MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

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Planning Information: 415.558.6377 1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, July 24, 2013

Time: Not before 9:30 AM

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (Rear Yard)
Hearing Body: Zoning Administrator

PROPERTY INFORMATION APPLICATION INFORMATION

Project Address: 1100 Lombard Street
Cross Street(s): Chestnut St. & Lombard St.

Block /Lot No.: **0069 / 081**Zoning District(s): **RH-3 / 40-X**

Area Plan: N/A

Case No.: 2012.0146V
Building Permit: To be filed
Applicant (agent): Nicholas Palter
Telephone: (415) 552-0802

E-Mail: nicholaspalter@yahoo.com

PROJECT DESCRIPTION

The proposal is to construct two new exit staircases (approximately 13' wide by 7' deep by 39' high) at the rear of the four-story, five-unit residential building. The new exit staircases will extend from the ground to roof levels. Other modifications to the residential building, which are not the subject of this variance, include a horizontal addition at all four levels on the northeast corner of the building, a new roof deck (with solar panels, 6-foot high windscreen and mechanical penthouse), new balconies on the front facade at the 2nd and 3rd stories, a new terrace on the west side of the 3rd story, and facade modifications.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 15' for the subject property. The new rear exit stairs on the northeast side of the building will extend approximately 8' into the required rear yard. The new rear exit stairs on the north side of the building will extend approximately 6' into the required rear yard.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2012.0146V.pdf

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Sharon M. Young Telephone: (415) 558-6346 E-Mail: sharon.m.young@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

DAVID BLANZ 72 I MELISSA COURT SAN MATEO, CALIFORNIA 94402

PROJECT CONTACT:

ONE DESIGN PO. BOX 40606 SAN FRANCISCO, CALIFORNIA 94 I 40

(415) 828-4412

0069

info@onedesignsf.com

PHONE: (415) 828-009

BLOCK NUMBER LOT NUMBER: **AUTHORITY:**

CITY AND COUNTY OF SAN FRANCISCO APPLICABLE CODE 2010 CALIFORNIA BUILDING CODE WITH SFBC AMENDMENTS

ZONING DISTRICT: CONSTRUCTION:

TYPE V. EXISTING NUMBER OF STORIES: PROPOSED NUMBER OF STORIES: EXISTING NUMBER OF UNITS: PROPOSED NUMBER OF UNITS

EXISTING CONDITIONS

GROUND FLOOR FLOOR AREA: 1684 SQFT SQ.FT. GARAGE: 1506 MECHANICAL ROOM: 57 CORRIDORS: 121

FIRST FLOOR: FLOOR LIVING AREA: 1421 SQFT

UNIT 1: KITCHEN: LIVING ROOM: BEDROOM: BATHROOM: CLOSET: ENTRY HALL:	SQ.FT. 138 379 135 47 60 44	UNIT 2: KITCHEN: LIVING ROOM: BEDROOM: BATHROOM: CLOSET: ENTRY HALL:	SQ.FT. 46 316 134 41 48 33
TOTAL:	803	TOTAL	<u>33</u> 618

FLOOR LIVING AREA: 1452 SQFT

UNII 3:	SQ.FI.	UNII 4:	5Q.FT.
KITCHEN:	87	KITCHEN:	87
LIVING ROOM:	390	LIVING ROOM:	302
BEDROOM:	190	BEDROOM:	172
BATHROOM:	31	BATHROOM:	35
CLOSET:	38	CLOSET:	29
ENTRY HALL:	33	ENTRY HALL:	58
TOTAL:	769	TOTAL	683
THIRD FLOOR:	FL	OOR LIVING AREA	: 909 SQFT

KITCHEN: LIVING ROOM: BEDROOM: BATHROOM CLOSET ENTRY STAIR: TOTAL:

GROUND FLOOR

GARAGE:

PROPOSED CONDITIONS

FLOOR AREA: 1684 SQFT

MECHANICAL RO CORRIDORS:	OM:	57 12		
FIRST FLOOR:		FLO	OOR LIVING AREA:	1495 SQFT
UNIT 1: KITCHEN: LIVING ROOM: BEDROOM: BATHROOM: CLOSETS: TOTAL	SQ.F 149 332 114 44 11	_	UNIT 2: KITCHEN: LIVING ROOM: BEDROOM: BATHROOM: CLOSET: ENTRY HALL: TOTAL	SQ.FT. 153 418 156 44 28 46 845
SECOND FLOOR:	-	LT(OOR LIVING AREA:	1495 SQFI
LINIT O	\sim	_		

SQ.FT.

1506

102 SQ.FT 367 LIVING ROOM: BEDROOM: 45 BATHROOM BEDROOM: 34 CLOSET: BATHROOM: CLOSET: TOTAL:

FLOOR LIVING AREA: 1625 SQFT (INCL. PTE. DECKS) THIRD FLOOR:

SQ.FT KITCHEN: 102 273 LIVING ROOM: DINING ROOM: BEDROOM I: 204 BATHROOM I: 53 BEDROOM 2: BATHROOM 2: 89 CLOSETS: ENTRY STAIR:

PRIVATE ROOF DECK AREA: 345 SQ.FT.

COMMON ROOF DECK AREA: 1047 SQ.FT.

GENERAL NOTES:

I. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE

2010 SAN FRANCISCO BUILDING CODE 2010 SAN FRANCISCO ELECTRICAL CODE 2010 SAN FRANCISCO ENERGY CODE 2010 SAN FRANCISCO HOUSING CODE 2010 SAN FRANCISCO MECHANICAL CODE 2010 SAN FRANCISCO PLUMBING CODE 2010 CALIFORNIA FIRE CODE

COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS

2. IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PCB) OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS OR PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT IN WRITING.

3. MANUFACTURER'S DESIGNATIONS ARE NOTES TO INDICATE PATTERN. COLOR AND PERFORMANCE.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.

5. CONTRACTOR SHALL NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL ALWAYS GOVERN CONTRACTOR REQUIRING DIMENSIONS NOT NOTED, SHALL CONTACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH THE WORK RELATED TO THOSE DIMENSIONS.

6. ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE. TO FACE OF CONCRETE, TO FINISHED FACE OF GYP. BD., OR TO FACE OF MASONRY U.O.N.

7. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING. HANGERS AND/OR OTHER SUPPORTS FOR ALL FIXTURES. EQUIPMENT, CASEWORK, FURNISHINGS AND ALL OTHER ITEMS REQUIRING

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL AND

9. CONTRACTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR METALS.

IO. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

II. "TYPICAL" OR "TYP." MEANS FOR ALL SIMILAR CONDITIONS, U.O.N.

I 2. DETAILS ARE USUALLY KEYED ONLY ONCE (ON PLANS OR ELEVATIONS WHEN THEY FIRST OCCUR) AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

13. CONSTRUCTION AREA MUST BE BROOM CLEANED DAILY AND ALL MATERIALS SHALL BE STACKED OR PILED IN AN ORDERLY FASHION OUT OF TRAFFIC PATTERNS

14. AT COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPLATTERED PAINT, AND BLEMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT

15. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION THAT ATE WITHIN THE SCOPE OF WORK OR OUTSIDE SCOPE OF WORK, THAT ARE CAUSED BY HIM/HER OR SUBCONTRACTORS.

I G. WHERE ADJOINING DOORS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR, U.O.N.

17. ALL PIPE. CONDUIT AND DUCT PENETRATIONS THROUGH FLOORS AND FIRE-RATED WALL AND CEILING SHALL BE SEALED WITH FIREPROOFING PLASTER OR FIRESTOPPING TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CEILING.

18. ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATES THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED HIM/HERSLF WITH THE EXISTING CONDITIONS, AND REVIEWED SAME WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS

19. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL SUB-CONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNER.

20. CONTRACTOR SHALL SUBMIT CONFIRMATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG LEAD TIME

21. A 6-8" MINIMUM HEADROOM SHALL BE PROVIDE AT ALL STAIRS.

22. CONTRACTOR SHALL PROTECT ALL EXCAVATION AND CONSTRUCTION FROM RAIN OR WATER DAMAGE.

23. COMMON ABBREVIATIONS:

(E) = EXISTING, (N) = NEW,GWB = GYP. BD. = GYPSUM WALLBOARD, MTL = METAL, S.S. = STAINLESS STEEL, SSD = SEE STRUCTURAL DRAWINGS, AFF = ABOVE FINISHED FLOOR.

ELECTRICAL KEYED NOTES:

EI-SEPARATE KITCHEN CIRCUITS TO BE PROVIDED FOR COUNTERTOP OUTLETS. REFRIGERATOR, AND DISHWASHER/DISPOSAL. PROVIDE MIN. 2 - 20 AMP SMALL APPLIANCE BRANCH CIRCUITS (PER SFEC SECT. 210.52 \$ 220-4)

E2 - GFCI PROTECTION REQ'D ON ANY RECEPT. WITHIN 6'-0" SINK.

E3 - PROVIDE ELEC. OUTLETS IN KITCHEN SO THAT NO POINT ALONG A COUNTER IS MORE THAN 24" FROM AN OUTLET PER SFEC-210.52. PROVIDE ACCESSIBLE OUTLET AT ISLAND.

E4 - PER TITLE-24, IN KITCHENS: I - AT LEAST 50% OF INSTALLED LUMINARIES WATTAGE MUST BE

OF H.E. LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-H.E. LIGHTING; 2 - INSTALLED WATTAGES MUST BE CALCULATED.

INTERIOR REMODEL & ADDITION I I OO LOMBARD STREET SAN FRANCISCO, CA 94109

GENERAL ELECTRICAL NOTES:

A. PER TITLE-24, BATHROOMS, LAUNDRY ROOMS, GARAGES, AND UTILITY ROOMS ARE TO HAVE ALL HIGH EFFICACY (H.E.) LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED OCCUPANT SENSOR(S) WHICH MUST BE MANUAL-ON MOTION SENSOR AND MUST NOT HAVE 'ALWAYS-ON' OPTION.

B. PER TITLE-24, OTHER ROOMS - BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, AND CLOSETS LARGER THAN 70SF - ARE TO HAVE ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY DIMMER SWITCH OR CERTIFIED OCCUPANT SENSOR(S) WITH MANUAL-ON SENSOR AND NO 'ALWAYS-ON' OPTION.

C. PER TITLE-24, ALL RECESSED LUMINARIES IN INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.

D. PER TITLE-24, ALL OUTDOOR LIGHTING IS TO BE H.E. LIGHTING UNLESS LIGHTING IS:

I - CONTROLLED BY CERTIFIED MOTION SENSORS AND 2- OF LANDSCAPE LIGHTING (NOT ATTACHED TO BUILDING):

E. PER SFBC I 205.3, IF A ROOM INTENDED FOR HUMAN OCCUPANCY DOES NOT HAVE MIN. NET GLAZED AREA FOR NATURAL LIGHT, PROVIDE MIN. ARTIFICIAL LIGHT OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 IN. AFF.

3-IN OR AROUND SWIMMING POOLS OR WATER FEATURES.

F. PER SFBC 1205.4, STAIRWAYS WITHIN DWELLING UNITS & EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN I FOOT-CANDLE WITH CONTROLS PER SFEC.

MECHANICAL NOTES:

MI - PROVIDE 200 SQ. IN. NET OPENING FOR GARAGE VENTILATION PER SFBC 406.1.3 (UP TO 1,000 SF)

M2 - PER SFBC 406.1.4 (2), DUCTING IN PRIVATE GARAGE \$ DUCTS PENETRATING THE WALLS OR CEILING. SEPARATING THE DWELLING UNIT FROM THE GARAGE TO BE MIN. O.O I 9 IN. SHEET METAL & HAVE NO OPENINGS INTO THE GARAGE.

M3 - PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR W.H. PER SFPC-507. (FURNACE PER SFMC-CH.7). ANY APPLIANCE WITH FLAME SOURCE TO BE MOUNTED MIN. 18" ABOVE FLOOR IN GARAGE PER SFMC-308 (W.H. PER SFPC-510.1).

M4 - PROVIDE APPROVED SEISMIC STRAPS W.H. (OR WATER STORAGE TANKS) TO WALL PER SFPC-510.5

M5 - TERMINATE GAS VENT PER SFMC CHAPTER 8.

MG - DRYER EXHAUST DUCT: 14'-0" MAX. WITH 2 - 90° PER SFMC-504.3

OR PER MANUF. - VENT TO EXT. PROVIDE BOOSTER FAN PER CODE IF REQ'D (FANTECH # RVF4XL EXT. MTD FAN OR EQ.)

M7 - PROVIDE 100 SQ. IN. NET OPENING FOR DRYER MAKE-UP AIR PER SFMC-504.3.2

M8 - PER SFBC 1203.4.2.1, BATHROOMS CONTAINING BATHTUBS, OR SIM. BATHING FIXTURES TO BE MECH. VENTILATED PER SFMC.

M9 - TERMINATE ALL ENVIRONMENTAL AIR EXHAUST DUCTS (KITCHEN RANGE HOOD, BATHROOM FAN, DRYER) MIN. 3 FT. FROM ANY OPENING OR PROPERTY LINE PER SFMC 504. PROVIDE BACK DRAFT DAMPER (B.D.D.)

MIO - PER SFMC TABLE 4-4, PROVIDE EXHAUST FAN (MIN. 50 CFM). MII - PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE

M | 2 - PROVIDE MECHANICAL VENTILATION PER SFMC CH. 4 \$ TABLE

CONTROLS AT SHOWERS AND TUB/SHOWERS PER SFPC.

MI3 - PROVIDE FIREPLACE VENT/FLUE PER MANUFACTURER & SFMC. CODE NOTES:

1. PER CBC 907.2.10.1.2, PROVIDE HARD WIRED SMOKE DETECTORS ON EVERY FLOOR AND IN EVERY SLEEPING ROOM AND HALLWAY OUTSIDE OF SLEEPING ROOMS.

2. PER CBC TABLE 602, PROVIDE ON HOUR RATED STRUCTURE EVERYWHERE WITHIN 5 FEET OF AND PARALLEL TO THE PROPERTY LINE.

3. PER CBC 406. I .4 PROVIDE GWB ASSEMBLIES BETWEEN PRIVATE GARAGE AND HABITABLE ROOMS, (MIN. 1/2" GWB BETWEEN THE DWELLING \$ ATTIC AREA, GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE 'X' GWB OR EQ).

4. PROVIDE MIN. I EMERGENCY ESCAPE & RESCUE WINDOW PER CBC 1026 AT ALL SLEEPING ROOMS.

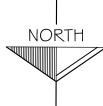
GENERAL PLUMING NOTES: A. TOILET SHALL BE 1.6 GALLONS PER FLUSH MAX. CPC 402.2

B. 2007 CPC 407.6 PROVIDE MIN. 30" CLEAR WIDTH \$ 24" IN FRONT @ METER CLOSETS PER CPC407.6

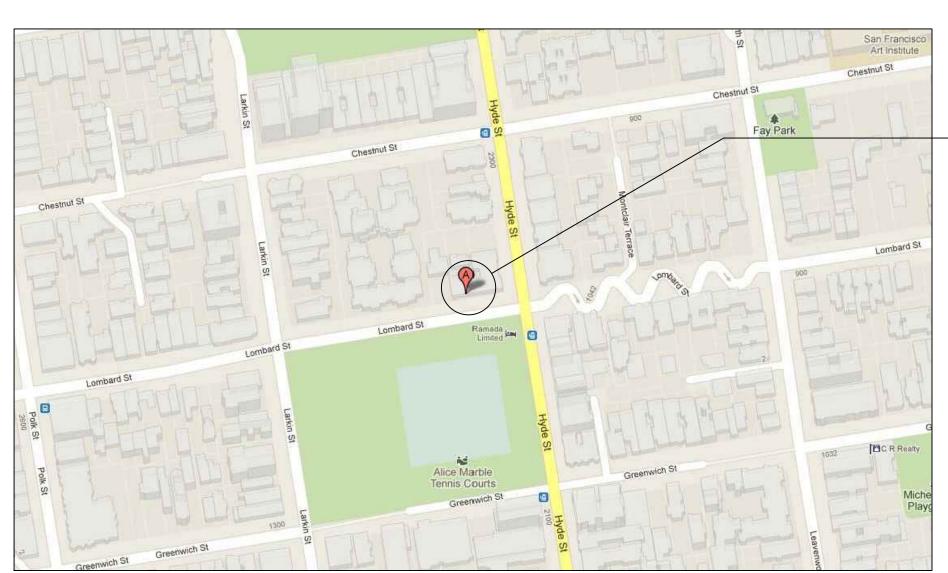
C. SHOWERS & TUB SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS OF THE PRESSURE BALANCE TYPE OR THE THERMOSTATIC MIXING VALUE TYPE PER CPC 418.

D. PRESSURE ABSORBING DEVICE REQ'D ON WATER LINE CLOSE TO

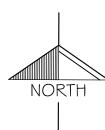
QUICK ACTING VALVES.



AERIAL VIEW



SITE LOCATION



SITE LOCATION MAP

SHEET INDEX

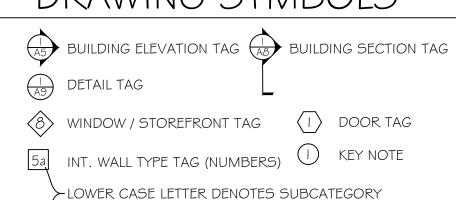
AO.1 -TITLE SHEET, DRAWING INDEX, GENERAL INFO AO.2 -EXISTING SITE PLAN & EXISTING RENDERINGS AO.3 -PROPOSED SITE PLAN & PROPOSED RENDERINGS AO.4 -NEIGHBORHOOD OUTREACH & SUPPORT LETTERS Al.1 - Al.2 EXISTING FLOOR PLANS A2.1 - A2.3 PROPOSED FLOOR PLANS EXISTING FRONT ELEVATION3 A3.2 -PROPOSED FRONT ELEVATION A3.3 -PROPOSED NORTH ELEVATION PROPOSED EAST ELEVATION A3.4 -PROPOSED WEST ELEVATION A3.5 -PROPOSED BUILDING SECTION

DRAWING SYMBOLS

DOOR # WINDOW SCHEDULE

A4.2 -

ARCHITECTURAL BUILDING SECTION



P PROPERTY LINE ______ 2-HOUR WALL

I-HOUR WALL

5a EXT. WALL TYPE TAG (LETTERS)

WORK ON THESE PLANS CAN BE CARRIED OUT IN ACCORDANCE WITH THE FINDINGS OF BPA HEARING I I-098. PER TENANTS WISHES, THEY MAY REMAIN IN THE BUILDING WHILE THE WORK IS BEING PERFORMED.

THE FOLLOWING WORK HAS BEEN SUBMITTED AND APPROVED UNDER THE ASSOCIATED PERMITS BELOW:

GARAGE LEVEL WORK: PA# 2011-0727-1170

FRONT ENTRY STAIR REPLACEMENT IN KIND: PA# 2011-1215-0753

FIRE RATED WALL AT EASTERN PROPERTY LINE: PA# 2012-0203-3472

Revisions

50-B Hancock St. San Francisco, CA 94114 415) 552-0802

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Date: 05-22-13 Scale: AS NOTED

Drawn: NP

A-0.1

Date: 05-22-13
Scale: AS NOTED

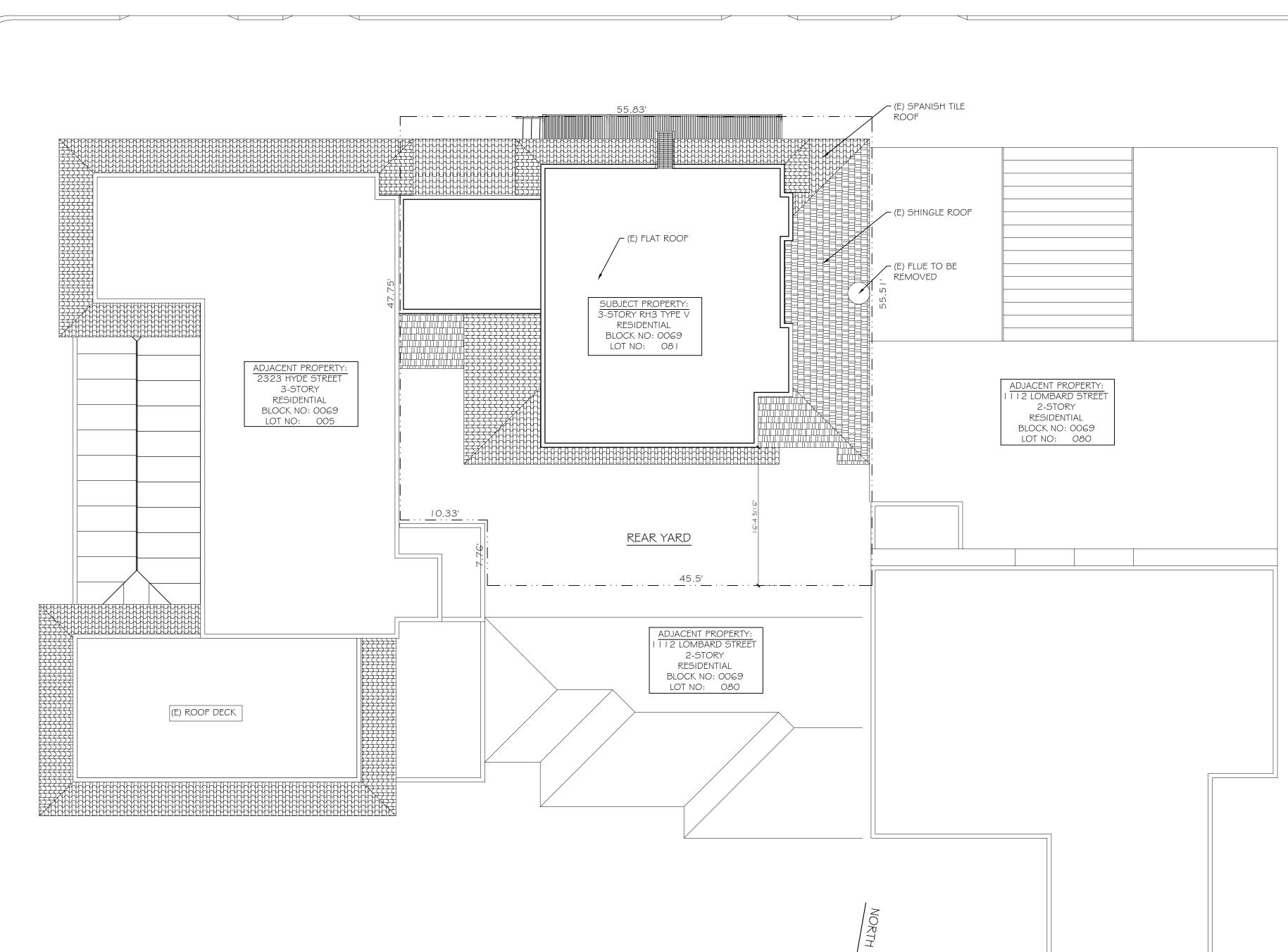
Drawn: NP

Sheet:

EXISTING FRONT VIEW



EXISTING STREET VIEW



EXISTING SITE PLAN

(HALF NOTED SCALE ON 12x18 SHEETS)

SCALE: 1/8"=1'-0"

LOMBARD STREET

Date: 05-22-13 Scale: AS NOTED

Drawn: NP





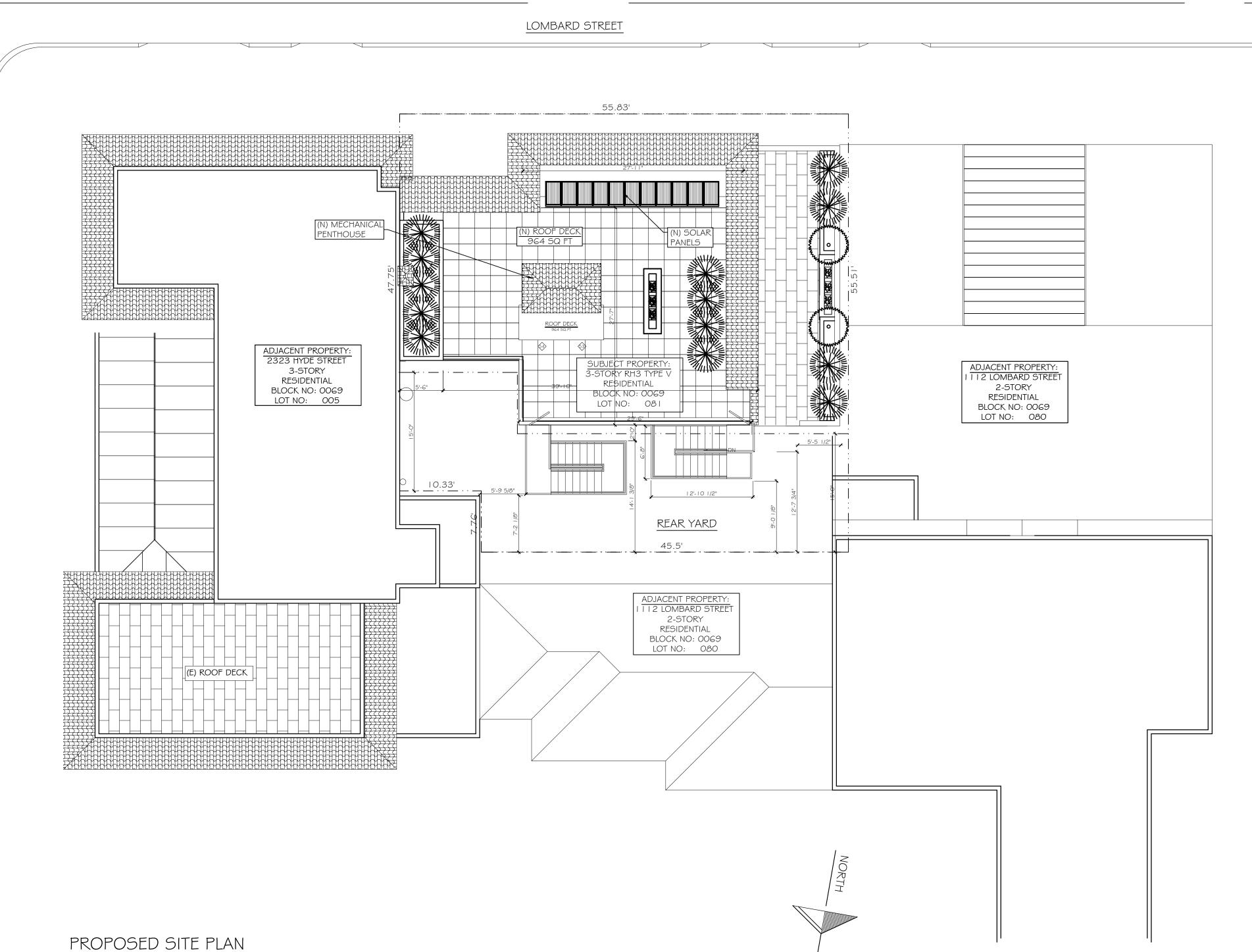
PROPOSED REAR VIEW

SCALE: 1/8"=1'-0"

(HALF NOTED SCALE ON 12x18 SHEETS)

PROPOSED BIRDS-EYE VIEW

PROPOSED BIRDS EYE VIEW FROM FRONT





PROPOSED FRONT VIEW



PROPOSED STREET VIEW

PRICE, POSTEL & PARMA LLP

JAMES H. HURLEY, JR. J. TERRY SCHWARTS DAVID W. VAN HORNE DOUGLAS D. ROSS! CRAIG A PARTON CLYDE E. WULLBRAND CHRISTOPHER E HASKELI TIMOTHY E. METZINGER TODD A. AMEPORER MELISSA J. PASSETT IAN M. FISHER SHEREEF MOHAHRAM KRISTEN M. R. BLABEY

COUNSELLIONS AT LAW 200 EAST CARRILLO STREET, SUITE 400 SANTA BARBARA, CALIFORNIA 93101-2190

MAILING ADDRESS F.O. BOX 99 SANTA BARBARA, CA 90102-0099 TELEPHONE (805) 862-0011 FAX (805) 965-3978

GERALD 5. THE DE DAVID R. HUGHES DUR FILE NUMBER 18842-80

ARTHUR R. GAUDI

ERIC P. HVOLBOLL

SUSAN M. BASHAM

STEVEN B. WOGUIRE

HET HED PARTNERS

August 31, 2012

Mr. John Rahaim, Director

San Francisco Planning Department 1650 Mission Street, 4th Floor San Francisco, CA 94103

Dear Mr. Rahaim:

This office represents Peter Sperling, trustee of the John Sperling 1994 Irrevocable Trust (the "Trust"), owner of the home at 2323 Hyde Street, with regard to the proposed improvements at 1100 Lombard Street (the "Project"). We write to confirm that the Trust and the Blanz family have entered into an agreement which fully addresses the Sperling's prior concerns, and the Trust withdraws its prior opposition to the Project.

The Blanz family, owners of the property located at 1100 Lombard Street, has met with the Trust's representatives and consultants multiple times over the past year to discuss both project design and the details of the lot line improvements. These meetings have been productive, resulting in a comprehensive agreement on these improvements.

The Blanz family has worked closely and cooperatively with the Trust and has agreed to provide a number of fire-safety related upgrades in the area between our two homes and to enter into a new easement agreement clarifying the shared use of the space between the two homes.

We appreciate the Blanz family's willingness to address the Sperling family's concerns, and we look forward to the completion of the work at 1100 Lombard.

If you have any questions about this letter or would like to discuss my support in more detail, please do not hesitate to contact our co-counsel, Harry O'Brien at Coblentz, Patch, Duffy & Bass at (415) 391-

Martin J. Coyne

P.O. Box 330267, San Francisco, CA 94133-0267

Phone: (415) 205-6159

August 30, 2012

Mr. John Rahaim, Director San Francisco Planning Department 1650 Mission Street, 4th Floor San Francisco, CA 94103

Dear Mr Rahaim:

I am the property owner of 1112 Lombard, San Francisco. In June of 2011, I sold the adjacent building at 1100 Lombard to the Blanz family. The Blanz family has approached me with a plan of renovations to 1100 Lombard which include an interior remodel, an addition, a roof deck, and a side deck at the property line nearest my property.

As a neighbor, I appreciate their interest in my consideration of the project, and their courtesy to consult my opinion first.

I am writing to express my support of their improvements to 1100 Lombard, and I am eager to see the project fulfilled and complete.

Martin Coyne

1100 Lombard Street Pre-Application Plan Review

3/11/13 Meeting Notes

Furthermore, part of the above-referenced P.A. #2012-0203-3472 work (which has already been completed), was creation of a 1-hour wall & 3/4 hour fire rated Elevator Room service door on the adjacent 2323 Hyde Property Line (see Sheet A-2.1: Proposed Ground Floor Plan) which will provide some measure of protection for the proposed stairs.

B. Per Sec. 1026.6, Exterior Exit Stairways shall provide separation and opening protection as for Exit Enclosures (Sec. 1022.1 1022.6); openings shall be limited to those necessary for egress from normally occupied spaces.

Question 2: As the proposed new, rear Exterior Exit Stairs serve only the 3 residential levels of the building (above the Ground Floor Garage); shall the adjacent, rear (North) wall of the building be permitted to be only 1-hour fire rated construction, thus allowing adjacent openings to be 3/4 hour fire protected and self-

Answer: Yes, although the building Owner stated his hesitation in reliance on a mechanical operation of any device such as a fusible link.

Question 3: Per Sec. 715.4.10, shall 3/4 hour rolling fire shutters be permitted at such openings? Answer: Yes.

Question 4: Per Table 715.5.4, if 1-hour fire rated doors are utilized for Exterior Exit Stair access, shall 3/4 hour fire rated glass lites with a maximum area of 1296 square inches be permitted?

Question 5: Shall 1-hour fire rated glass block be permitted in areas where openings are desired (such as the existing interior Stairs), but not required for access to the new Exterior Exit Stairs? Answer: Yes, but compliance with a recognized listed assembly will be required.

C. The 2 new, proposed Exterior Exit Stairways lead down to the Rear Yard and provide access to Lombard Street public way by means of travel through the Egress Court located on the East Property Line.

Question 4: Please confirm this exit strategy is permitted, as reviewed & approved in the prior Pre-Application Plan Review Meeting (dated July 18, 2012). Answer: Yes.

Do not hesitate to contact me should you further clarification on any of the proceeding items.

Please sign below, and return a copy to my office, to indicate your agreement with the above statements:

Nicholas Palter, Architect

palter / donzelli design

San Francisco, CA 94114

Rev. March 15, 2013

Department of Building Inspection 1660 Mission Street, 2nd Floor San Francisco, CA 94103-2414

San Francisco, CA

Block #0069; Lot #081

Division Manager Plan Review Services:

1. Sec. 1026 (Exterior Exit Ramps & Stairways):

After discussion, it was agreed as follows:

such as small sliver of wall was impractical.

RE: 3/11/13 Pre-Application Plan Review - Meeting Notes 1100 Lombard Street Remodel & Addition

A previous Pre-Application Plan Review Meeting (dated July 18, 2012) for this Project was completed with SFBD representative Ron Tom & SFFD representative Fred Stumpp (a copy of the Minutes & a half-size set of Drawings describing that portion of the work which is already completed under P.A. #2012-0203-3472 is attached for your use).

The project is an interior remodel of & small Rear Yard addition to an existing 3-story, over Garage 5-unit apartment building which has an existing, front fire escape with accordion-type, drop-down ladder to the Lombard Street public

As part of the work, the Owner would like to voluntarily remove the existing, front fire escape, add an automatic fire

Based on the 2010 CBC and SF Building Code Amendments, we request confirmation of the following Code issues:

A. Per Sec. 1026.5, Exterior Exit Stairways shall be located at least 10' from Property Lines (per Sec. 1027.3),

Question 1: As the proposed new, rear Exterior Exit Stairs are located predominantly (but not entirely)

West Stairs: The 2 small 36" wide sections of Stair (on 2nd & 3rd Floors) which are less than 10' from

construction, rather than the metal stair). The attached Drawings have been modified to indicate this

• East Stairs: As only the north most 18" wide section of these metal stairs is less than 10' from the East

West Property Line shall be 1-hour fire rated construction (i.e. they shall become part of the main building

Property Line (which jogs to +/- 16 at this point), it was agreed that the fire risk was minimal & building of

greater than 10' from the side Property Lines, how is the required protection interpreted?

(reference hand-revised Sheets A-2.3, A-2.4, A2.5, A-3.4, A-3.6; dated Mar. 15, 2013).

unless adjacent walls & openings are protected in accordance with Sec. 705.

sprinkler system and create a second means of egress in the form of 2 open, metal Exterior Exit Stairs at the rear of the building. (Note: All drawing references are to Drawings, dated Rev. 3/15/12, a copy of which accompanies this

Feb. 28, 2013

50-B Hancock St.

(415) 552-0802

Ron Tom 5/2/13 Ron Tom, SF DBI Plan Review

(License #C 26379, Exp. 02/28/2015)

Captain Janice Hayes, SFFD Date

Brian Ballard 5/4/13

SFFD

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REVISION PER PLANNING COMMENTS

50-B Hancock St. San Francisco, CA 94114 (415) 552-0802

> $0 \geq$ HBORHOOI PRE APPL

DITION) ш 1100 LOMBARD STREET (INTERIOR REMODEL & F SAN FRANCISCO, CA BLOCK #0069; LOT #081

EIG

Date: 05-22-13

Scale: AS NOTED Drawn: NP

A-0.4

EXISTING/I EXISTING

(DDITION) 1100 LOMBARD STREET (INTERIOR REMODEL & R SAN FRANCISCO, CA BLOCK #0069; LOT #081

Date: 05-22-13 Scale: AS NOTED

Drawn: NP

EXISTING/DEMO THIRD FLOOR PLAN

SCALE: 3/16"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)

2-STORY RESIDENTIAL BLOCK NO: 0069 LOT NO: 080

EXISTING/DEMO SECOND FLOOR PLAN

SCALE: 3/16"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)

(NOILION) 1100 LOMBARD STREET (INTERIOR REMODEL & F SAN FRANCISCO, CA BLOCK #0069; LOT #081

Date: 05-22-13 Scale: AS NOTED

Drawn: NP

A-1.2

(E) WALL TO BE REMOVED

(N) I-HR RATED STUD WALL

(N) 2-HR RATED STUD WALL

(N) STUD WALL

SEE SHEET A4.2 FOR WINDOWS AND DOOR SCHEDULES

palter / donzelli desig 50-B Hancock St. San Francisco, CA 94114 (415) 552-0802

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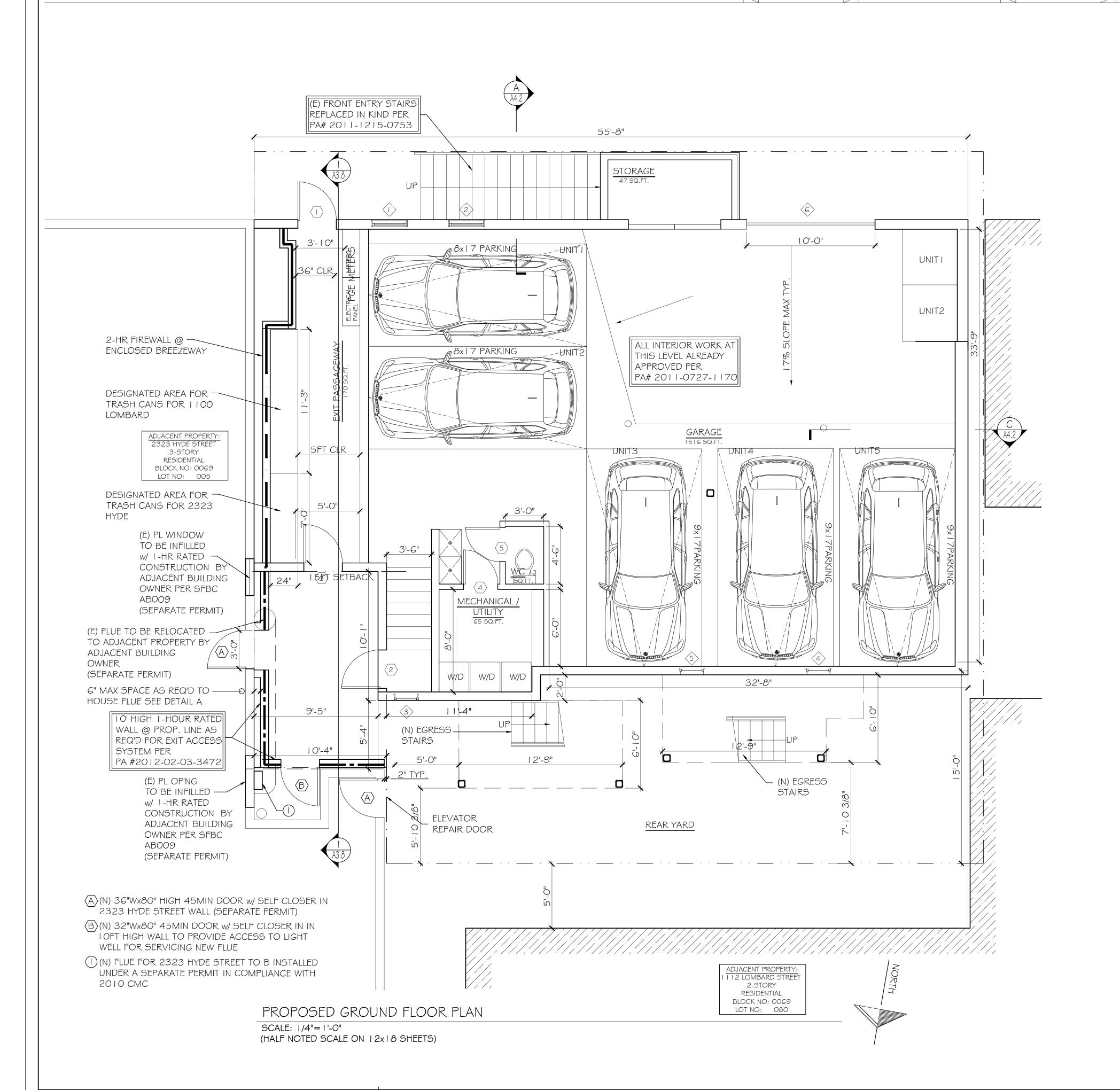
PROPOSED GROUND FLOOR PLAN

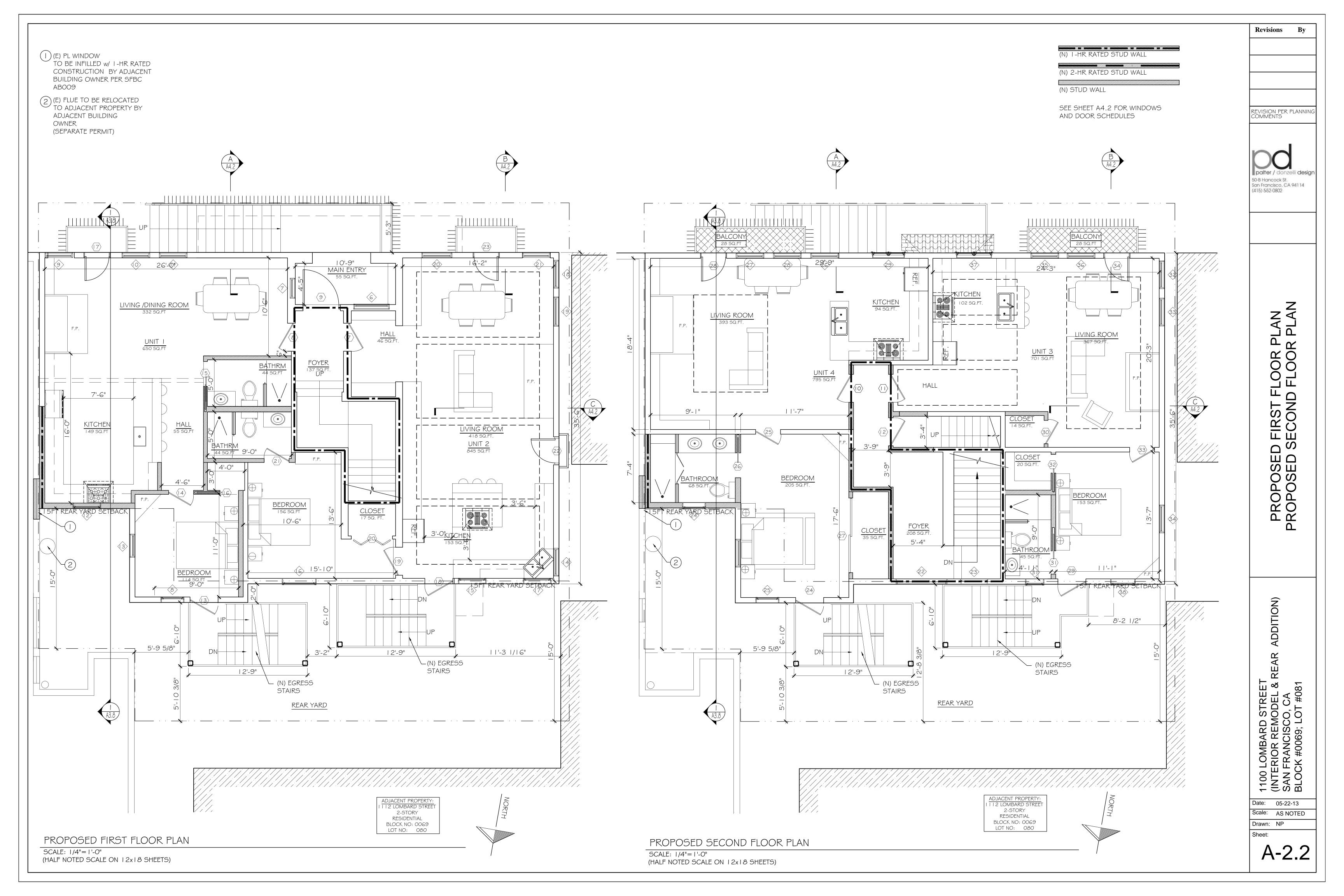
1100 LOMBARD STREET (INTERIOR REMODEL & REAR ADDITION) SAN FRANCISCO, CA BLOCK #0069; LOT #081

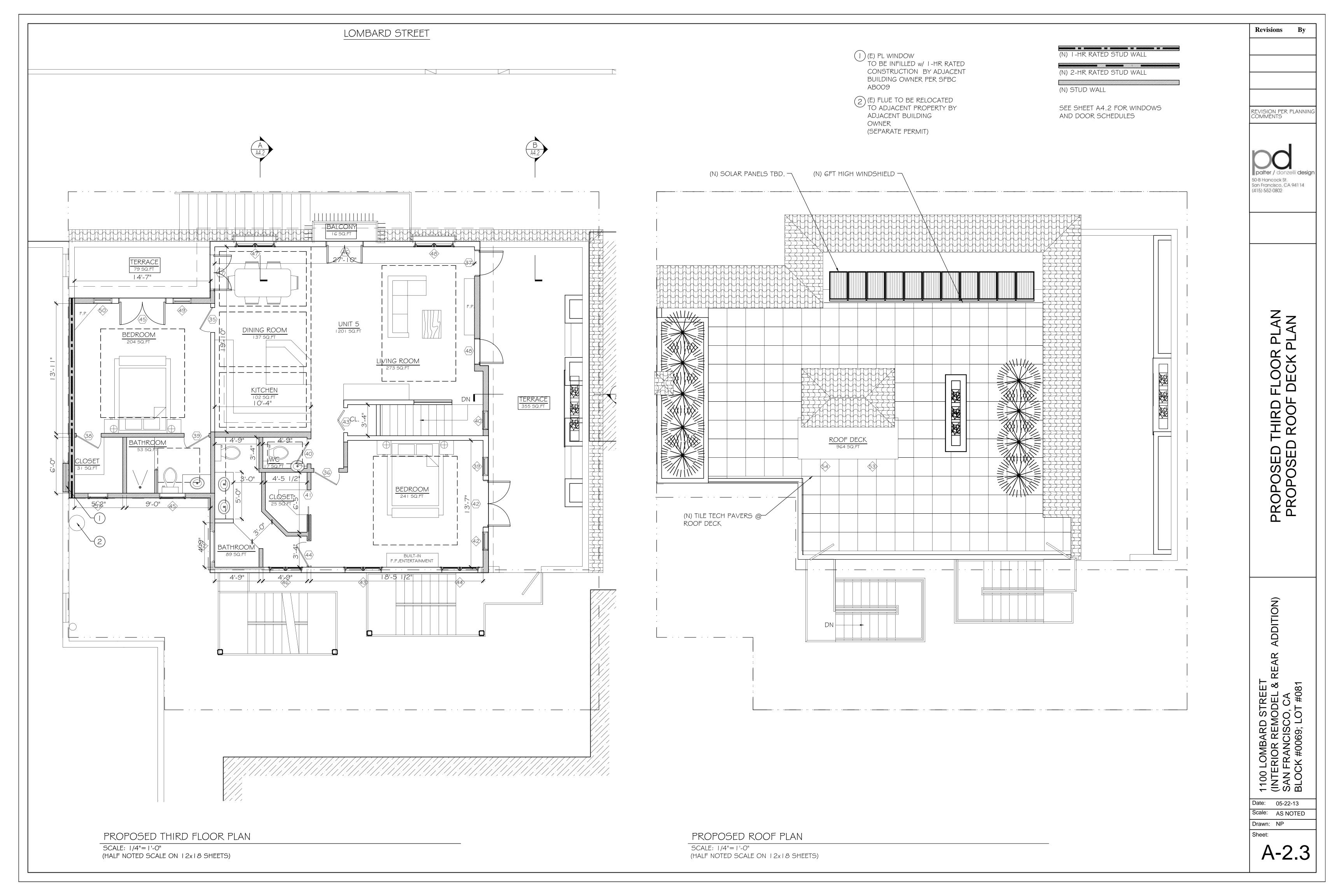
Date: 05-22-13
Scale: AS NOTED

Drawn: NP

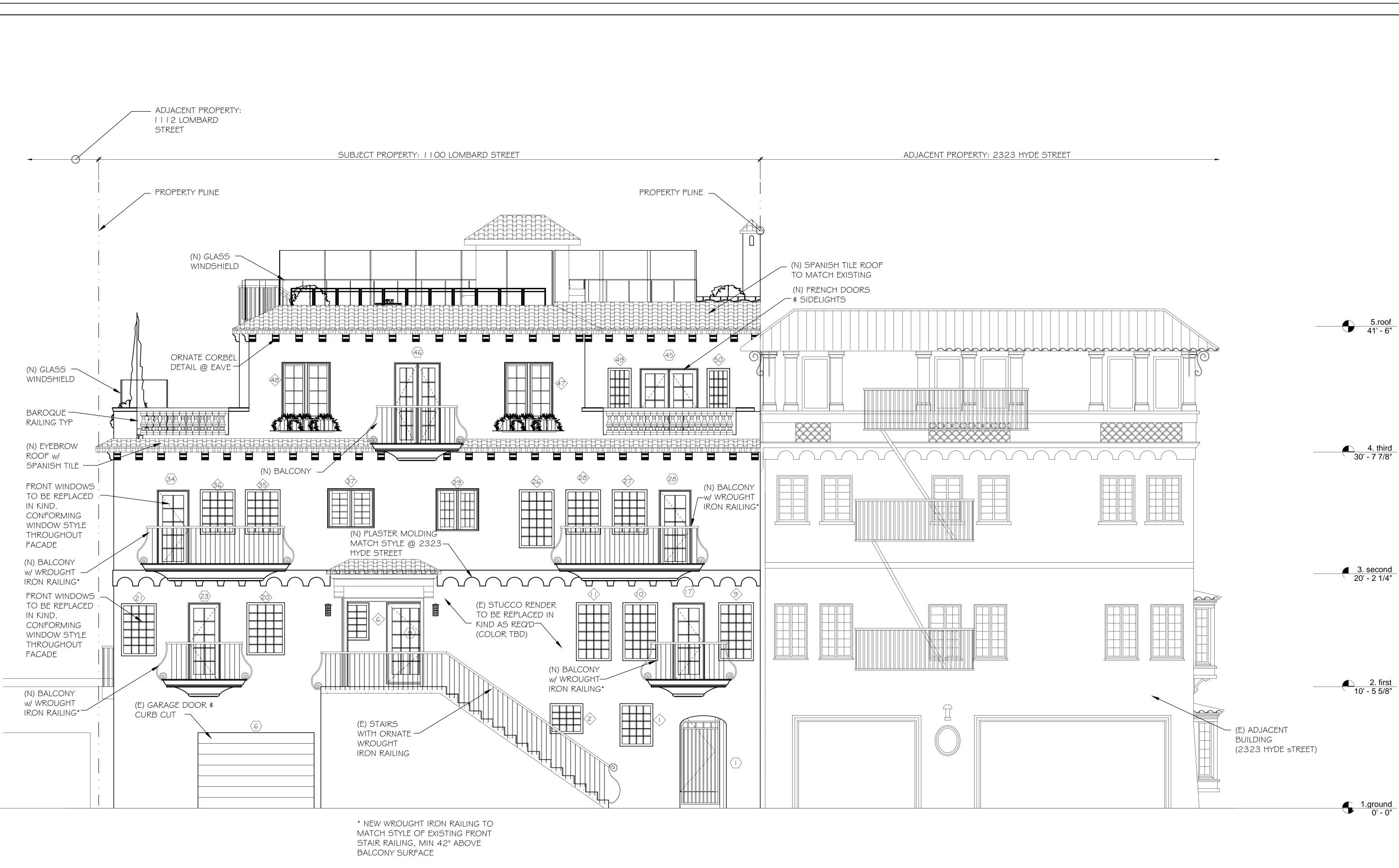
A-2.1











PROPOSED SOUTH ELEVATION (FRONT)

SCALE: 1/4"=1'-0" (HALF NOTED SCALE ON 12x18 SHEETS)

REVISION PER PLANNING COMMENTS

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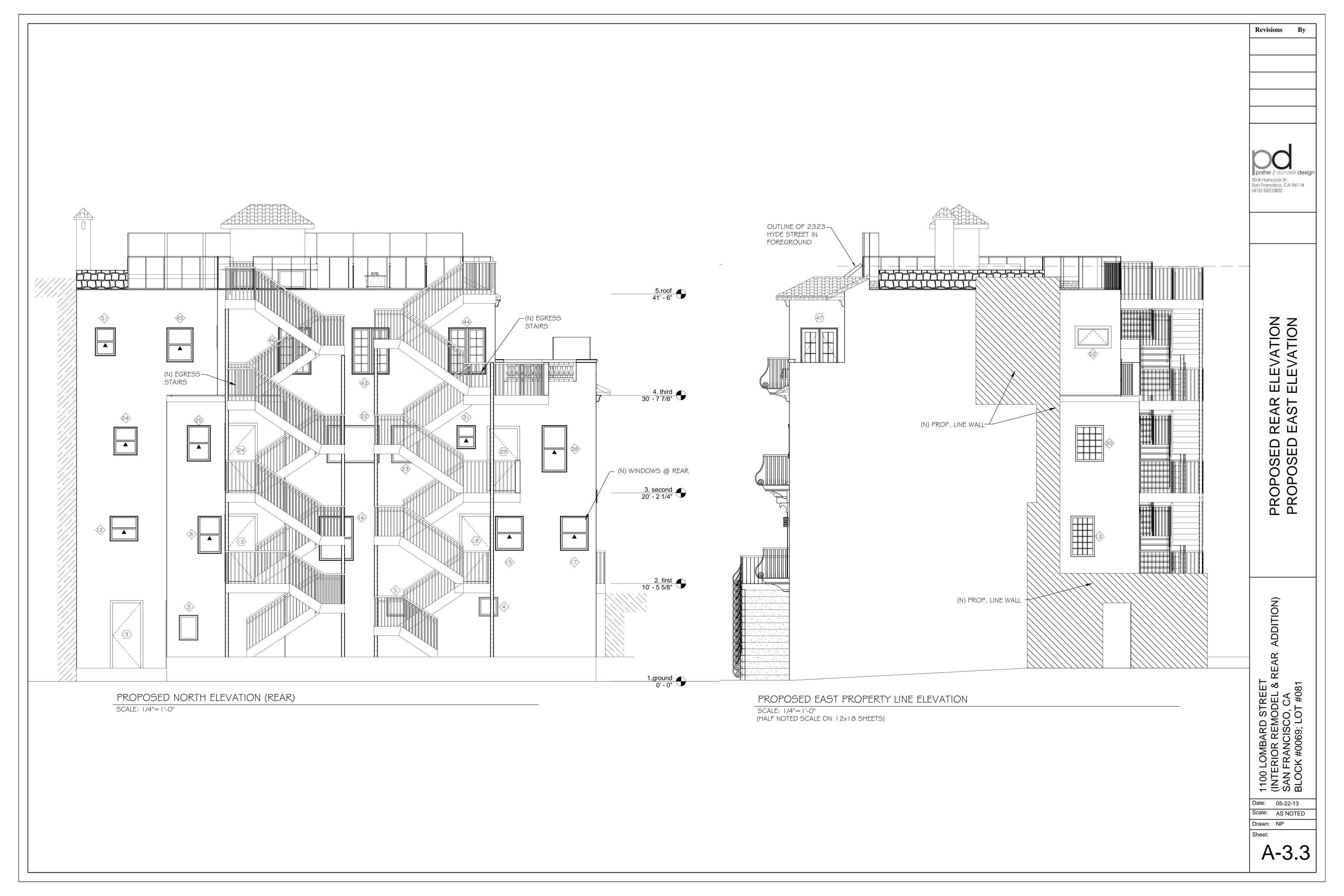
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(NOILION) 1100 LOMBARD STREET (INTERIOR REMODEL & R SAN FRANCISCO, CA BLOCK #0069; LOT #081

Date: 05-22-13 Scale: AS NOTED

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A-3.2



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Sheet:

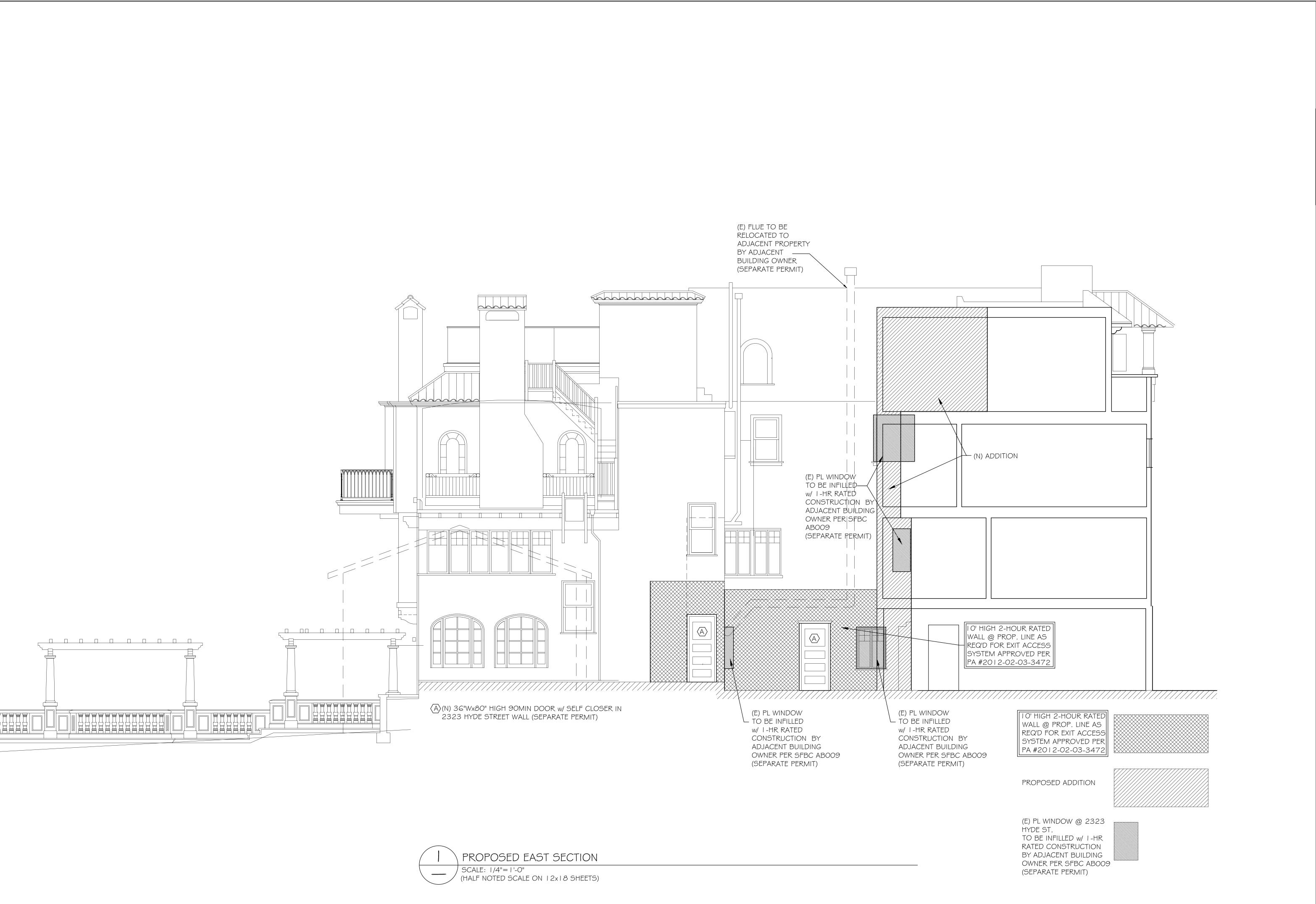
A-3.4

/ (N) GLASS GÚARDRAIL ORNATE CORBEL DETAIL @ EAVE (N) EGRESS STAIRS _ (N) SPANISH TILE ROOF TO MATCH EXISTING 5.roof 41' - 6" L______ — (N) STUCCO RENDER (COLOR 4. third 30' - 7 7/8" BUILDING BEYOND: 2323 HYDE STREET 3-STORY RESIDENTIAL BLOCK NO: 0069 LOT NO: 005 RAILING - SIDE WINDOWS TO BE REPLACED IN KIND. (E) STUCCO RENDER TO BE REPLACED IN CONFORMING WINDOW STYLE THROUGHOUT FACADE PER ABOO9 (COLOR TBD) 3. second 20' - 2 1/4" SIDE WINDOWS TO BE REPLACED IN KIND. CONFORMING WINDOW STYLE THROUGHOUT FACADE PER ABOO9 BUILDING BEHIND: I I 2 LOMBARD STREET 2-STORY (9) 2. first 10' - 5 5/8" RESIDENTIAL BLOCK NO: 0069 LOT NO: 080 1.ground 0' - 0"

PROPOSED WEST PROPERTY LINE ELEVATION

SCALE: 1/4"=1'-0"

(HALF NOTED SCALE ON 12x18 SHEETS)



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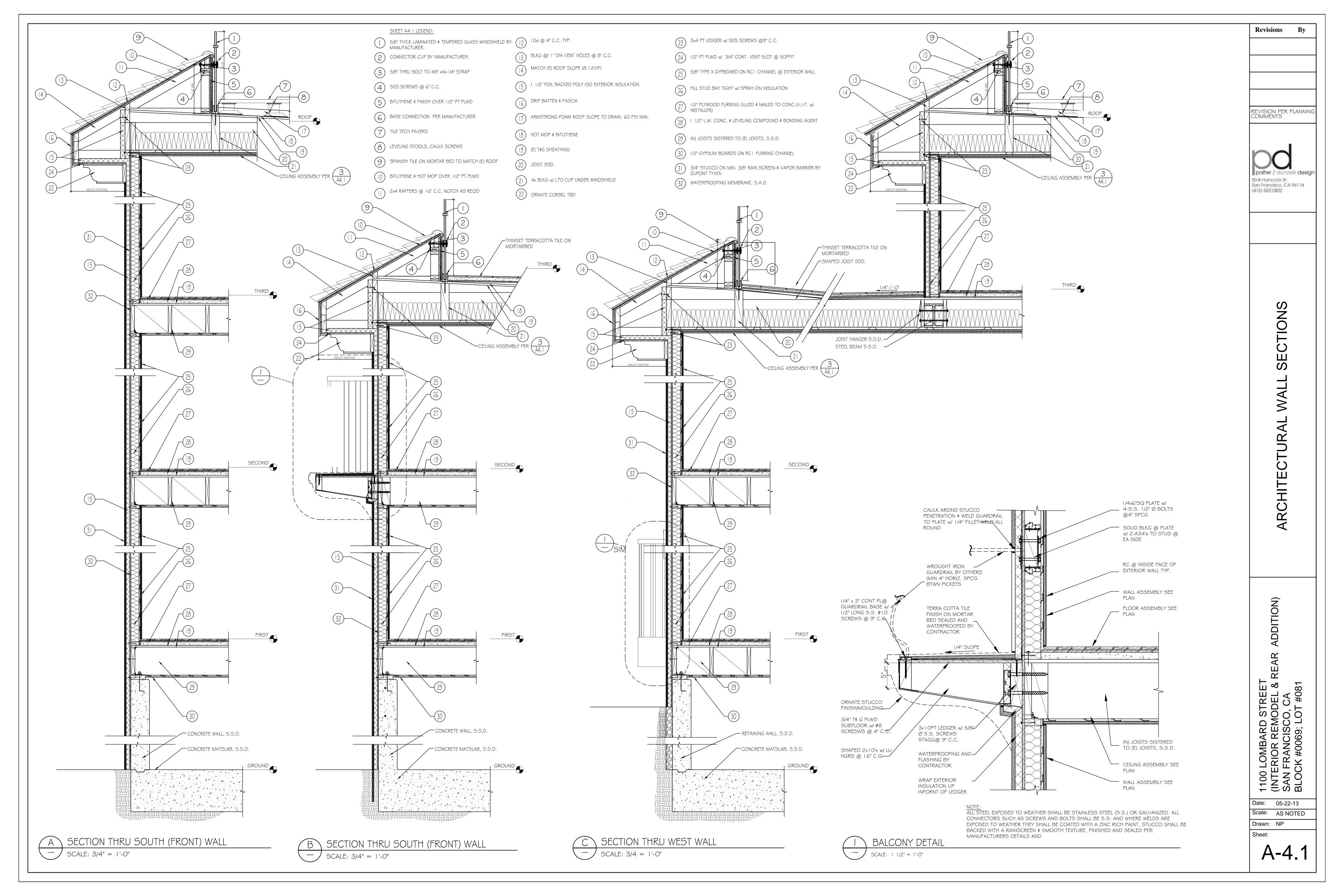
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(DDITION) 1100 LOMBARD STREET (INTERIOR REMODEL & R SAN FRANCISCO, CA BLOCK #0069; LOT #081

Date: 05-22-13 Scale: AS NOTED

Drawn: NP

A-3.5



				Doo	r Sch	edule		
Mark	Level	Location	Unit Number	Width	Height	Туре	Fire Rating	Comments
					ļ			
1	GROUND FLR.			3' - 6"	7' - 0"	Gate	-	
2		GARAGE	GROUND FLOOR		7' - 0"	Single-Flush	45 min.	Security Door with closer
3	GROUND FLR.	EXIT PASSAGEWAY	GROUND FLOOR		7' - 0"	Single-Flush	45 min.	Security Door with closer
4		MECHANICAL / UTILITY	GROUND FLOOR		7' - 0"	Single-Flush		
5	GROUND FLR.		GROUND FLOOR	+	7' - 0"	Single-Flush		
6	GROUND FLR.	GARAGE	GROUND FLOOR		6' - 6"	Overhead-Sectional	<u> </u>	Steel Overhead door
7	F.F. FIRST	FOYER	FIRST FLOOR	3' - 0"	7' - 0"	Single-Flush Single-Flush	45 min.	Security Door with closer
8	F.F. FIRST	FOYER	FIRST FLOOR	3' - 0"	7' - 0"	Marvin-Clad Ultimate	45 min.	Security Door with closer
9	F.F. FIRST	FOYER	FIRST FLOOR	4' - 0"	7' - 0"	Single-Flush	-	Security Door with closer
10	F.F. SECOND	FOYER	SECOND FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
	F.F. SECOND	FOYER	SECOND FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
12	F.F. SECOND	FOYER	SECOND FLOOR	3' - 0"	7' - 0"	Single-riban	45 min.	Steel framed w/ laminated
13	F.F. FIRST	BEDROOM	UNIT I	3' - 0"	7' - 0"	Single-Flush	45 mın.	glazing \$ security closer
14	F.F. FIRST	BEDROOM	UNIT I	2' - 6"	6' - 8"	Single-Flush	-	
15	F.F. FIRST	LIVING / DINING ROOM	UNIT I	2' - 6"	6' - 8"	Pocket Door		
16	F.F. FIRST	CL.	UNIT I	2' - 6"	6' - 8"	Single-Flush		
17	F.F. FIRST	CL.	UNIT I	2' - 6"	6' - 8"	Single-Flush		
18	F.F. FIRST	LIVING / DINING ROOM	UNIT I	3' - 0"	7' - 0"	Marvin-Clad_Ultimate		
								Steel framed w/ laminated
19	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	7' - 0"		45 mın.	glazing \$ security closer
20	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	6' - 8"	Single-Flush	-	
21	F.F. FIRST	CLOSET	UNIT 2	4' - 0"	6' - 8"	Bifold-4 Panel	-	
22	F.F. FIRST	BEDROOM	UNIT 2	2' - 6"	6' - 8"	Single-Flush	-	<u> </u>
	E E EIDCT	REDROOM	LINUT		6' - 8"	Sıngle-Flush		Wood framed w/ privacy glazing
23	F.F. FIRST F.F. FIRST	BEDROOM LIVING ROOM	UNIT 2 UNIT 2	2' - 6" 3' - 0"	7' - 0"	Marvin-Clad_Ultimate	-	
25	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 0"	7' - 0"	Marvin-Clad_Ultimate		
	1.1.11101	LIVING ROOM	ONIT Z	3 - 0	7 - 0	<u> </u>		Steel framed w/ laminated
26	F.F. SECOND	BEDROOM	UNIT 3	3' - 0"	7' - 0"	Single-Flush	45 mın.	glazıng \$ security closer
27	F.F. SECOND	LIVING ROOM	UNIT 3	2' - 6"	6' - 8"	Single-Flush	-	
								Wood framed w/ privacy
28	F.F. SECOND	BATHROOM	UNIT 3	2' - 6"	6' - 8"	Pocket Door	-	glazıng
29	F.F. SECOND	CLOSET	UNIT 3	8' - 0"	6' - 8"	Sliding-Closet	-	Aluminum w/ mirrors
30	F.F. SECOND	LIVING ROOM	UNIT 3	3' - 0"	7' - 0"	Marvin-Clad_Ultimate		Steel framed w/ laminated
31	F.F. SECOND	BEDROOM	UNIT 4	3' - 0"	6' - 8"	Single-Flush	45 mın.	glazing \$ security closer
32	F.F. SECOND	CLOSET	UNIT 4	2' - 6"	6' - 8"	Single-Flush		
	7.7.0200110	020021						Wood framed w/ privacy
33	F.F. SECOND	BATHROOM	UNIT 4	2' - 6"	6' - 8"	Pocket Door	-	glazıng
								Wood framed w/ privacy
34	F.F. SECOND	CLOSET	UNIT 4	2' - 6"	6' - 8"	Pocket Door	-	glazıng
35	F.F. SECOND	LIVING ROOM	UNIT 4	2' - 6"	6' - 8"	Single-Flush	-	
36	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"	7' - 0"	Marvin-Clad_Ultimate Single-Flush		
37	F.F. THIRD	BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush	-	
38	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 6"	6' - 8" 7' - 6"	Marvin-Clad_Ultimate	-	
39	F.F. THIRD	DECK	UNIT 5	3' - 0"		Single-Flush		
40	F.F. THIRD	BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush		+
41	F.F. THIRD	BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush	+	+
42	F.F. THIRD F.F. THIRD	W.C. MASTER BEDROOM	UNIT 5 UNIT 5	2' - 6"	6' - 8"	Pocket Door	+	+
44	F.F. THIRD	DECK	UNIT 5	5' - 0"	7' - 6"	Marvin-French Door-Clad Ultimate	+	+
45	F.F. THIRD	CLOSET	UNIT 5	2' - 6"	7' - 6"	Bifold-2 Panel	+	+
46	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush	+	+
46	F.F. THIRD	DECK	UNIT 5	5' - 0"	7' - 0"	Marvin-French Door-Clad Ultimate	+	+
48	F.F. THIRD	LIVING ROOM	UNIT 5	4' - 0"	7' - 6"	Marvin-French Door-Clad Ultimate		
49	F.F. THIRD	DINING ROOM	UNIT 5	4 - 0"	7' - 0"	Marvin-French_Door-Clad_Ultimate		
50	F.F. THIRD	LIVING ROOM	UNIT 5	3' - 0"	7' - 6"	Marvin-Clad_Ultimate		
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		LOCATION		W.C.T.	UEIOUT	CILL HEIGHT	TVDE	FIRE	COMMISSITS
MARK		LOCATION	UNIT NUMBER	WIDTH		SILL HEIGHT	TYPE	RATING	COMMENTS
	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 10"	3' - 8"	5' - 4"	Casement-Marvin	45 min.	non-operable w/ security bars/tempered
2	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 10"	2' - 7"	6' - 5"	Casement-Marvin	45 min.	non-operable w/ security bars/tempered
3	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 0"	2' - 8"	4' - 5"	Fixed		non-operable w/ security bars/tempered
4	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 0"	2' - 0"	7' - 0"	Fixed		
5	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 0"	2' - 0"	7' - 0"	Fixed		
6	F.F. FIRST	MAIN ENTRY	FIRST FLOOR	3' - 10"	3' - 3"	3' - 9"	Casement-Marvin	45 min.	replace (E) in kind vif size add security ba
7	F.F. FIRST	MAIN ENTRY	FIRST FLOOR	2' - 2"	3' - 0"	4' - 3"	Casement-Marvin		
8	F.F. FIRST	BEDROOM	UNIT I	2' - 6"	4' - 0"	3' - 0"	Single_Hung	45 min.	operable w/ frosted glass w/ fusible link
9	F.F. FIRST	LIVING / DINING ROOM	UNIT I	3' - 0"	5' - 0"	2' - 0"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
10	F.F. FIRST	LIVING / DINING ROOM	UNIT I	3' - 0"	5' - 0"	2' - 0"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
	F.F. FIRST	LIVING / DINING ROOM	UNIT I	3' - 0"	5' - 0"	2' - 0"	Casement-Marvin		replace (E) in kind vif size
12	F.F. FIRST	KITCHEN	UNIT I	3' - 0"	2' - 8"	4' - 4"	Single_Hung		
13	F.F. FIRST	BEDROOM	UNIT I	2' - 6"	4' - 4"	2' - 8"	Casement-Marvin		(5)
14	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	4' - 0"	3' - 0"	Casement-Marvin	-	replace (E) in kind vif size
15	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	3' - 8"	3' - 4"	Single_Hung	45 min.	operable
16	F.F. FIRST	BEDROOM	UNIT 2	3' - 8"	4' - 9"	2' - 3"	Single_Hung	45 min.	operable w/ fusible link
17	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	3' - 8"	3' - 4"	Single_Hung	45 min.	operable
18	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 0"	4' - 6"	2' - 6"	Casement-Marvin	-	replace (E) in kind vif size
19	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 2"	4' - 6"	2' - 6"	Casement-Marvin	-	replace (E) in kind vif size
20	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 3"	4' - 6"	2' - 6"	Casement-Marvin	-	replace (E) in kind vif size
21	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 0"	4' - 6"	2' - 5"	Casement-Marvin	-	replace (E) in kind vif size
22	F.F. SECOND	FOYER	SECOND FLOOR	5' - 7"	4' - 0"	3' - 0"	Fixed	45 min.	fixed and tempered
23	F.F. SECOND	FOYER	SECOND FLOOR	3' - 0"	4' - 0"	3' - 0"	Fixed		fixed and tempered
24	F.F. SECOND	BATHROOM	UNIT 3	2' - 6"	3' - 0"	3' - 10"	Single_Hung	-	operable w/ frosted glass
25	F.F. SECOND	BEDROOM	UNIT 3	2' - 6"	3' - 10"	3' - 2"	Single_Hung	45 mın.	operable w/ fusible link
26	F.F. SECOND	LIVING ROOM	UNIT 3	3' - 0"	5' - 0"	2' - 0"	Casement-Marvin		
27	F.F. SECOND	LIVING ROOM	UNIT 3	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
28	F.F. SECOND	LIVING ROOM	UNIT 3	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin	-	replace (E) in kind vif size
00		KITOLIEN					Double Casement		replace (E) in kind vif size
29	F.F. SECOND	KITCHEN	UNIT 3	3' - 6"		3' - 6"	(French)	-	TEPIACE (L) III KIIIG VII SIZE
30	F.F. SECOND	BEDROOM	UNIT 3	3' - 0"	 	3' - 2"	Casement-Marvin	1.5	
31	F.F. SECOND	BATHROOM	UNIT 4	2' - 0"	2' - 6"	4' - 6"	Single_Hung	45 min.	operable w/ frosted glass w/ fusible link replace (E) in kind vif size
32	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"	+	3' - 2"	Casement-Marvin	-	1 ' '
33	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"		3' - 2"	Casement-Marvin	45 min.	match style of 30 provide AB 009
34	F.F. SECOND	BEDROOM	UNIT 4	3' - 0"	5' - 6"	1' - 6"	Casement-Marvin	_	replace (E) in kind vif size
35	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"		3' - 2"	Casement-Marvin	-	replace (E) in kind vif size
36	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin Double Casement	-	replace (E) in kind vif size/ tempered
37	F.F. SECOND	KITCHEN	UNIT 4	3' - 10"	3' - 3"	3' - 9"	(French)	_	replace (E) in kind vif size
38	F.F. SECOND	BEDROOM	UNIT 4	2' - 8"	5' - 0"	2' - 0"	Single_Hung		
39	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 0"	4' - 0"	3' - 6"	Casement-Marvin		
4 0	F.F. THIRD	LIVING ROOM	UNIT 5	2' - 0"	4' - 0"	3' - 6"	Casement-Marvin		
42	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 0"	4' - 0"	3' - 6"	Casement-Marvin		
-12	7.7. 11111()	IVIVISTER DEDICOUVI	51111 3			3 - 0	Double Casement		
43	F.F. THIRD	MASTER BEDROOM	UNIT 5	4' - 0"	5' - 0"	2' - 0"	(French)	45 mın.	operable w/ fusible link
							Double Casement		
44	F.F. THIRD	MASTER BEDROOM	UNIT 5	4' - 0"		2' - 0"	(French)	45 min.	operable w/ fusible link
45	F.F. THIRD	BATH	UNIT 5	2' - 10"	3' - 8"	3' - 4"	Single_Hung		
46	F.F. THIRD	BATHROOM	UNIT 5	3' - 6"	5' - 0"	2' - 0"	Double Casement (French)	45 mın.	operable w/ fusible link
17	E E TUIDO	DINING	LINUT	41 011			Double Casement (French)		replace (E) in kind vif size/ tempered
47	F.F. THIRD	DINING	UNIT 5	4' - 2"	6' - 0"	l' - 6"	(French) Double Casement	-	
48	F.F. THIRD	LIVING ROOM	UNIT 5	4' - 2"	6' - 0"	l' - 6"	(French)	-	replace (E) in kind vif size/ tempered
49	F.F. THIRD	BEDROOM	UNIT 5	2' - 0"	4' - 0"	3' - 0"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
50	F.F. THIRD	BEDROOM	UNIT 5	2' - 0"	4' - 0"	3' - 0"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
51	F.F. THIRD	CLOSET	UNIT 5	2' - 2"	3' - 0"	4' - 0"	Single_Hung		
52	F.F. THIRD	BATHROOM	UNIT 5	3' - 6"	2' - 0"	5' - 0"	Awning with Trim		
53	ROOF			3' - 0"	2' - 0"	0' - 7 3/8"	Fixed		clerestory window
54	ROOF			3' - 0"	2' - 0"	0' - 7 3/8"	Fixed		clerestory window

Window Schedule

WINDOW SCHEDULE

Revisions

REVISION PER PLANNING COMMENTS

50-B Hancock St. San Francisco, CA 94114 (415) 552-0802

ADDITION) REAR 1100 LOMBARD STREET (INTERIOR REMODEL & R SAN FRANCISCO, CA BLOCK #0069; LOT #081

Date: 05-22-13

Scale: AS NOTED Drawn: NP

DOOR SCHEDULE