



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 27, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard and Noncomplying Structure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3415 21st Street	Case No.: 2012.0154V
Cross Street(s): Ames Street	Building Permit: 2012.05.21.0922
Block / Lot No.: 3618/066	Applicant/Agent: Geoffrey Gainer
Zoning District(s): RM-2 / 40-X / Liberty-Hill Historic District	Telephone: 415-643-3366
Area Plan:	E-Mail: geof@actual-size.com

PROJECT DESCRIPTION

The proposal includes removal of an existing rear addition/deck and construction of a new rear addition, deck, and carport. The enclosed portion of the new addition will be 46 sq ft larger than the existing addition. The new carport will hold one off-street parking space.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 18 ft 4 in, which is equivalent to the depth of the rear (south) building wall of the adjacent property. Currently, the existing single-family residence intrudes into the rear yard by 13 ft 10 in. The new proposal would replace an existing rear addition in the required rear yard with a larger addition, deck and carport without extending deeper into the lot; therefore, a rear yard variance is required.

PER SECTION 188 OF THE PLANNING CODE, noncomplying structures are not permitted to be expanded. The existing building is considered a legal noncomplying structure because portions of the building encroach into the required rear yard. The proposal would intensify the noncomplying structure by constructing a new addition and carport within the required rear yard, which would be contrary to Section 188. Thus, the project requires a noncomplying structure variance from Planning Code Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre**

Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0154V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

Remodel of the
Landau-Young Residence
3415 Twenty-first St. San Francisco, CA 94110

Scope of Work:

Remove existing fence and deck at rear of lot. Create new curb cut and 1 off-street parking space within rear setback. Expand existing laundry porch with roof deck by 46 sq. ft. Remodel interior.

Block/Lot: 3618/66

Zoning: RM-2

Occupancy: R-3, 1-unit

Construction: Type V

Lot dim's: 28 x 61 = 1708 s.f.

Year built: 1911

Owner

Mary & Brian Landau-Young
3415 Twenty-first St.
San Francisco, CA 94110
(415) 648-7841

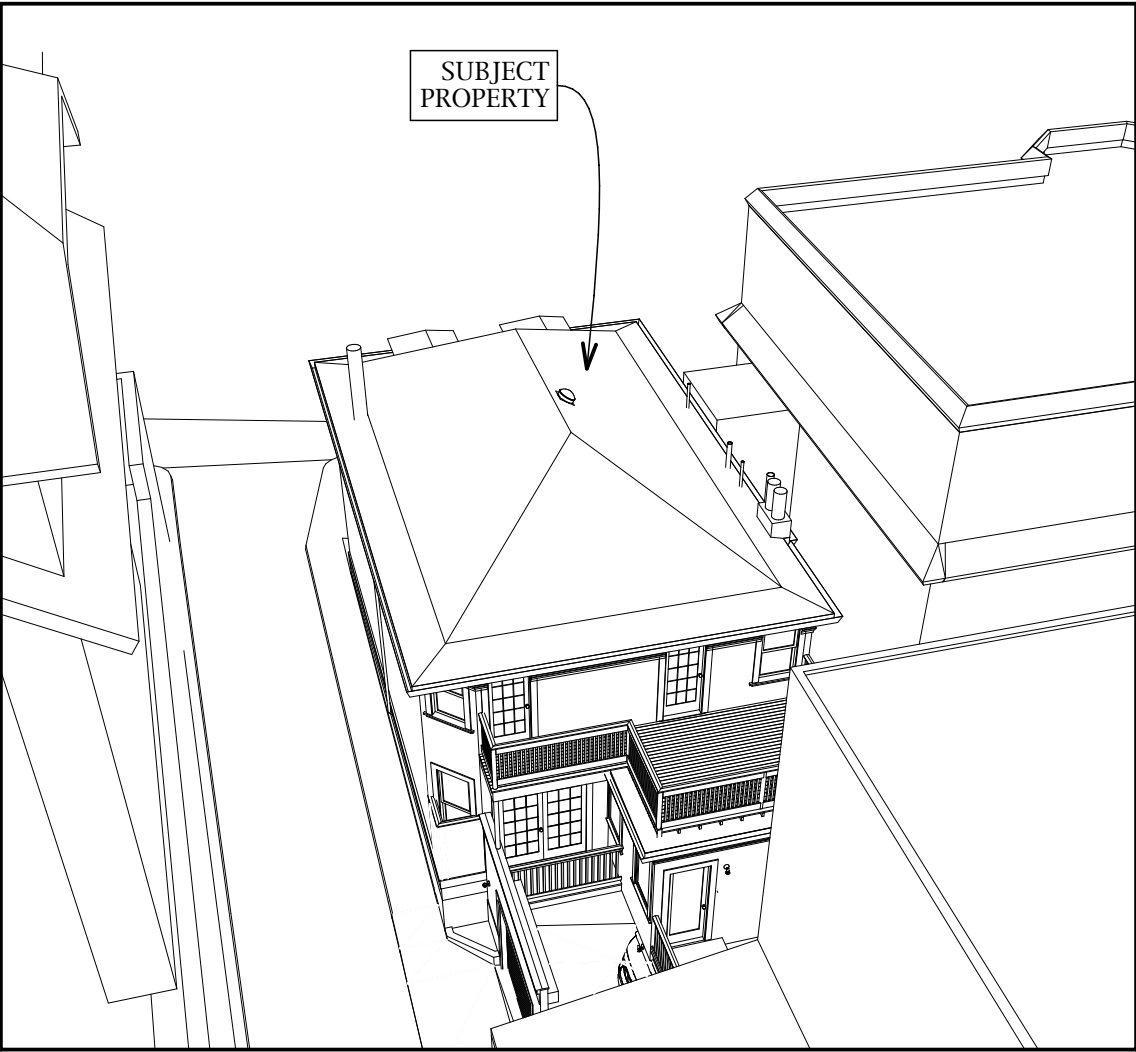
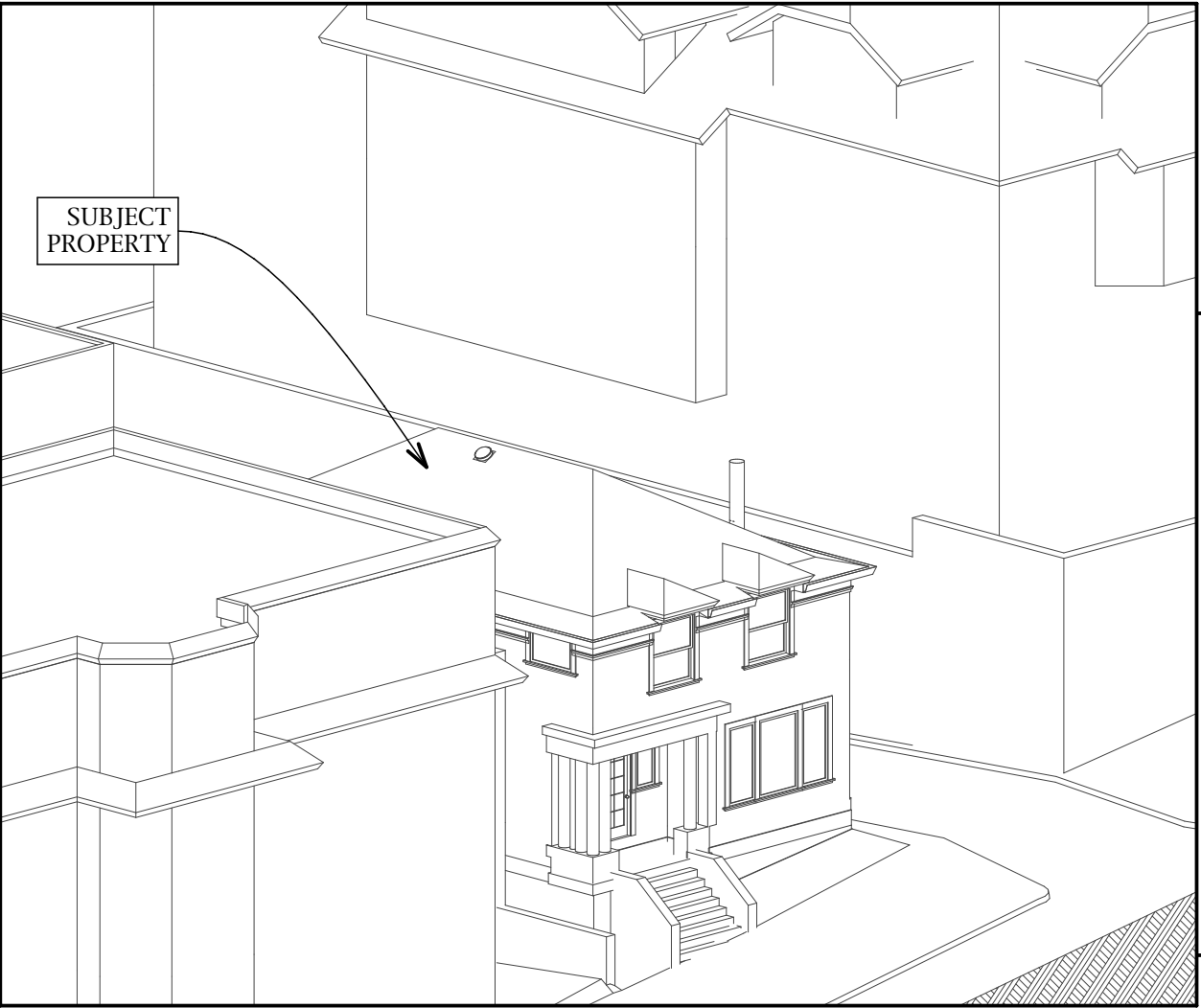
Architect

Geoffrey S. Gainer
Actual-Size Architecture
29 Liberty Street
San Francisco, CA 94110
(415) 643-3366

Engineer

Mike Hicks
Fulcrum Structural Engineering
665 Third St, Ste 333
San Francisco, CA 94107

Title-24



ABBREVIATIONS

ADJ	Adjustable
ARCH	Architectural
BD	Board
BLDG	Building
BLK	Block
BLKG	Blocking
BM	Beam
B.O.	Bottom of
BSMT	Basement
CRT	Cabinet
C.J.	Control Joint
CLG	Ceiling
CLR	Clear
CL	Center line
CONC	Concrete
DET	Detail
D	Diameter
DIM	Dimension
DN	Down
DRWG	Drawing
DS	Downspout
(E)	Existing
EJ	Expansion Joint
EQ	Equal
FIN	Finish
FLUOR	Fluorescent
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.S.	Face of Stud
G.I.	Galvanized Iron
GL	Glass
G.B.	Gypsum board
HB	Hose Bib
HDWD	Hardwood
HT	Height
LT	Light
MECH	Mechanical
MEMB	Membrane
MIN	Minimum
(N)	New
NIC	Not In Contract
NTC	Not To Scale
o /	Over
O.A.	Overall
P.L.	Property Line
PWD.	Plywood
R	Riser
RAD	Radius
REINF	Reinforced
RC	Resilient Channel
R.O.	Rough Opening
R.S.	Rough-sawn
RWL	Rain Water Leader
S.C.	Solid Core
SSD	See Structural Drawings
S.D.	Smoke Detector
SIM	Similar
SL	Slope
SS	Stainless Steel
STOR	Storage
T	Tread
T.O.P.	Top of Plate
TYP	Typical
UON	Unless Otherwise Noted
WH	Water Heater
W/I	Within

Area:

(E) 1st Floor	1029
(E) Porch (1st Flr)	81
(E) 2nd Floor	1120
	2230
(N) Porch (1st Flr)	46
Total (E) & (N)	2276

SYMBOLS

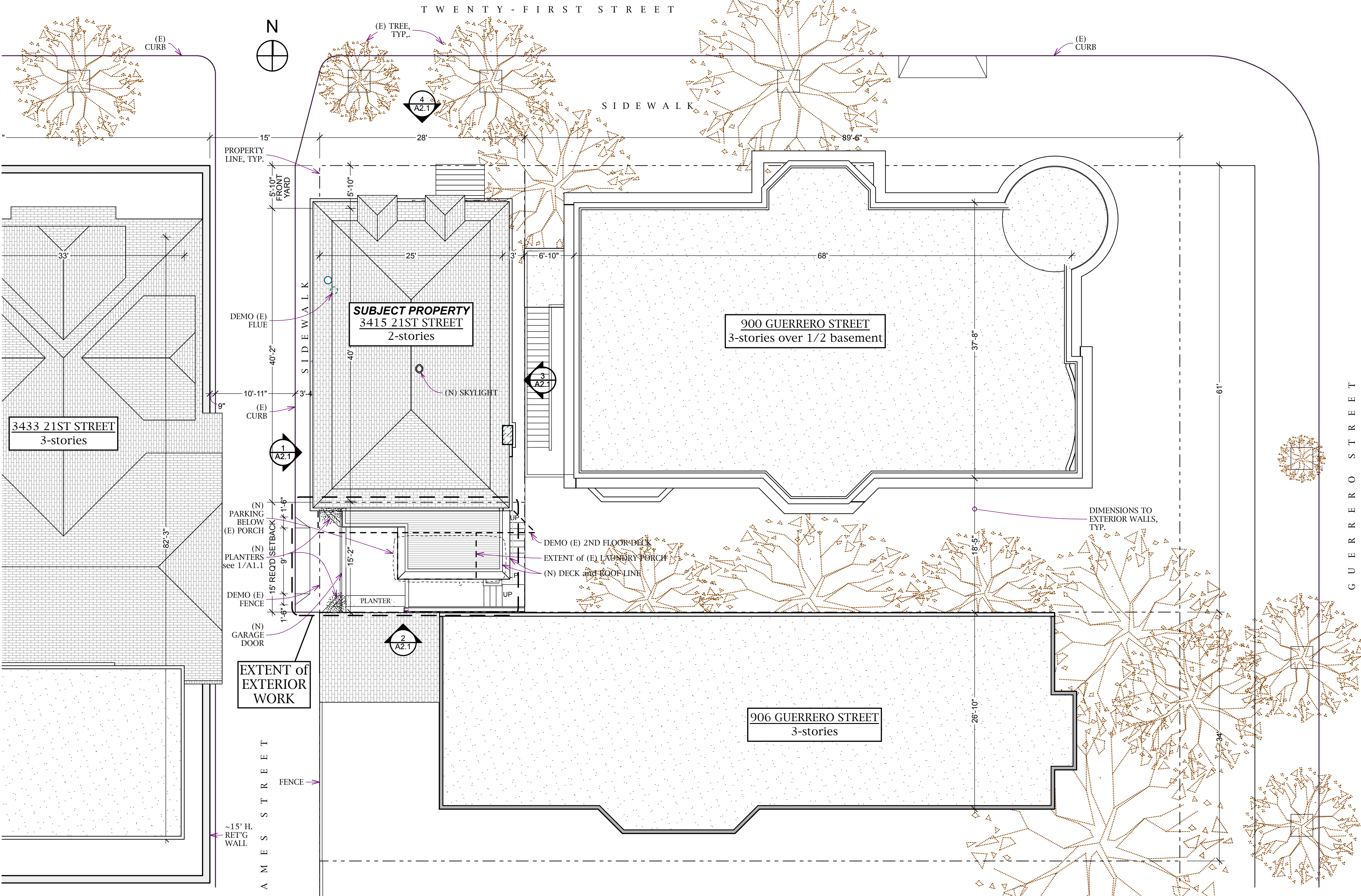
	Elevation 1, Sheet A2
	Section 1, Sheet A3
	Detail 1, Sheet A5
	Interior Elevations, Sheet A2
	Window 1
	Door 2
	Property Line
	Dimension to Centerline
	Dimension to Rough Frame
	Dimension to Finished Surface
	Existing Wall
	New Wall
	Wall to be Demolished
	1-Hr Fire-Rated Wall

INDEX

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A1.1	Plans
A2.0	Elevations w/ Nbrs
A2.1	Elevations
A3.1	Sections
A9	Photos

GENERAL NOTES

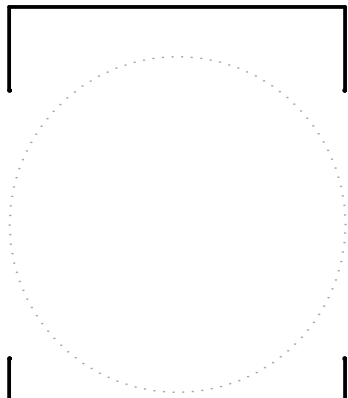
This project complies with the 2010 SFBC.



1 Site Plan
SCALE: 1/8" = 1'-0"

Project Initiated July 2010
REVISIONS:
5/18/11 PROJECT REVIEW
2/16/12 PLANNING SUBMITTAL
This sheet printed 2/15/12

ACTUAL-SIZE
ARCHITECTURE
Geoffrey Scott Gainer, Architect
29 Liberty St. San Francisco, CA 94110
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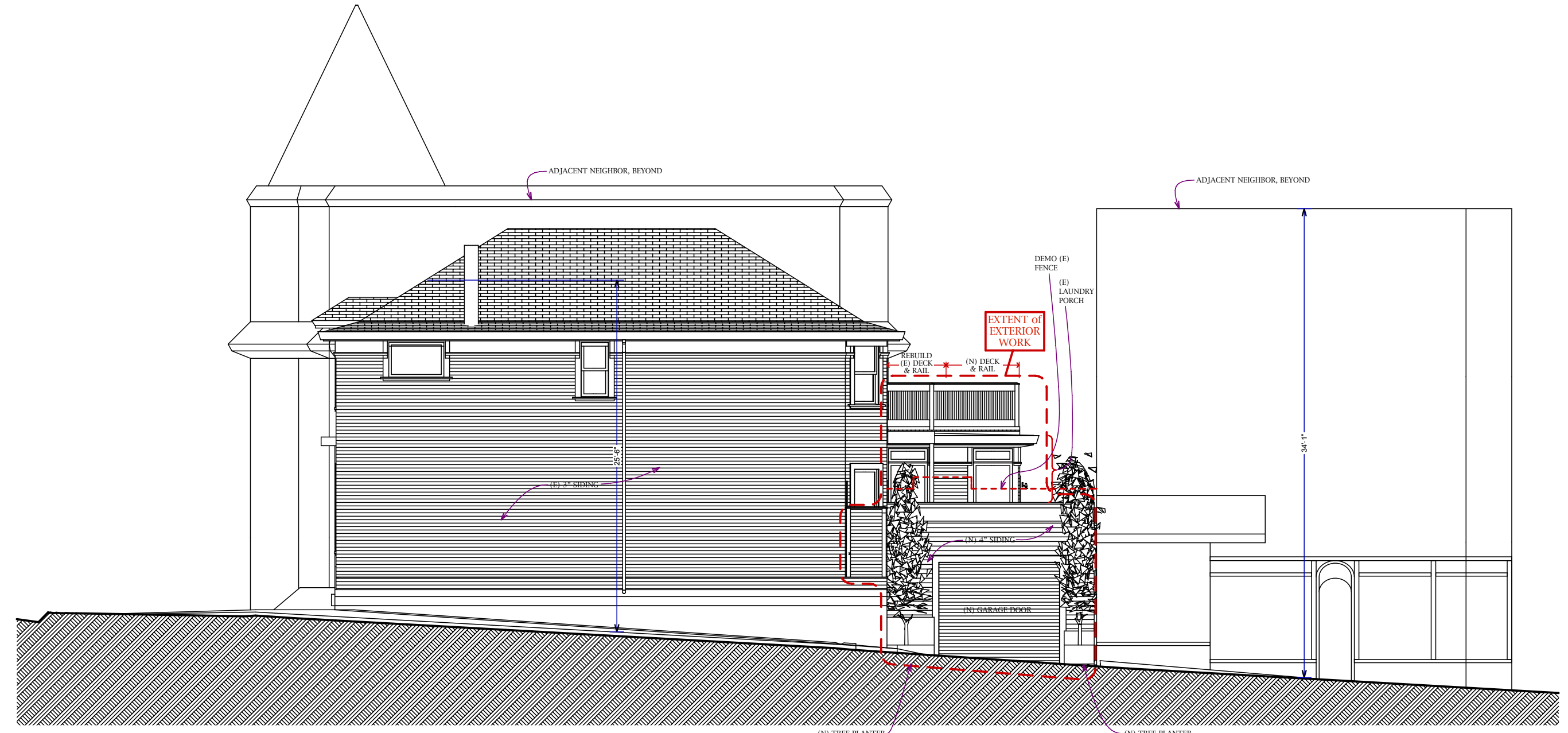


Site
Remodel of the
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San Francisco, CA 94110

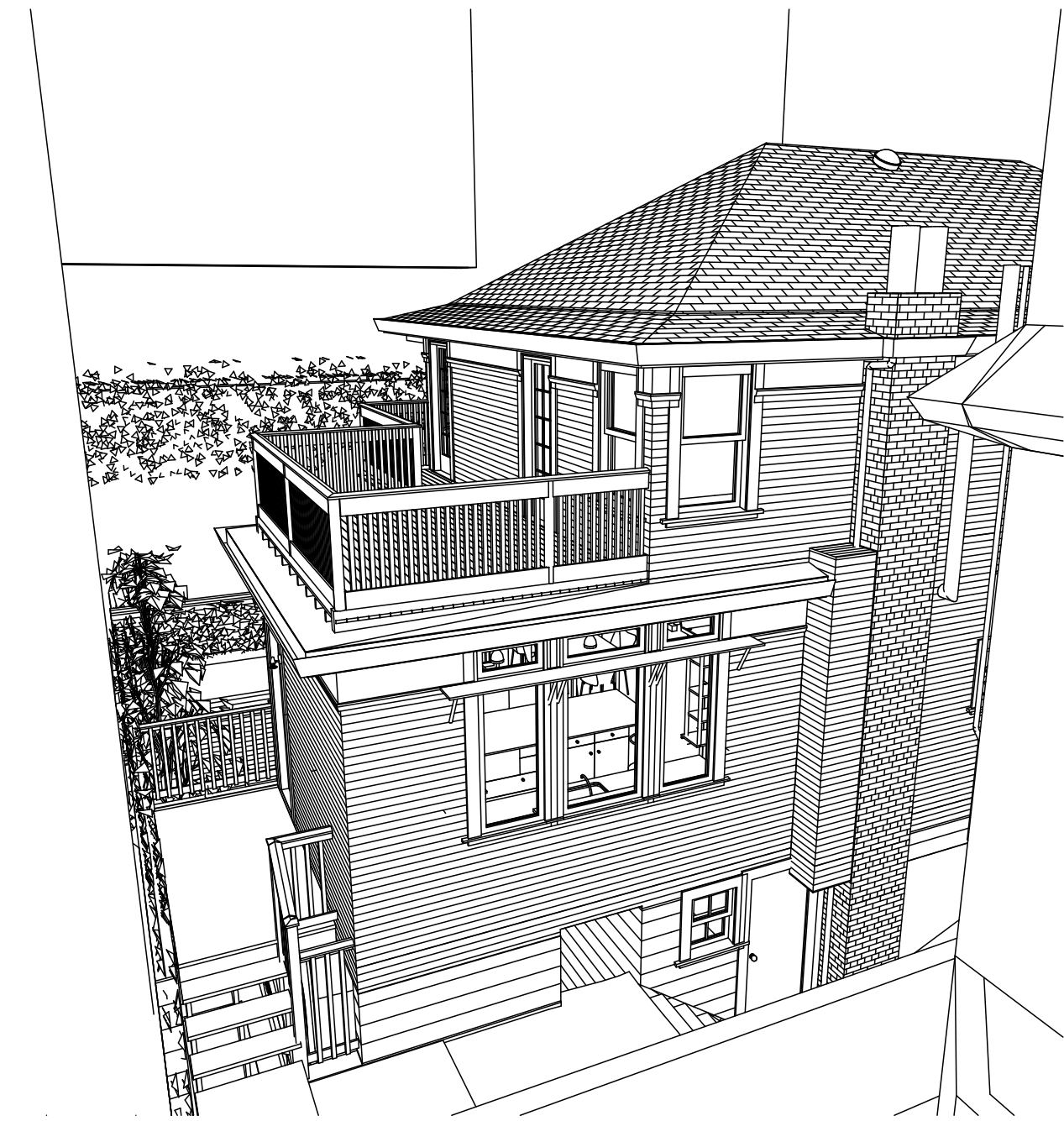
A0
Site



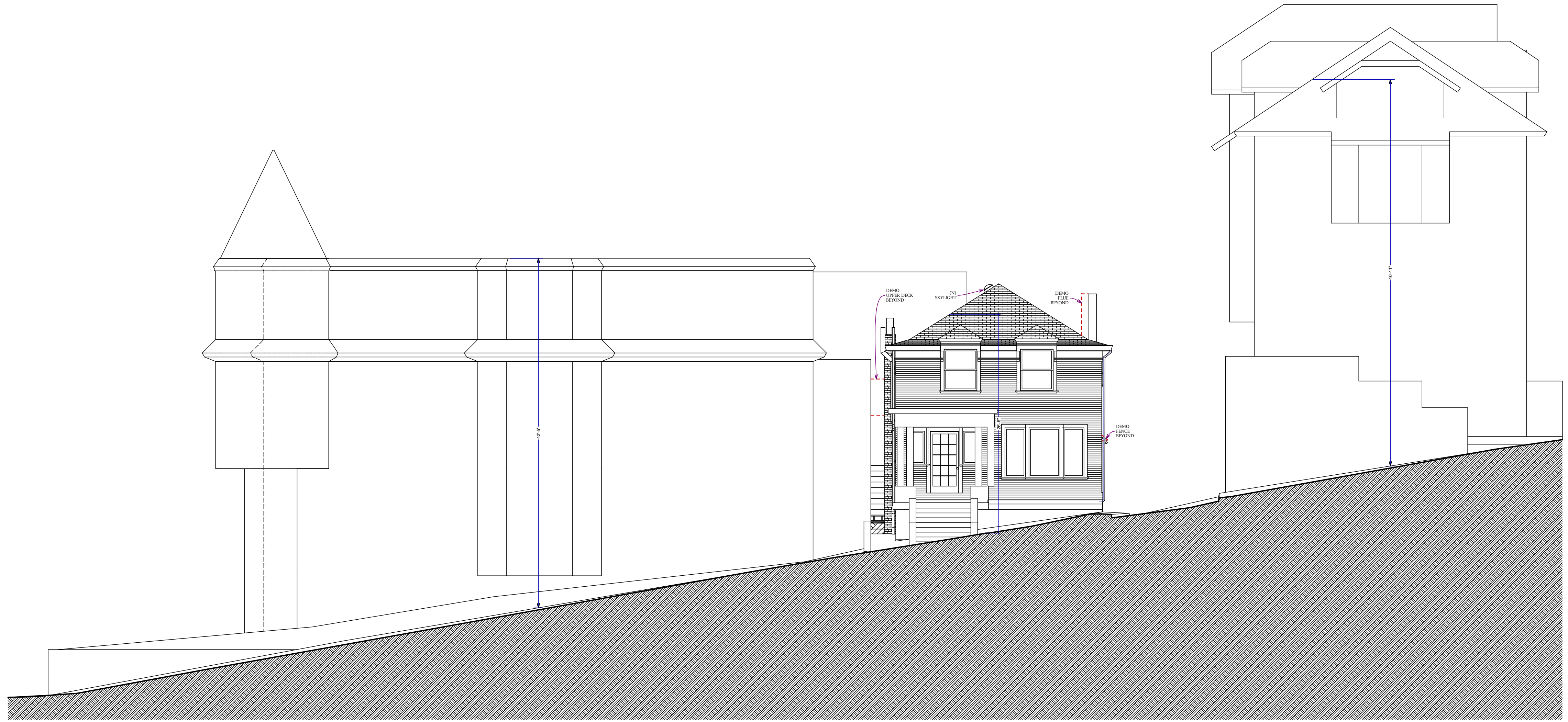
1 Sect'n looking East
SCALE: 1/4" = 1'-0"



2 West Elevation
SCALE: 1/8" = 1'-0"

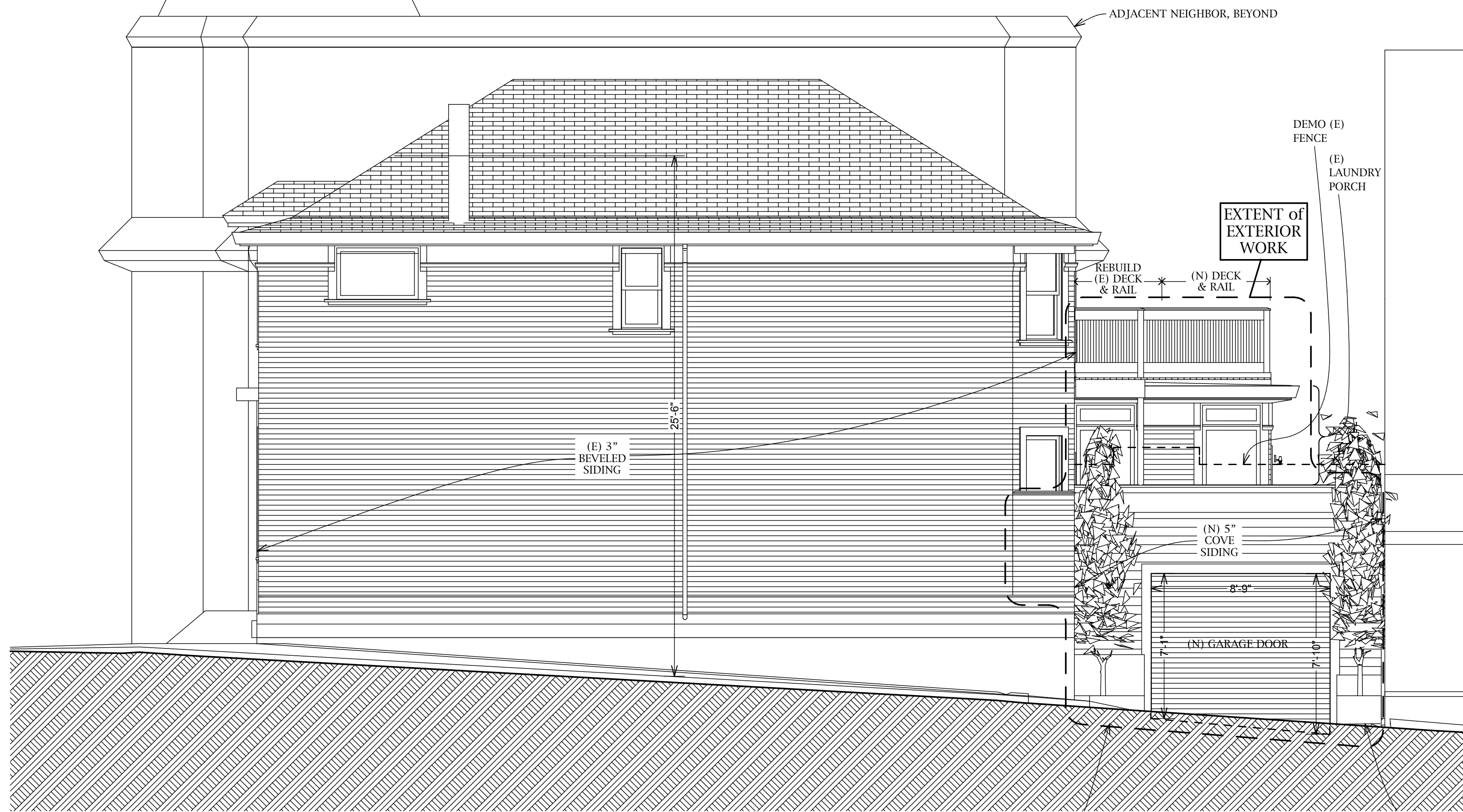


4 Persp from Southeast

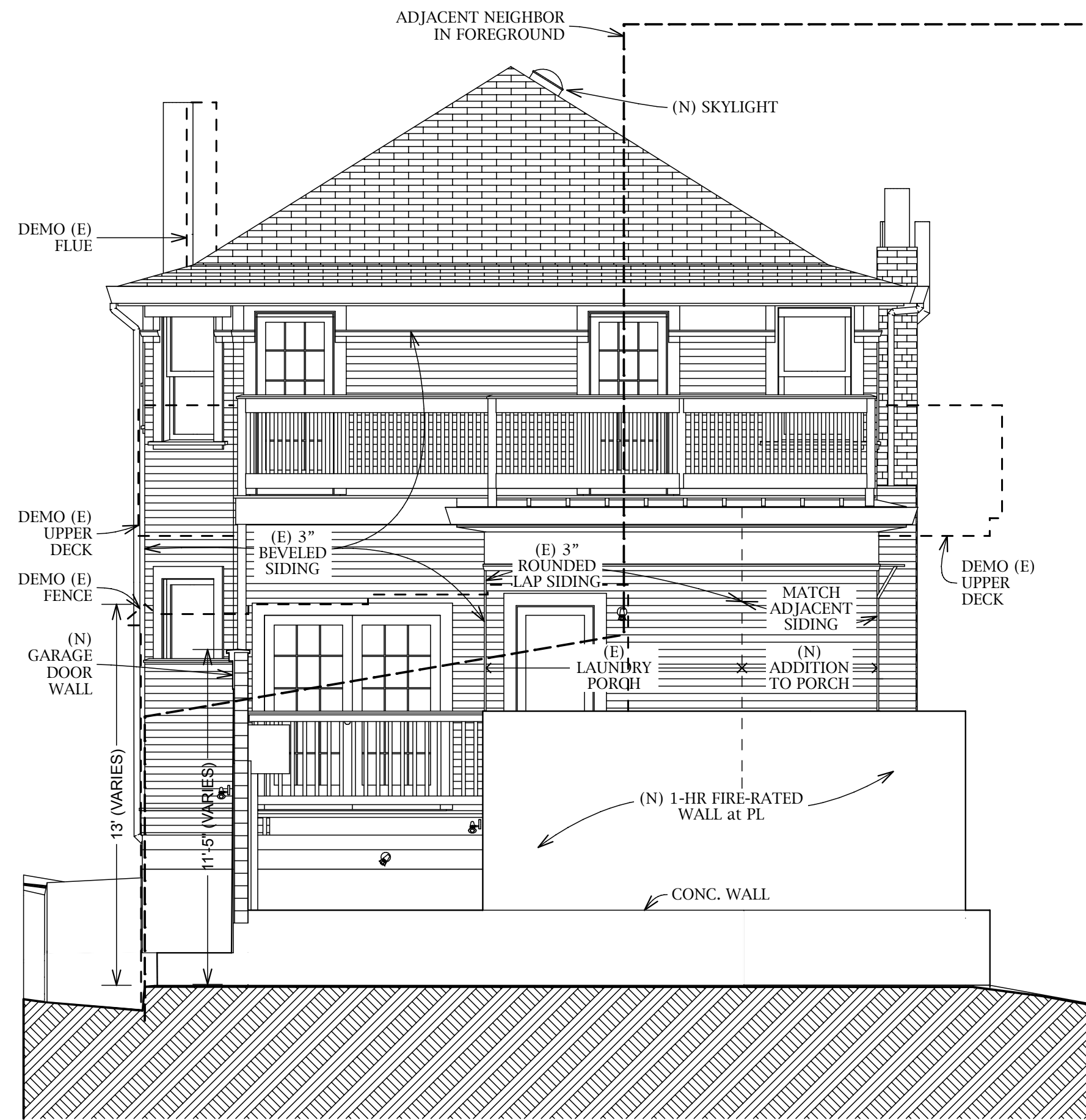


3 North Elevation
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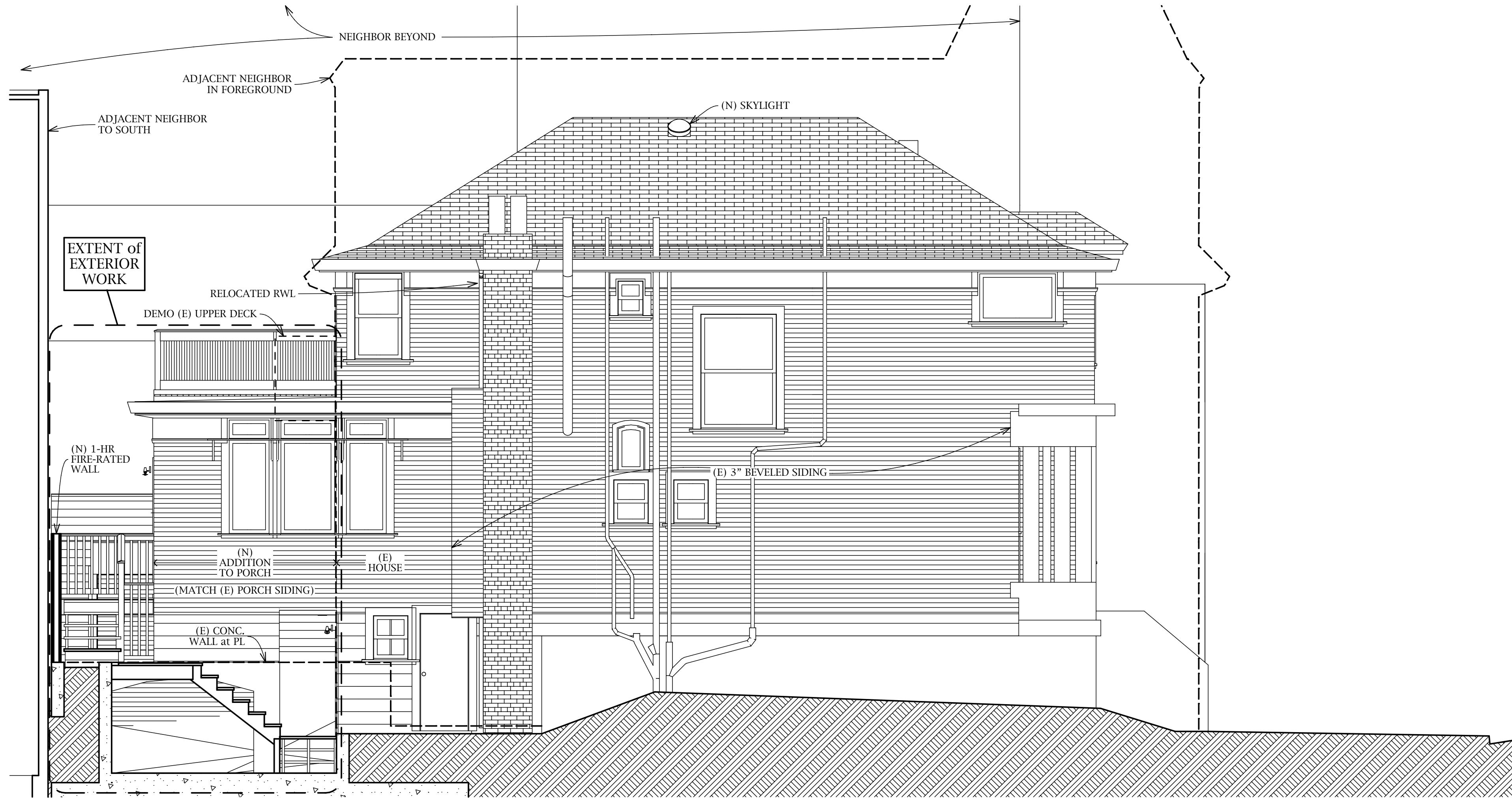
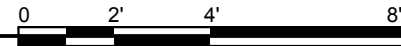
1003 Landau-Young Residence Plot Date: 2/15/12 1:35 PM



1 West Elevation
SCALE: 1/4" = 1'-0"



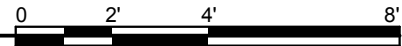
2 South Elevation
SCALE: 1/4" = 1'-0"



3 East Elevation
SCALE: 1/4" = 1'-0"



4 North Elevation
SCALE: 1/4" = 1'-0"



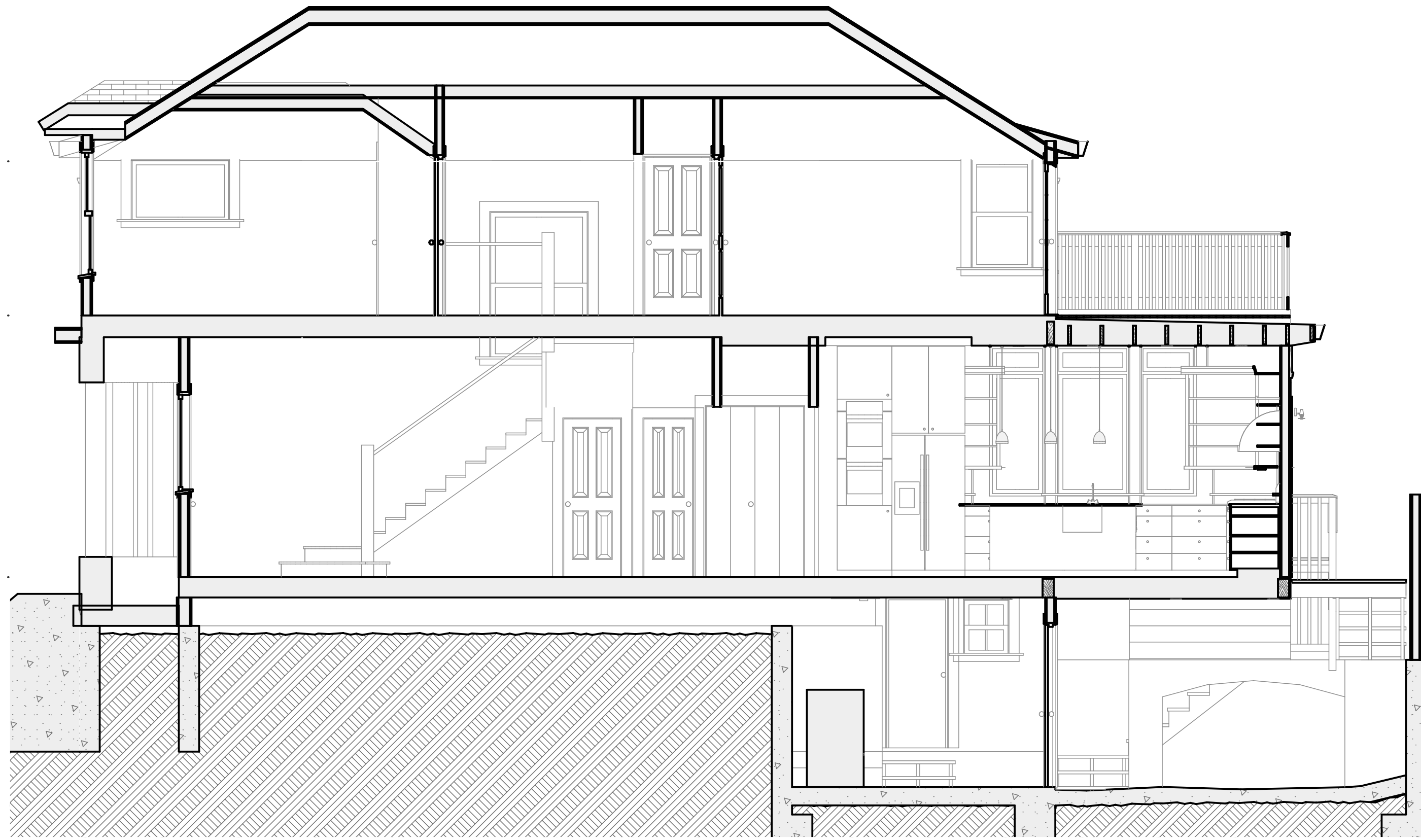
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ARCHITECTURE
Geoffrey Scott Gainer, Architect
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Elevations

Remodel of the
Landau-Young Residence
3415 Twenty-first St.
San Francisco, CA 94110

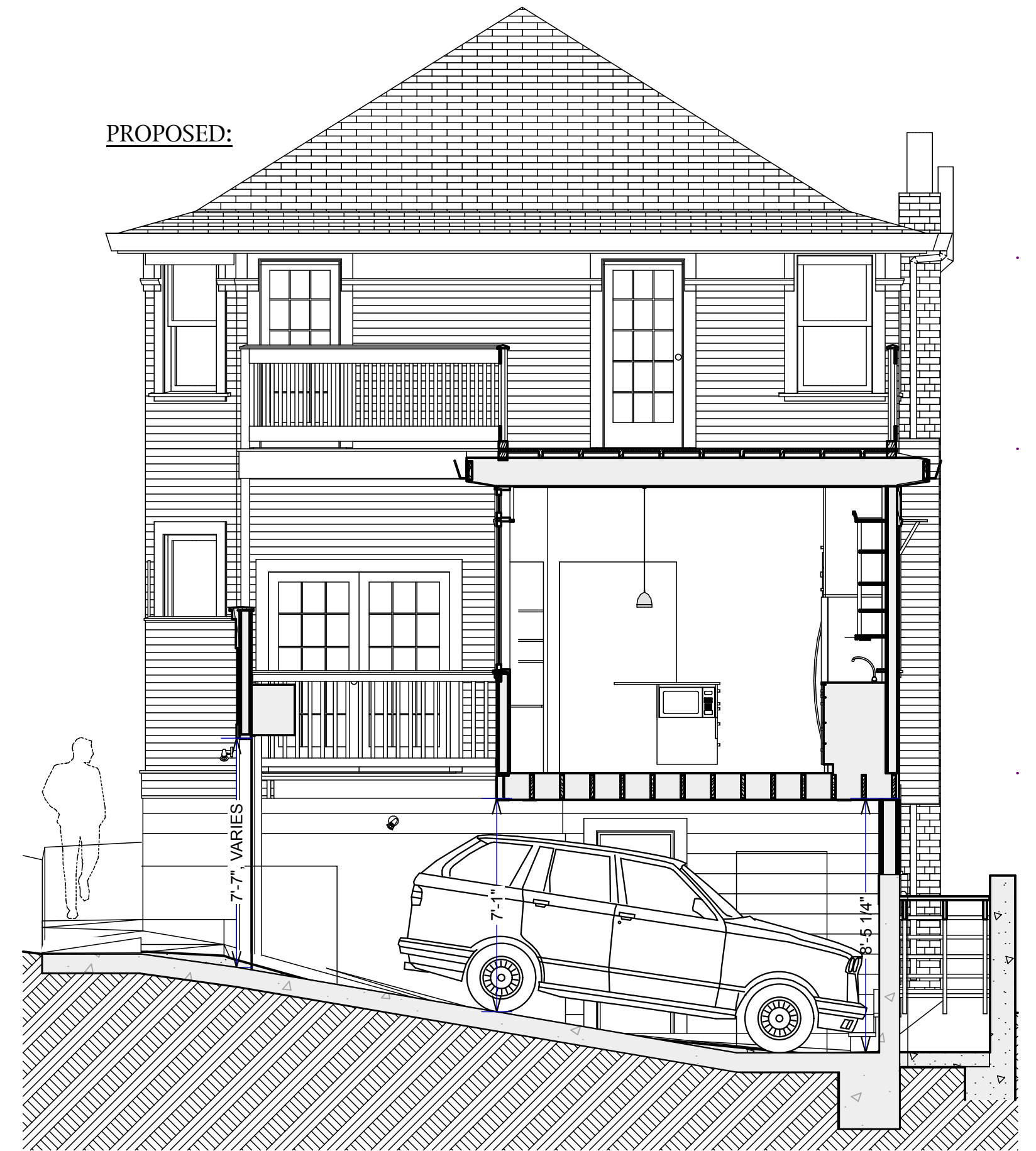
A2.1
Elevations



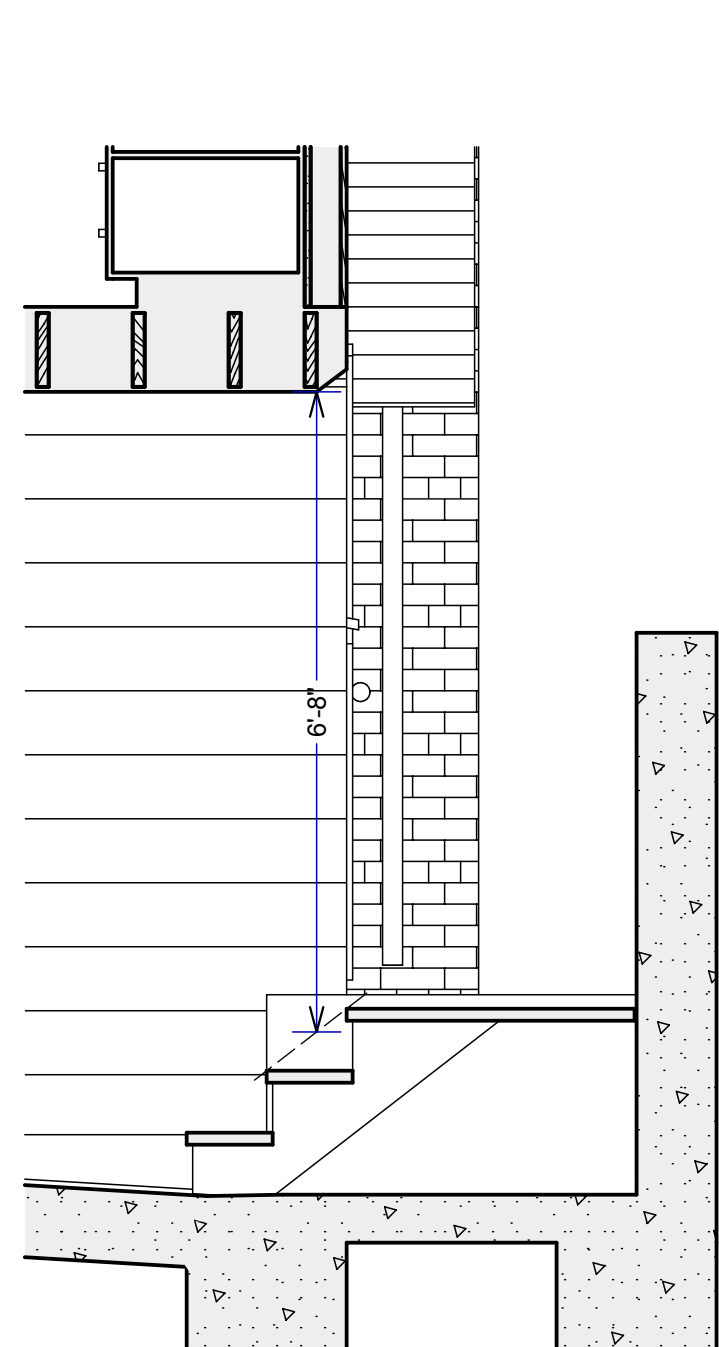
1 Sect'n looking East
SCALE: 1/4" = 1'-0"



2 Section thro (E) Rear Yard
SCALE: 1/4" = 1'-0"



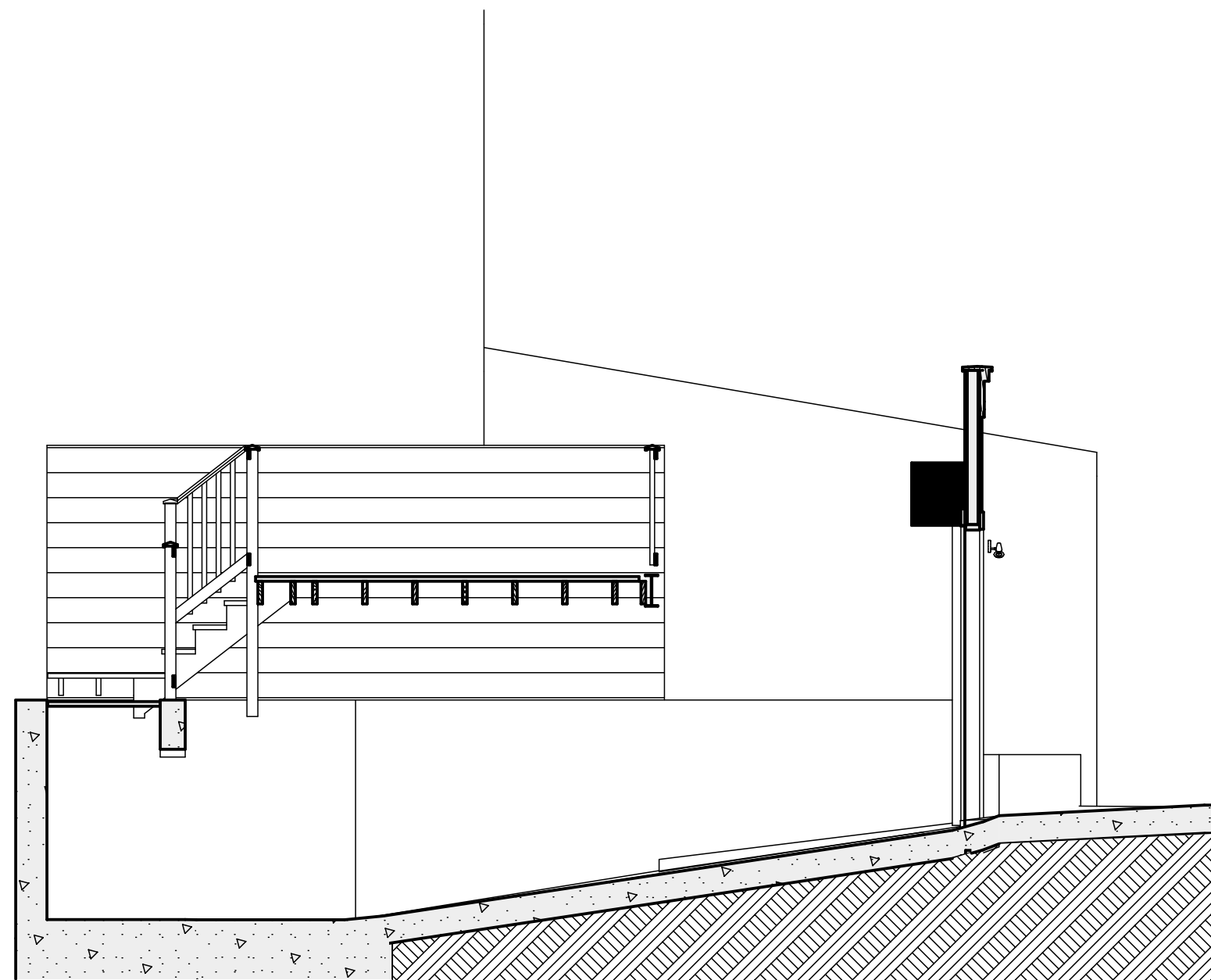
3 Section thro Car Port
SCALE: 1/4" = 1'-0"



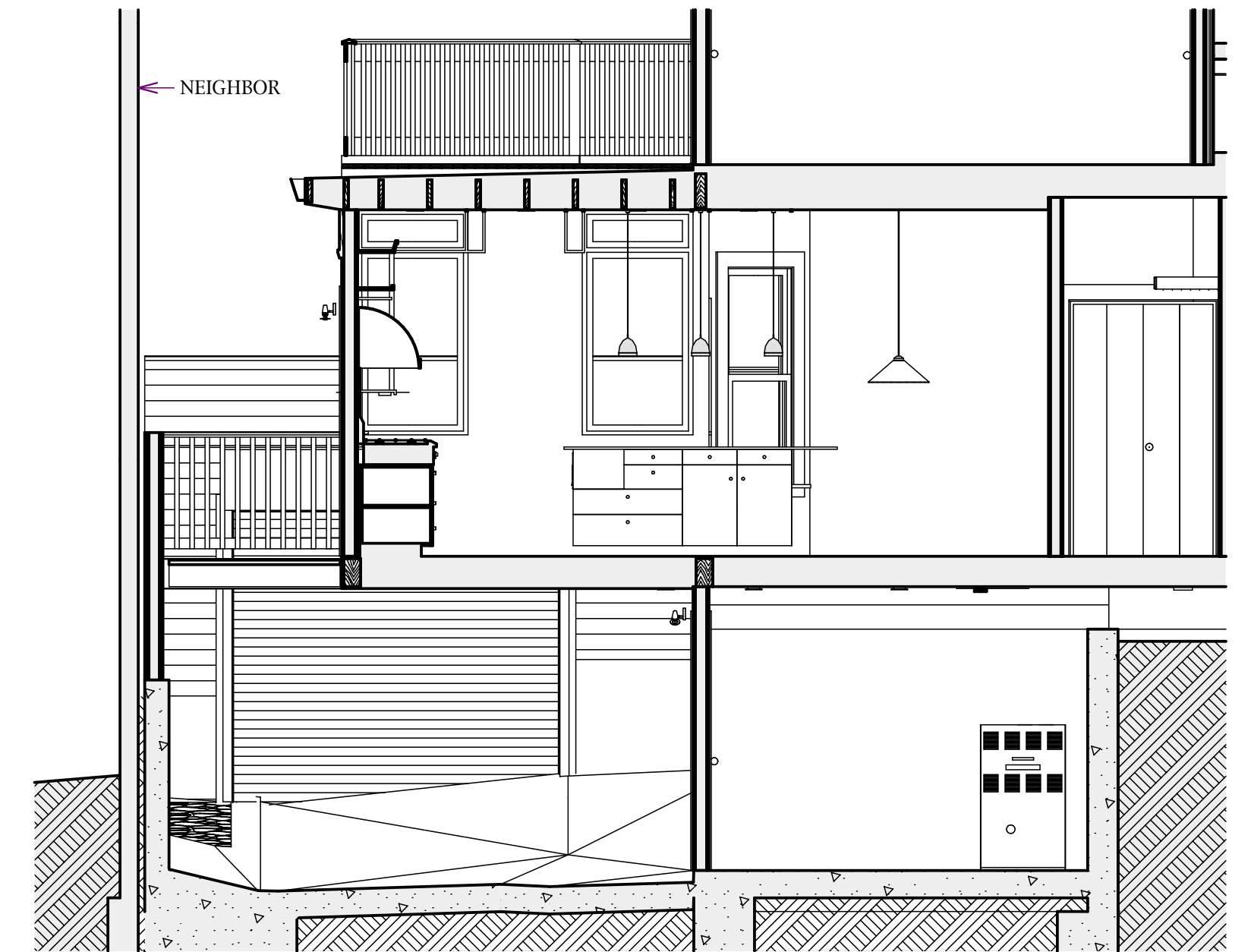
4 Section at Car Port Steps
SCALE: 1/2" = 1'-0"



5 Addition looking East
SCALE: 1/4" = 1'-0"



6 Addition looking South
SCALE: 1/4" = 1'-0"



7 Addition looking West
SCALE: 1/4" = 1'-0"

Sections