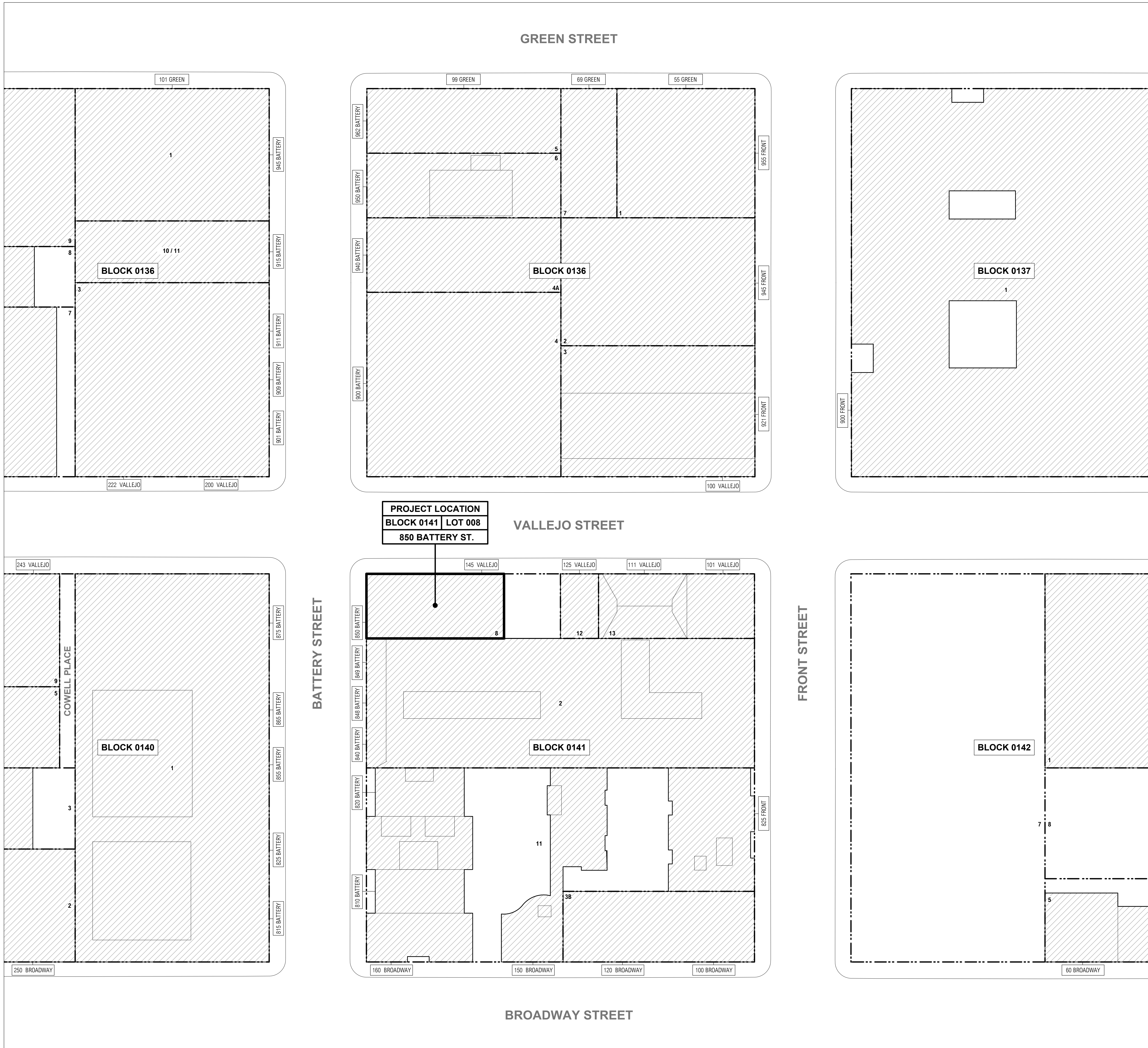
GROSS FLOOR AREA:	EXISTING	PROPOSED
1ST LEVEL	4,447 SQ.FT.	4,447 SQ.FT.
2ND LEVEL	4,447 SQ.FT.	4,447 SQ.FT.
3RD LEVEL	0	3,327 SQ.FT.
TOTAL CONDITIONED SPACE:	8,894 SQ.FT.	12,221 SQ.FT.
YARD AREA:	-	-
FIRST LEVEL YARD AREA	-	-
SECOND LEVEL YARD AREA	-	-
THIRD LEVEL YARD AREA (331)	N/A	560 SQ.FT.
THIRD LEVEL YARD AREA (332)	N/A	560 SQ.FT.
TOTAL YARD AREA:	0 SQ.FT.	1,120 SQ.FT.

APPLICABLE CODES

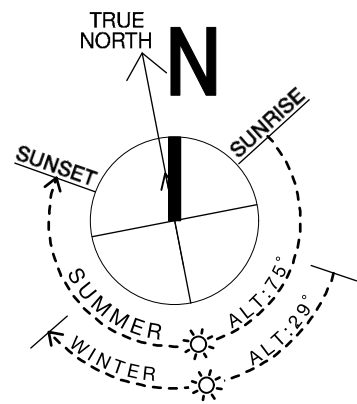
PLANNING CODES:	2007 SF PLANNING CODE WITH ALL AMENDMENTS TO PRESENT DATE
BUILDING CODES:	2010 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS 2010 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS 2010 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS 2010 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS 2010 CALIFORNIA ENERGY CODE 2010 CALIFORNIA FIRE CODE

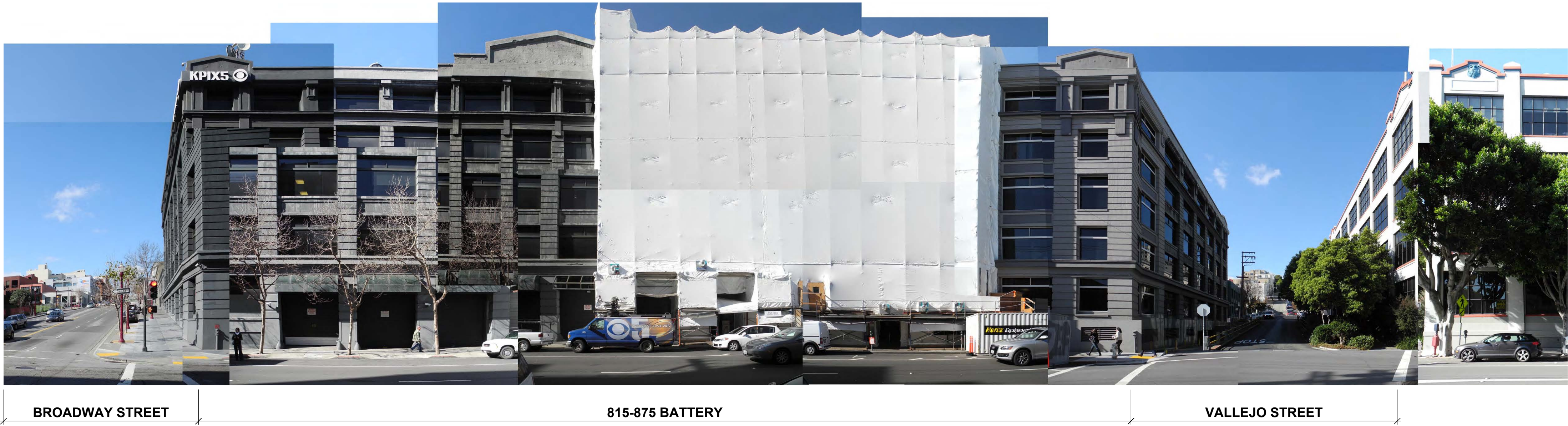
LOCATION MAP



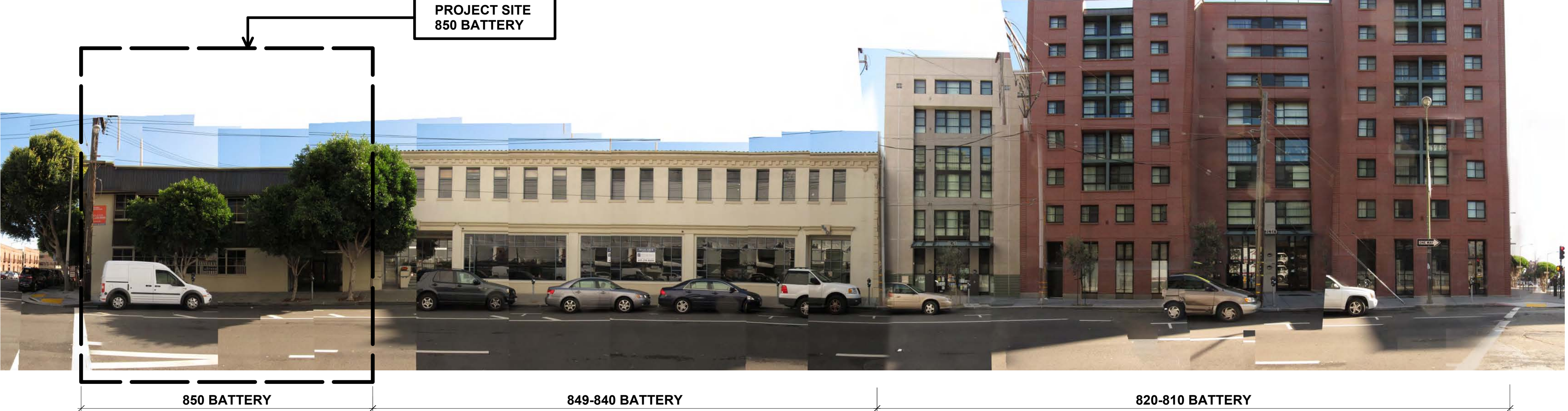


1 EXISTING LOT PLAN
1/32"=1'-0"





1 BATTERY - FACING WEST (ACROSS STREET)
N.T.S.



2 BATTERY - FACING EAST (FRONT ELEVATION)
N.T.S.



3 VALLEJO - FACING NORTH (ACROSS STREET)
N.T.S.



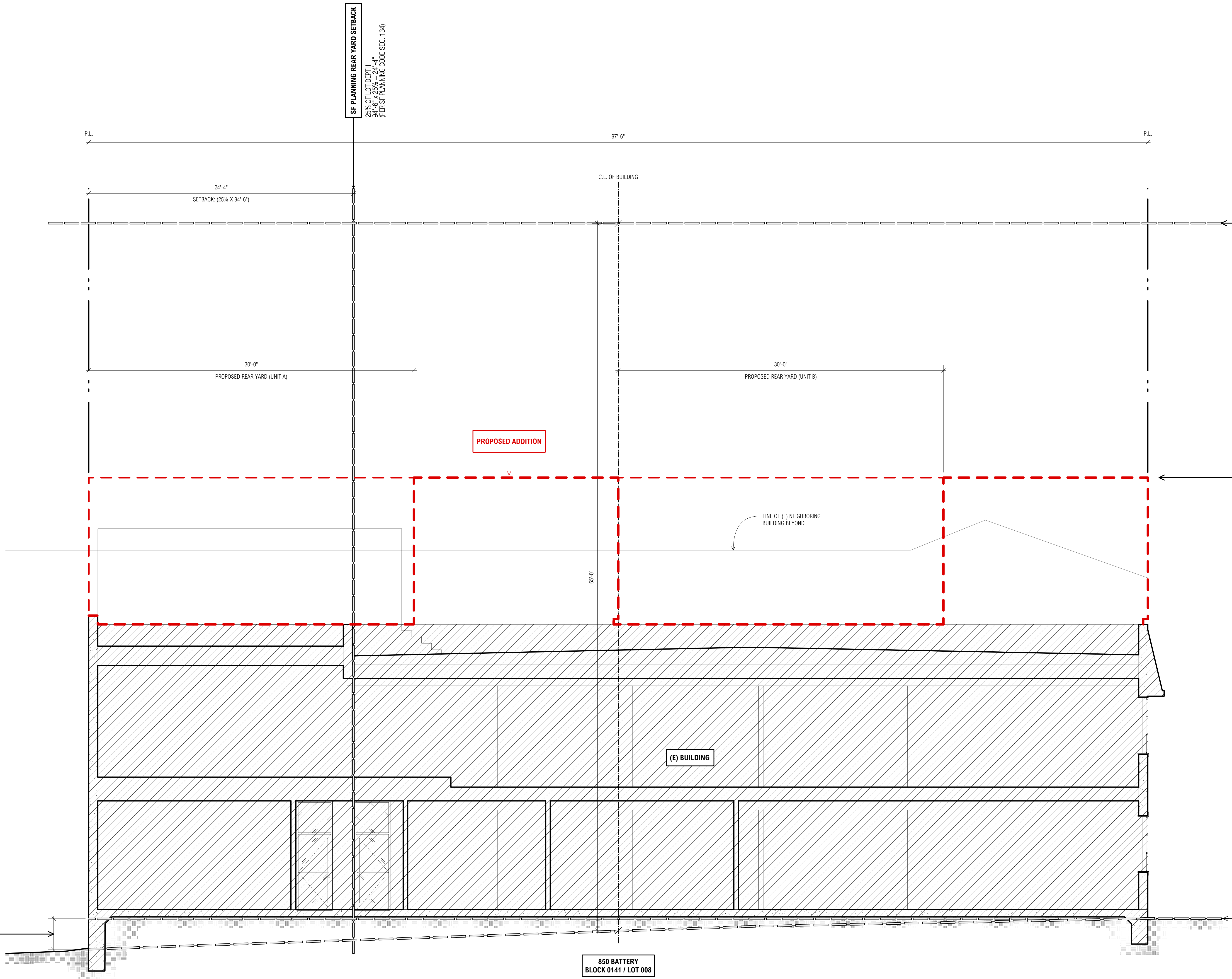
4 VALLEJO- FACING SOUTH (FRONT ELEVATION)
N.T.S.



2 BATTERY STRET ELEVATION
N.T.S.



1 VALLEJO STREET ELEVATION
N.T.S.



SLOPE PERCENTAGE
CHANGE IN SLOPE (2'-10") / LENGTH OF VALLEJO STREET ELEVATION (97'-6") = .03 OR 3% CHANGE IN SLOPE.

GRADE AT BATTERY & VALLEJO
AVG. SLOPE OF CURB OR GROUND IS LESS THAN 5% = HEIGHT OF BUILDING CAN BE MEASURED FROM A SINGLE POINT TAKEN AT THE CENTERLINE OF THE BUILDING.
WHERE THE LOT HAS FRONTAGE ON TWO OR MORE STREETS, THE OWNER MAY CHOOSE THE STREET OR STREETS FROM WHICH THE MEASUREMENT OF HEIGHT IS TO BE TAKEN.
(PER SF PLANNING CODE SEC. 102.12 & TABLE 260)

HEIGHT LIMIT APPLICABLE TO ENTIRE PROPERTY
65'-0" (PER SF PLANNING CODE, SEC. 260)
AVG. SLOPE OF CURB OR GROUND IS LESS THAN 5% = HEIGHT OF BUILDING CAN BE MEASURED FROM A SINGLE POINT TAKEN AT THE CENTERLINE OF THE BUILDING.
WHERE THE LOT HAS FRONTAGE ON TWO OR MORE STREETS, THE OWNER MAY CHOOSE THE STREET OR STREETS FROM WHICH THE MEASUREMENT OF HEIGHT IS TO BE TAKEN.
(PER SF PLANNING CODE SEC. 102.12 & TABLE 260)

HEIGHT OF PROPOSED ADDITION
39'-9"

SF PLANNING REAR YARD SETBACK
25% OF LOT DEPTH
94'-6" X 25% = 24'-4"
(PER SF PLANNING CODE SEC. 134)

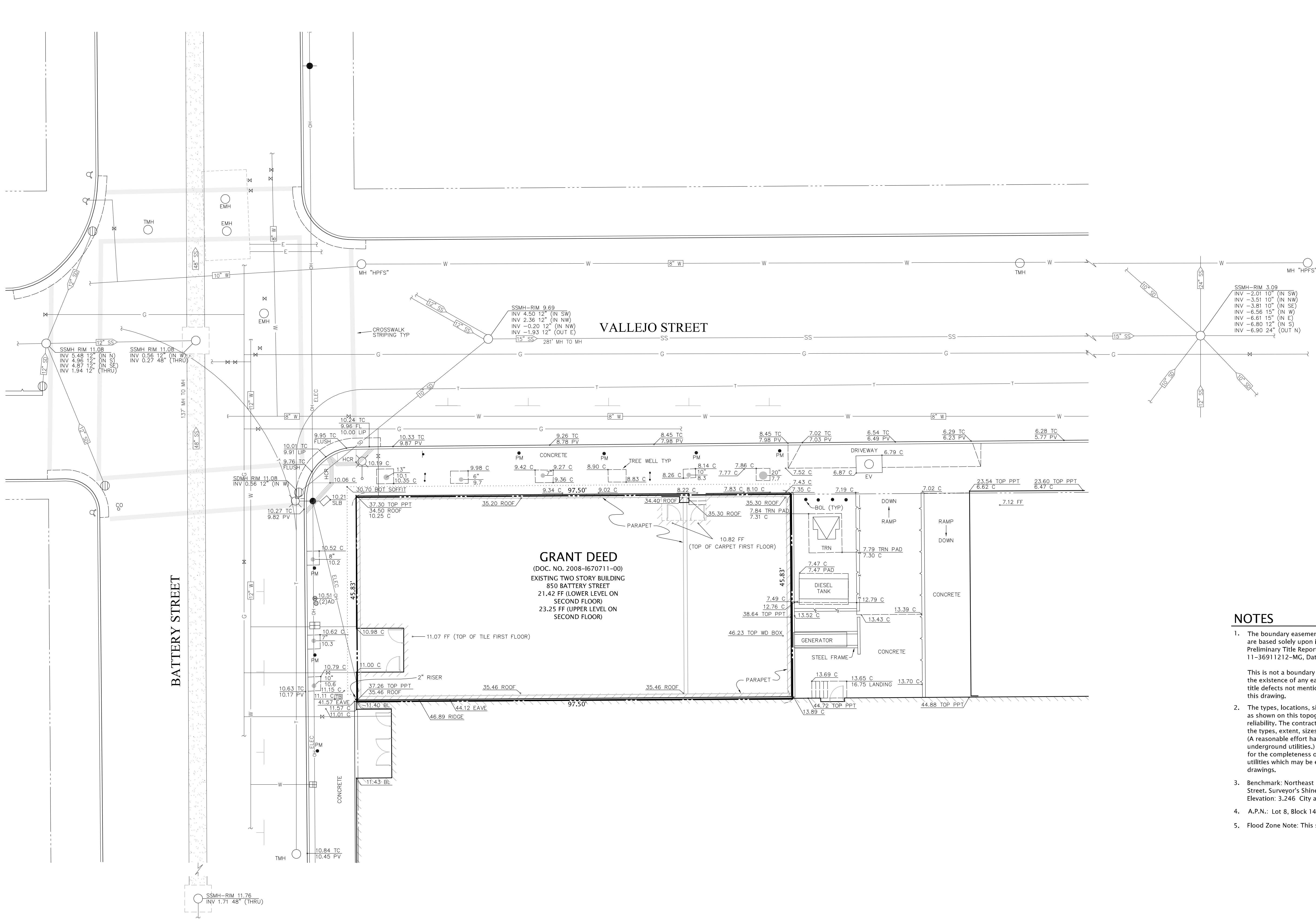
PROPOSED ADDITION

(E) BUILDING

**850 BATTERY
BLOCK 0141 / LOT 008**

1 EXISTING SITE SECTION LOOKING SOUTH / PLANNING CODE ANALYSIS
1/4"=1'-0"





NOTES

- The boundary easements, and other encumbrances shown on this drawing are based solely upon information contained in the following documents:
Preliminary Title Report prepared by Chicago Title Company, Title No. 11-36911212-MG, Dated August 18, 2011.

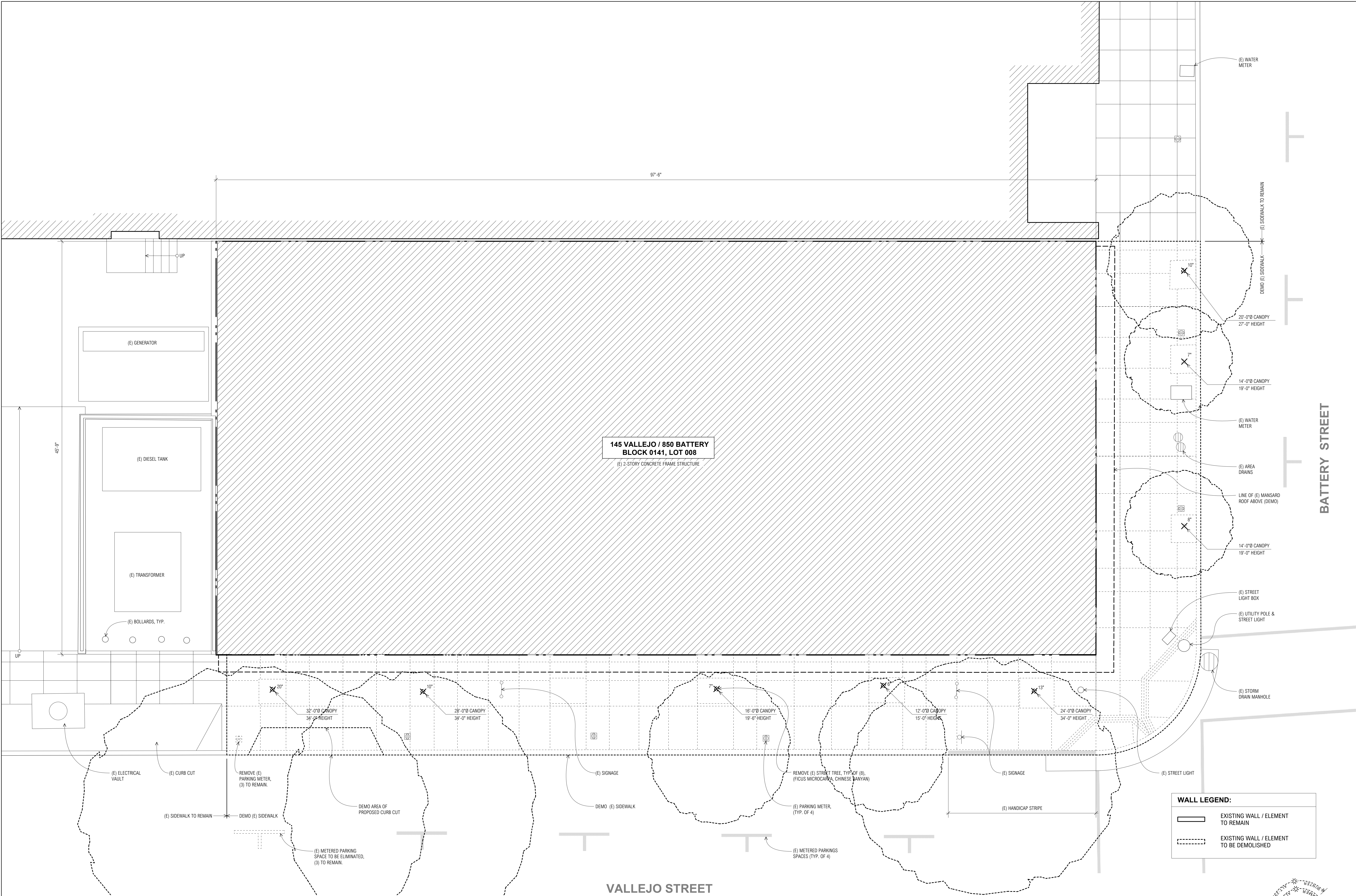
This is not a boundary survey. No liability is assumed by Kier & Wright for the existence of any easement, encumbrances, discrepancies in boundary or title defects not mentioned in said documents and therefore not shown on this drawing.
- The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the engineer can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
- Benchmark: Northeast corner at the intersection of Front Street and Vallejo Street. Surveyor's Shiner in LS #3139 in Sidewalk.
Elevation: 3.246 City and County of San Francisco (Datum)
- A.P.N.: Lot 8, Block 141
- Flood Zone Note: This site is not mapped by FEMA

LEGEND

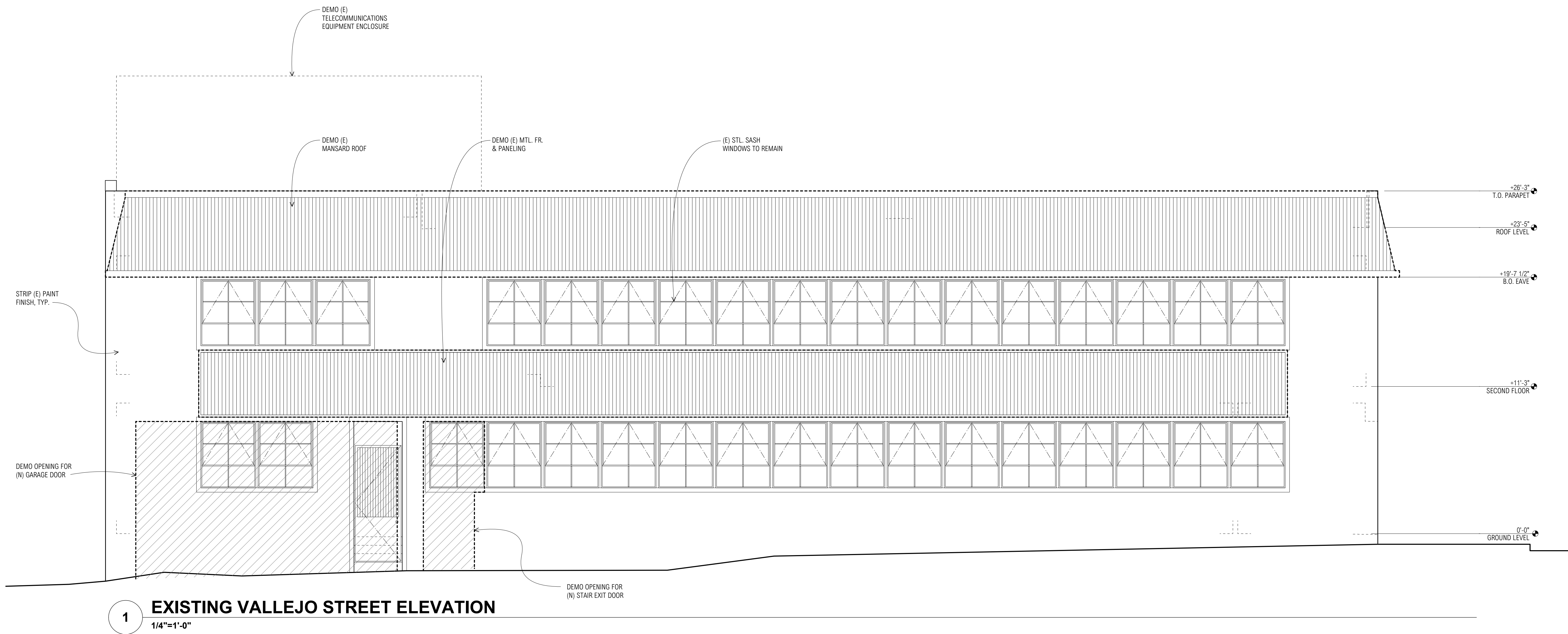
PROPERTY LINE		BOLLARD OR AS NOTED	
ADJACENT PROPERTY LINE		TREE W/ SIZE AND ELEVATION	
BUILDING LINE WITH DOOR		SPOT ELEVATION	
BUILDING OVERHANG		CURB	
BENCHMARK		CURB & GUTTER	
STREET LIGHT		CONCRETE	
TRANSFORMER		FENCE	
FIRE HYDRANT		RETAINING WALL	
MANHOLE		SANITARY SEWER	
CLEAN OUT		STORM DRAIN	
UTILITY POLE		WATER	
VALVE		GAS	
CATCH BASIN / DROP INLET		UNDERGROUND ELECTRIC	
WATER METER		TELEPHONE	
UTILITY BOX (SIZE VARIES)		OVERHEAD	
SIGN		SANITARY SEWER LARGER THAN 48"	
PARKING			

ABBREVIATIONS

AD	AREA DRAIN	PM	PARKING METER
BM	BENCHMARK	PPT	PARAPET
BOL	BOLLARD	PV	PAVEMENT
BOT	BOTTOM	RIM	RIM ELEVATION
CONC	CONCRETE	SD	STORM DRAIN
CO	CLEAN OUT	SDMH	STORM DRAIN MANHOLE
DOC.	DOCUMENT	SE	SOUTHEAST
ELEC	ELECTRICAL	SLB	STREET LIGHT BOX
EV	ELECTRIC VAULT	SS	SANITARY SEWER
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
HCR	HANDICAP RAMP	SW	SOUTHWEST
HPFS	HIGH PRESSURE FIRE SERVICE	TB	TELEPHONE BOX
INV	INVERT ELEVATION	TC	TOP OF CURB
LIP	LIP OF GUTTER	TRN	TRANSFORMER
MH	MANHOLE	TYP	TYPICAL
NO.	NUMBER	UP	UTILITY POLE
NW	NORTHWEST	WD	WOOD
OH	OVERHEAD		

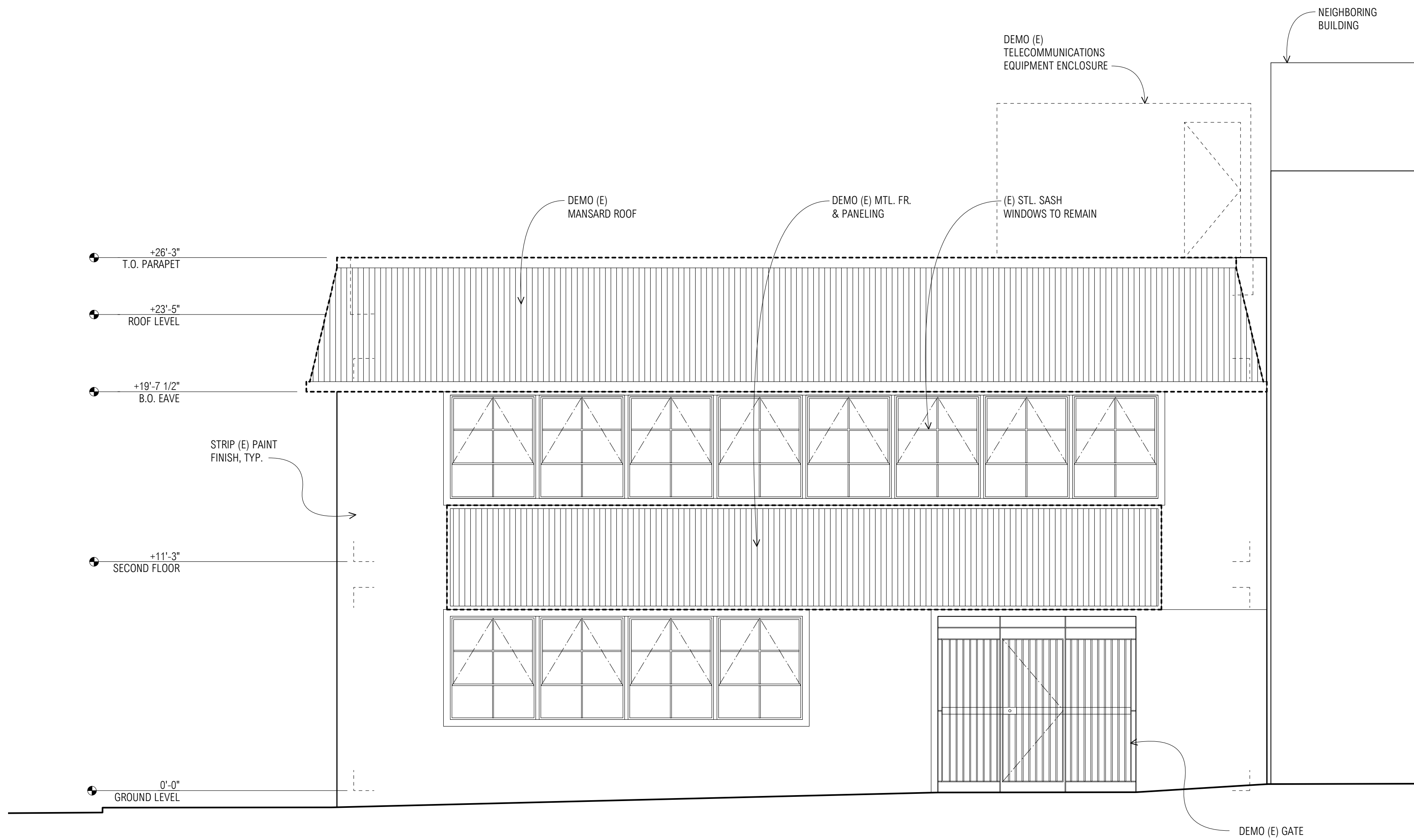






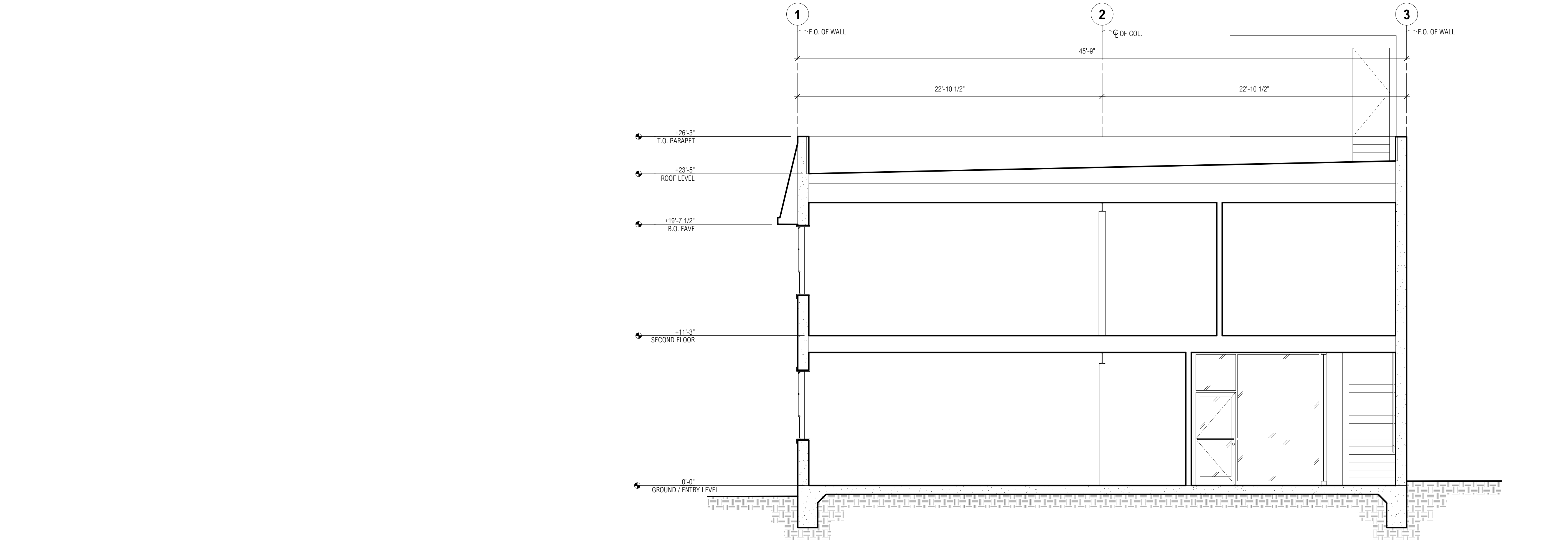
1
1/4"=1'-0"

EXISTING VALLEJO STREET ELEVATION

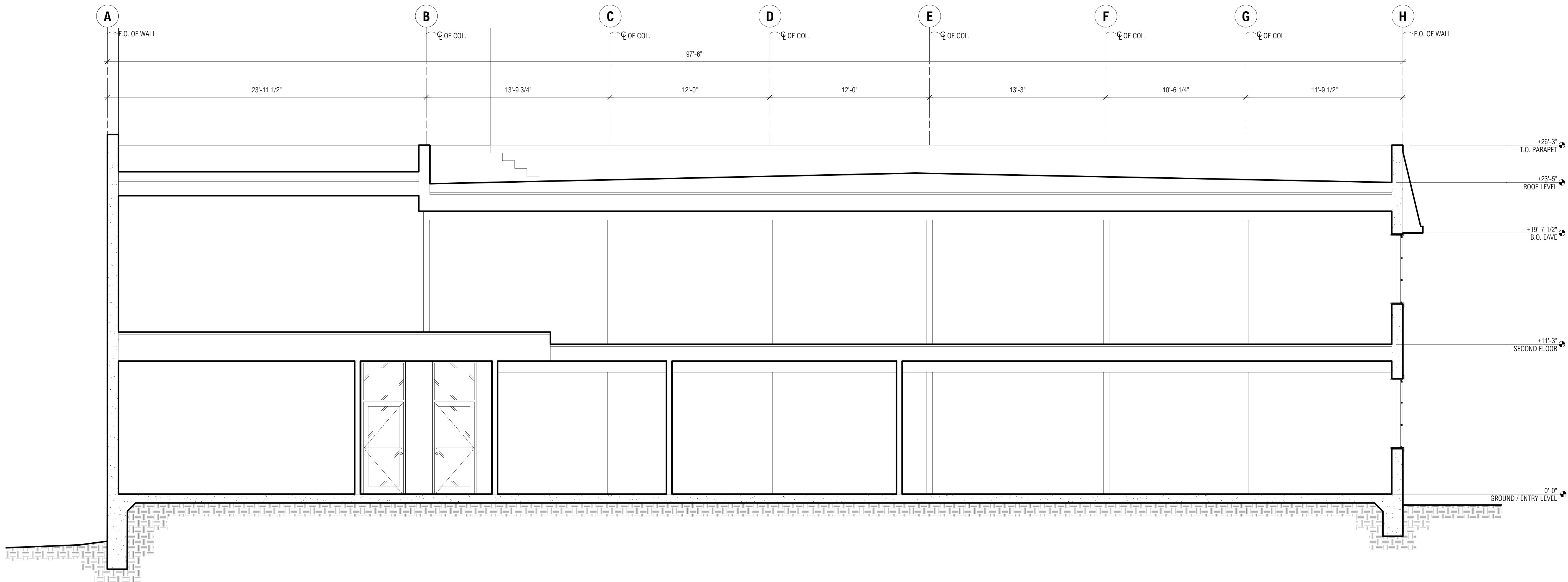


2
1/4"=1'-0"

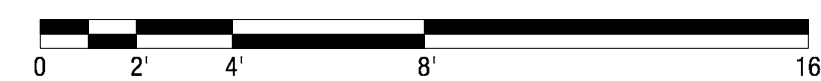
EXISTING BATTERY STREET ELEVATION



2 EXISTING SECTION B-B
1/4"=1'-0"

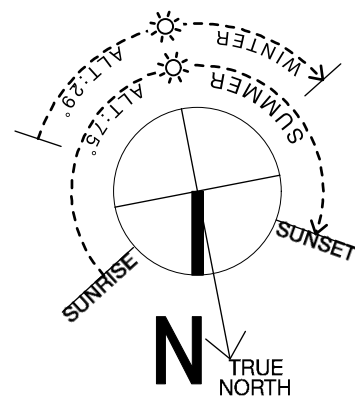
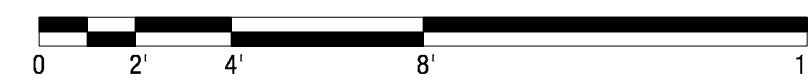


1 EXISTING SECTION A-A
1/4"=1'-0"

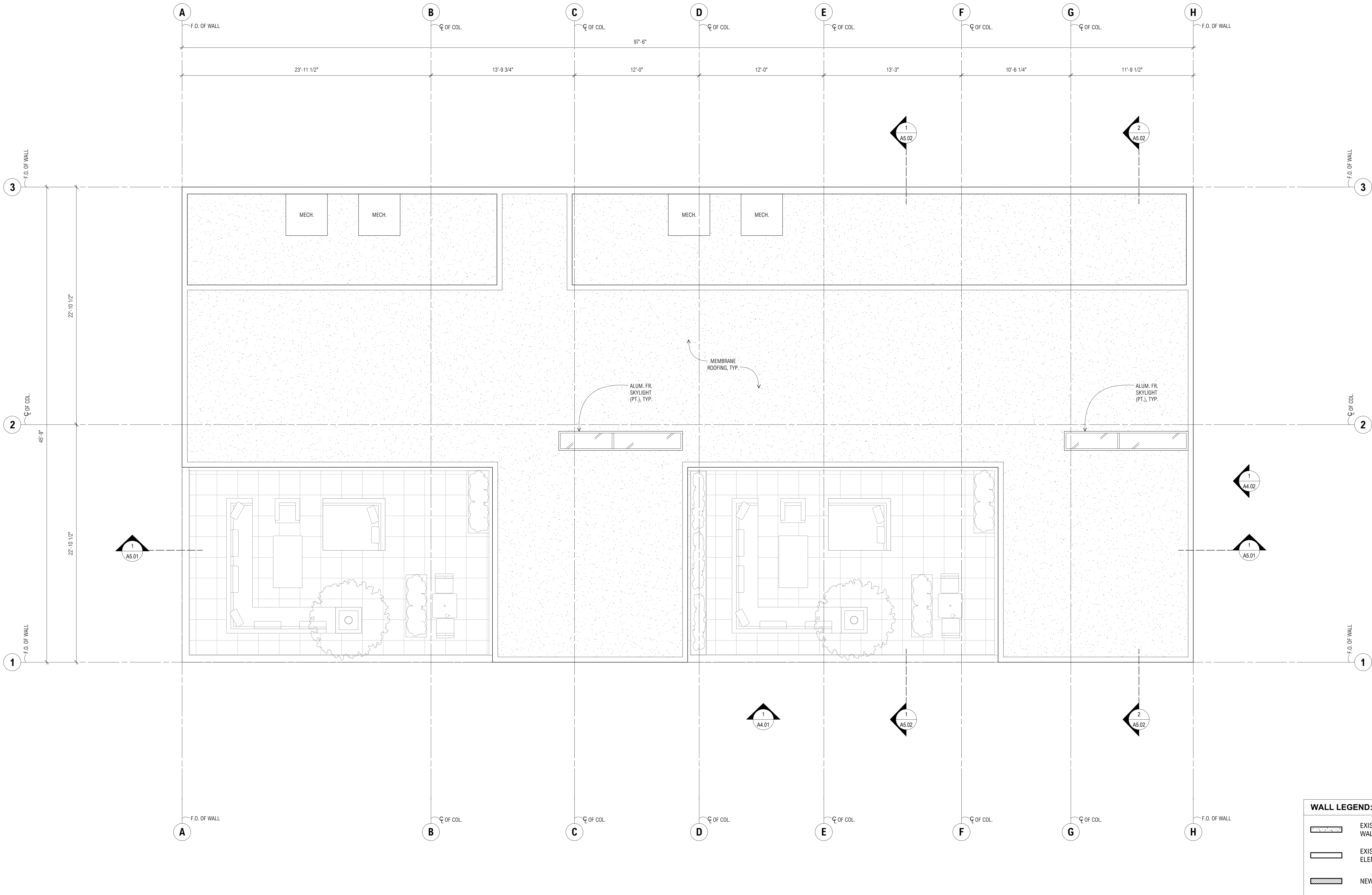




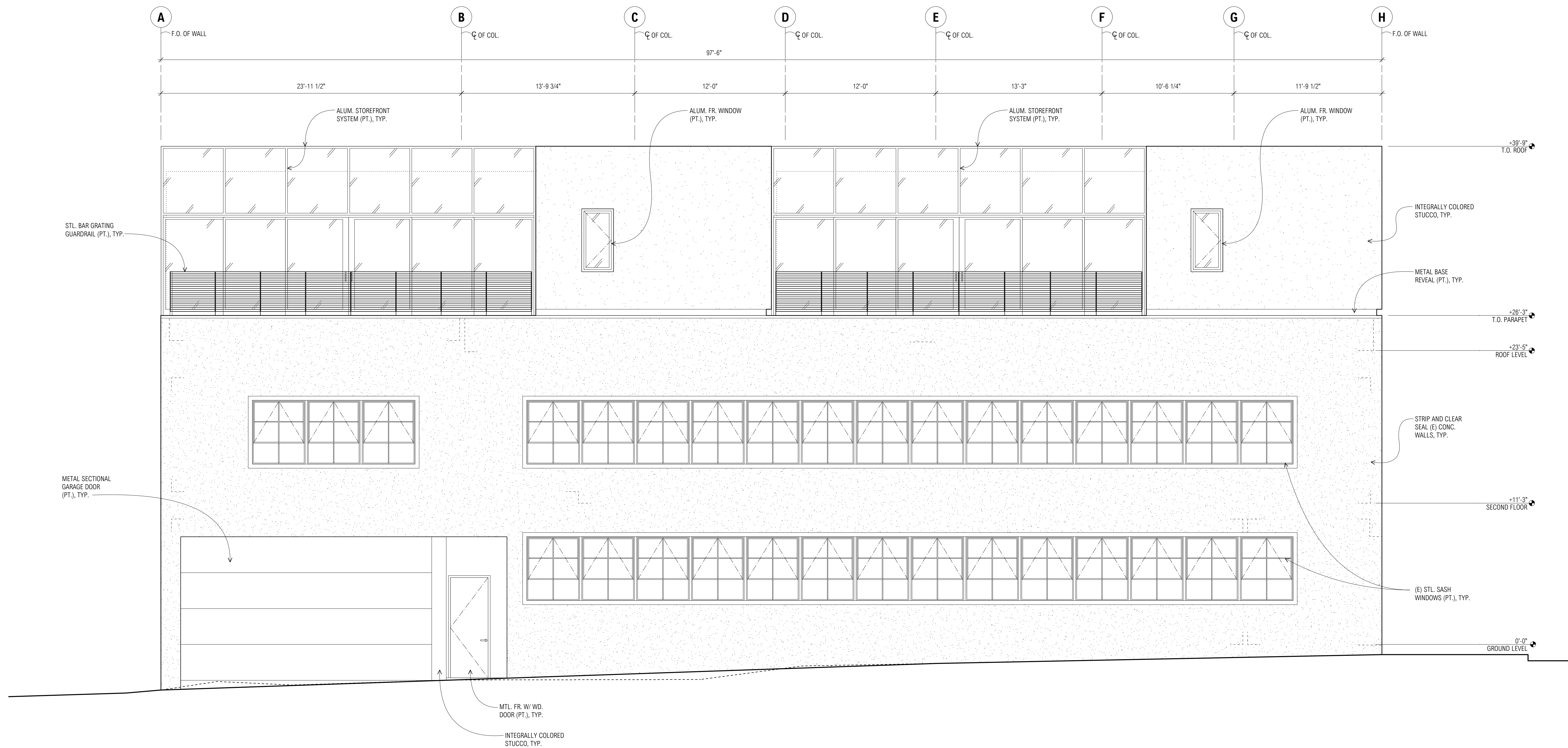
1 PROPOSED THIRD FLOOR PLAN
1/4"=1'-0"



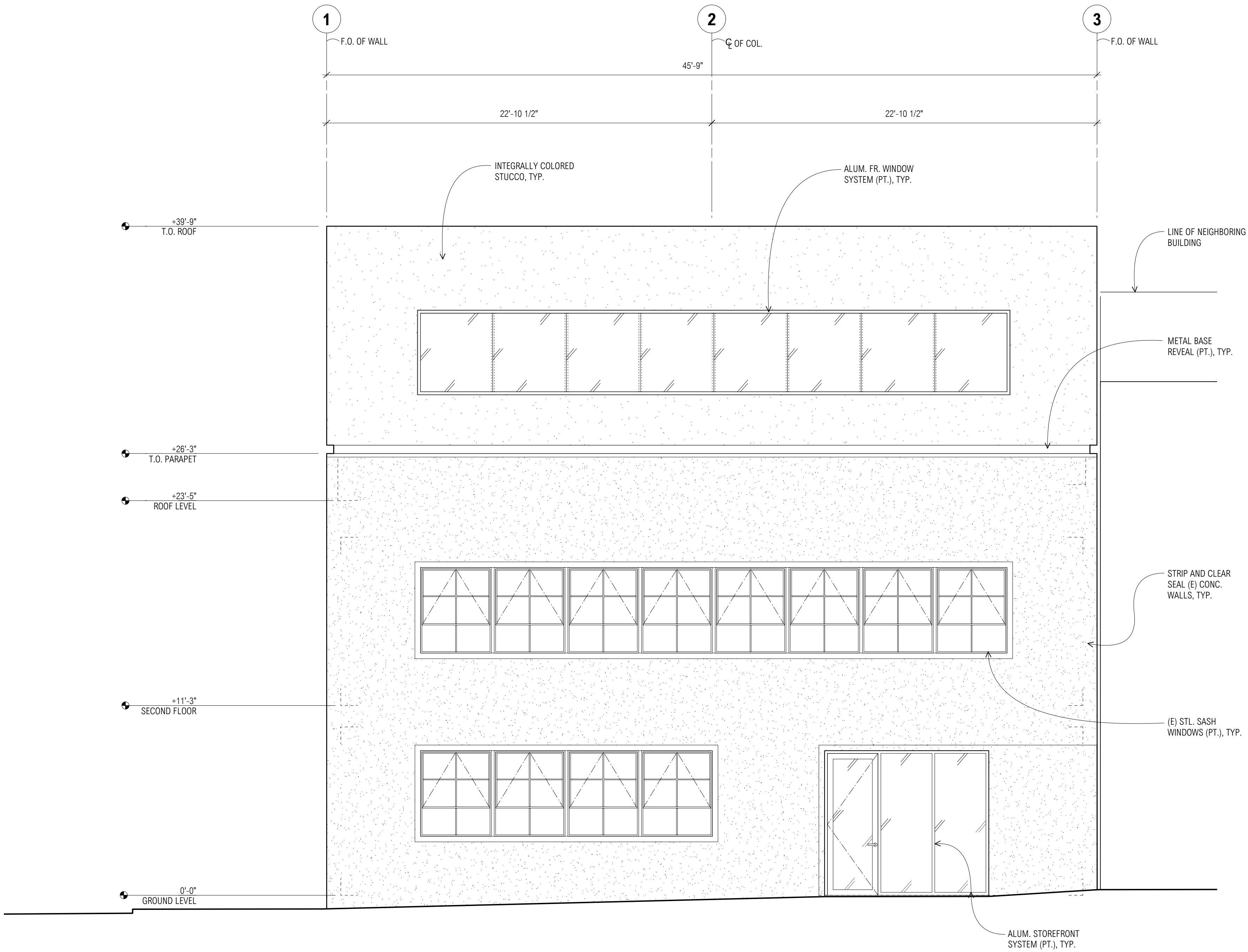
WALL LEGEND:	
	EXISTING CONCRETE WALL TO REMAIN
	EXISTING WALL / ELEMENT TO REMAIN
	NEW WALL / ELEMENT



1
PROPOSED ROOF PLAN
1/4"=1'-0"

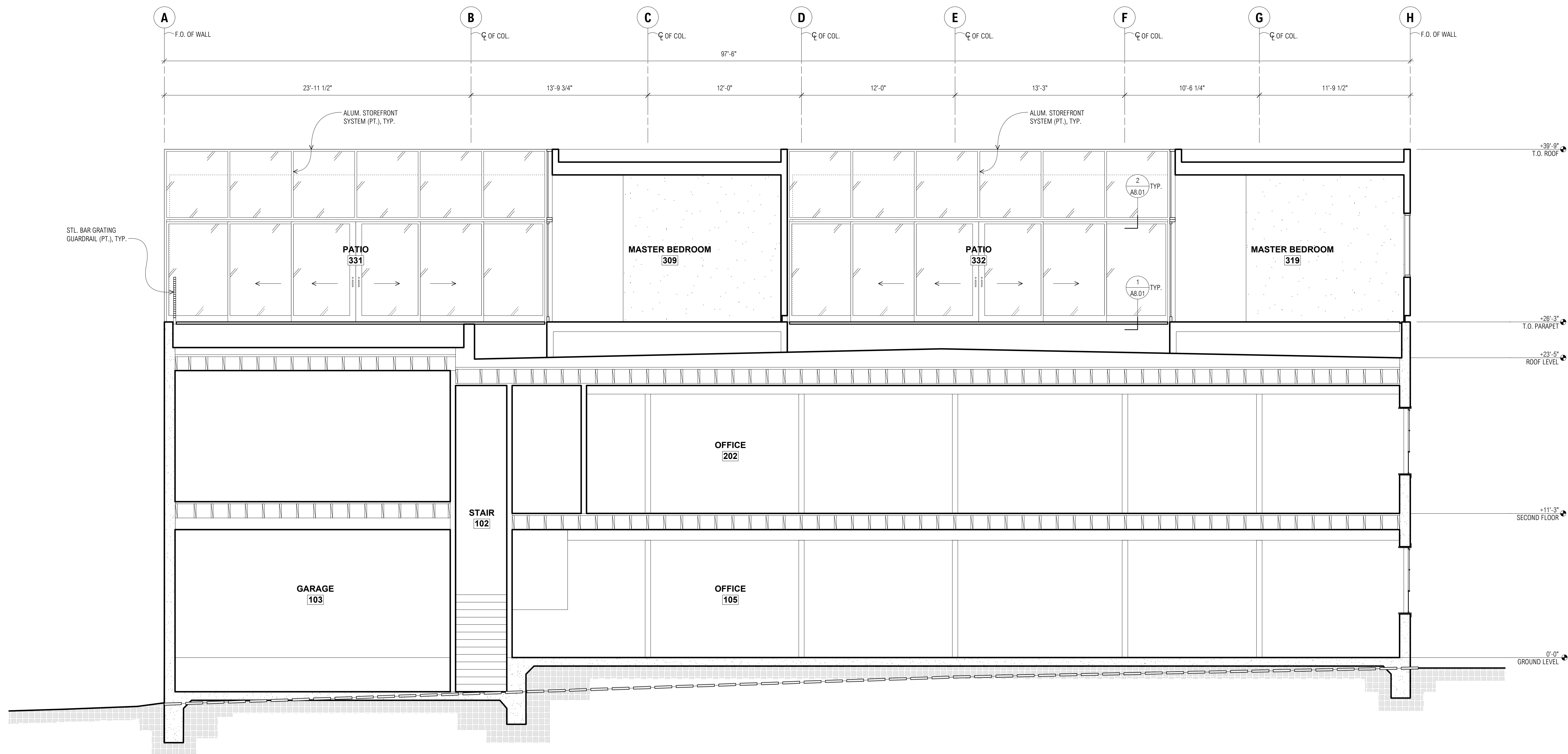


1 VALLEJO STREET ELEVATION (PROPOSED)
1/4"=1'-0"

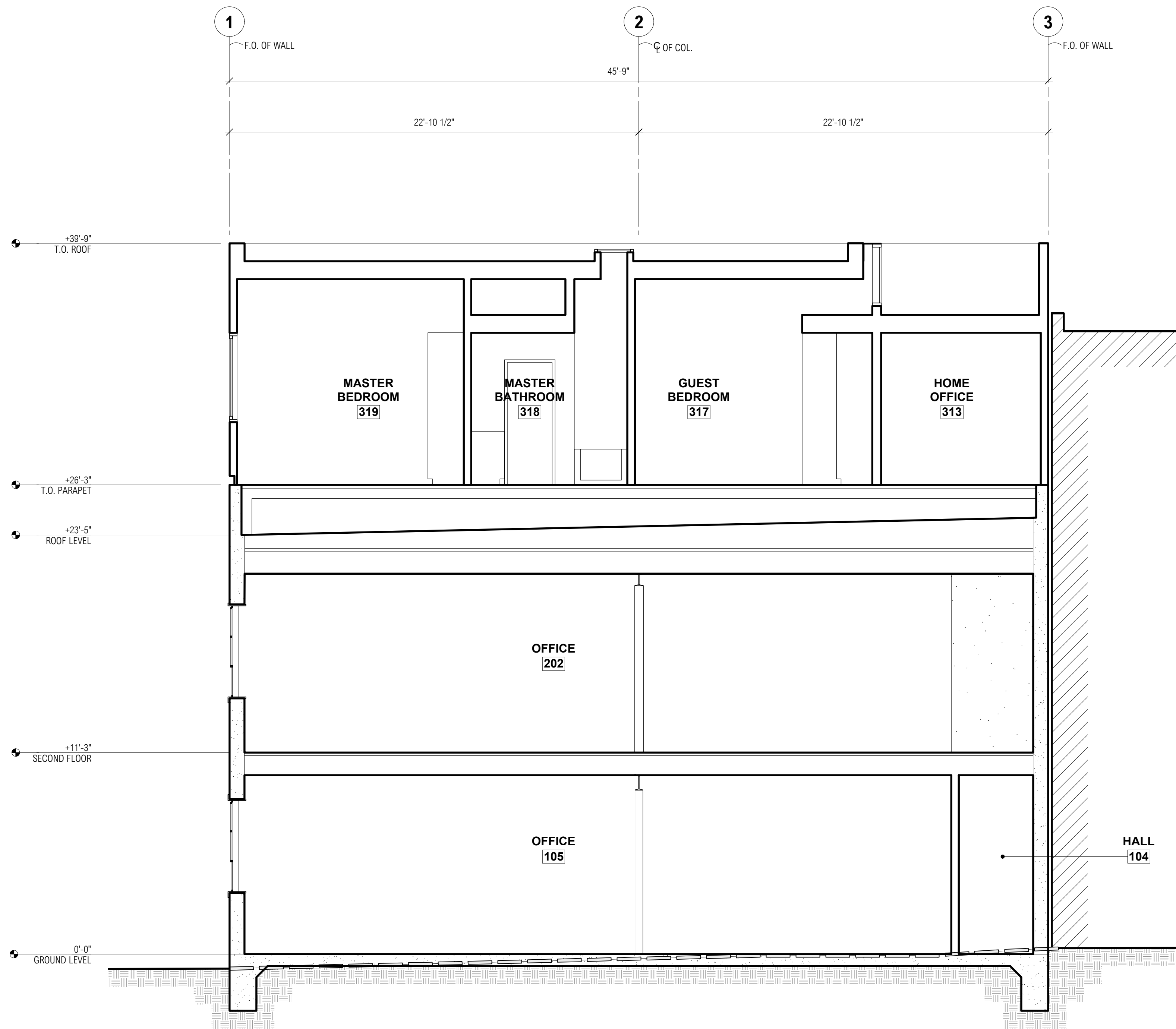


1 BATTERY STREET ELEVATION (PROPOSED)
1/4"=1'-0"

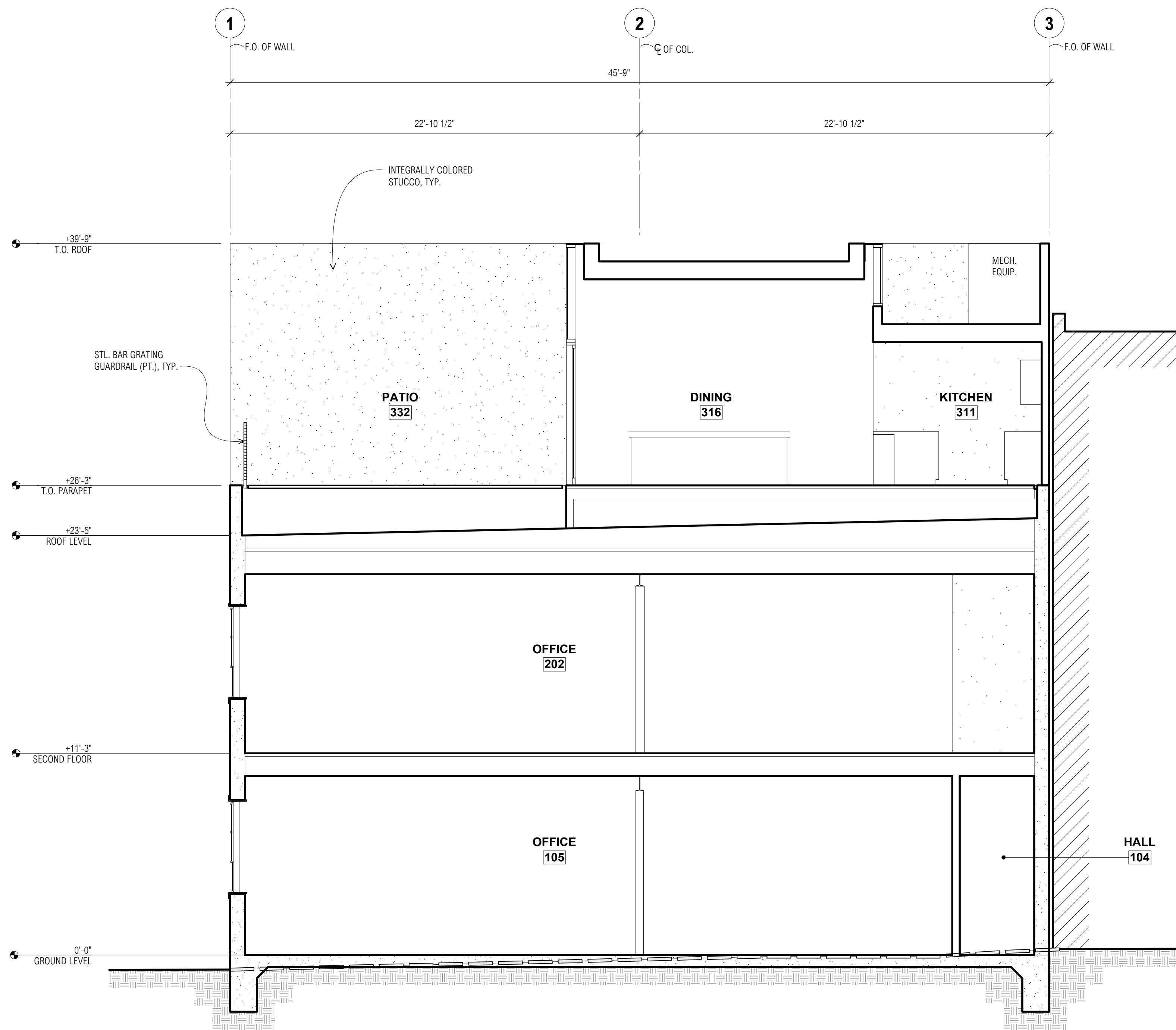
SHEET	ISSUES & REVISIONS	PROJECT	CONSULTANTS	STAMP
BATTERY STREET ELEVATION (PROPOSED)		850 BATTERY		
DATE	9/28/12	850 BATTERY STREET SAN FRANCISCO, CA 94111		
PHASE	SCHEMATIC DESIGN	Copyright © 2012 Jensen Architects. All drawings and other material appearing herein constitute the confidential and proprietary information of Jensen Architects and its clients.		
SCALE	1/4"=1'-0"			



1 SECTION A-A (PROPOSED)
1/4"=1'-0"



2 SECTION C-C (PROPOSED)
1/4"=1'-0"



1 SECTION B-B (PROPOSED)
1/4"=1'-0"