



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 24, 2013**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1100 Lombard Street Cross Street(s): Chestnut St. & Lombard St. Block /Lot No.: 0069 / 081 Zoning District(s): RH-3 / 40-X Area Plan: N/A	Case No.: 2012.0146V Building Permit: To be filed Applicant (agent): Nicholas Palter Telephone: (415) 552-0802 E-Mail: nicholaspalter@yahoo.com

PROJECT DESCRIPTION

The proposal is to construct two new exit staircases (approximately 13' wide by 7' deep by 39' high) at the rear of the four-story, five-unit residential building. The new exit staircases will extend from the ground to roof levels. Other modifications to the residential building, which are not the subject of this variance, include a horizontal addition at all four levels on the northeast corner of the building, a new roof deck (with solar panels, 6-foot high windscreen and mechanical penthouse), new balconies on the front facade at the 2nd and 3rd stories, a new terrace on the west side of the 3rd story, and facade modifications.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 15' for the subject property. The new rear exit stairs on the northeast side of the building will extend approximately 8' into the required rear yard. The new rear exit stairs on the north side of the building will extend approximately 6' into the required rear yard.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0146V.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

PROJECT INFORMATION

SCOPE OF WORK

HORIZONTAL ADDITION AT REAR. CREATE NEW EGRESS STAIRS AT REAR OF BUILDING. CREATE A NEW ROOF DECK AT MAIN ROOF AND REMODEL APARTMENTS.	
OWNER:	DAVID BLANZ 721 MELISSA COURT SAN MATEO, CALIFORNIA 94402 PHONE: (415) 828-0091
PROJECT CONTACT:	ONE DESIGN P.O. BOX 40606 SAN FRANCISCO, CALIFORNIA 94140 (415) 828-4412 info@onedesignsf.com
BLOCK NUMBER: LOT NUMBER: AUTHORITY: APPLICABLE CODE:	0069 081 CITY AND COUNTY OF SAN FRANCISCO 2010 CALIFORNIA BUILDING CODE WITH SFBC AMENDMENTS
ZONING DISTRICT: CONSTRUCTION:	RH3 TYPE V.
EXISTING NUMBER OF STORIES:	4
PROPOSED NUMBER OF STORIES:	4
EXISTING NUMBER OF UNITS:	5
PROPOSED NUMBER OF UNITS:	5

EXISTING CONDITIONS

GROUND FLOOR:	FLOOR AREA: 1684 SQFT		
	SQ.FT.		
GARAGE:	1506		
MECHANICAL ROOM:	57		
CORRIDORS:	<u>121</u>		
<u>FIRST FLOOR:</u>	FLOOR LIVING AREA: 1421 SQFT		
UNIT 1:	SQ.FT.	UNIT 2:	SQ.FT.
KITCHEN:	138	KITCHEN:	46
LIVING ROOM:	379	LIVING ROOM:	316
BEDROOM:	135	BEDROOM:	134
BATHROOM:	47	BATHROOM:	41
CLOSET:	60	CLOSET:	48
ENTRY HALL:	44	ENTRY HALL:	33
TOTAL:	<u>803</u>	TOTAL	<u>618</u>
<u>SECOND FLOOR:</u>	FLOOR LIVING AREA: 1452 SQFT		
UNIT 3:	SQ.FT.	UNIT 4:	SQ.FT.
KITCHEN:	87	KITCHEN:	87
LIVING ROOM:	390	LIVING ROOM:	302
BEDROOM:	190	BEDROOM:	172
BATHROOM:	31	BATHROOM:	35
CLOSET:	38	CLOSET:	29
ENTRY HALL:	33	ENTRY HALL:	58
TOTAL:	<u>769</u>	TOTAL	<u>683</u>
<u>THIRD FLOOR:</u>	FLOOR LIVING AREA: 909 SQFT		
UNIT 5:	SQ.FT.		
KITCHEN:	66		
LIVING ROOM:	450		
BEDROOM:	217		
BATHROOM:	53		
CLOSET	77		
ENTRY STAIR:	46		
TOTAL:	<u>909</u>		

PROPOSED CONDITIONS

GROUND FLOOR	FLOOR AREA: 1684 SQFT		
	90.FT.		
GARAGE:	1506		
MECHANICAL ROOM:	57		
CORRIDORS:	<u>121</u>		
FIRST FLOOR:	FLOOR LIVING AREA: 1495 SQFT		
UNIT 1:	SQ.FT.	UNIT 2:	SQ.FT.
KITCHEN:	149	KITCHEN:	153
LIVING ROOM:	332	LIVING ROOM:	418
BEDROOM:	114	BEDROOM:	156
BATHROOM:	44	BATHROOM:	44
CLOSETS:	11	CLOSET:	28
TOTAL	<u>650</u>	ENTRY HALL:	<u>46</u>
		TOTAL	<u>845</u>
SECOND FLOOR:	FLOOR LIVING AREA: 1495 SQFT		
UNIT 3:	SQ.FT.	UNIT 4:	SQ.FT.
KITCHEN:	102	KITCHEN:	94
LIVING ROOM:	367	LIVING ROOM:	393
BEDROOM:	153	BEDROOM:	205
BATHROOM:	45	BATHROOM:	68
CLOSET:	34	CLOSET:	35
TOTAL:	<u>701</u>	TOTAL	<u>795</u>
THIRD FLOOR:	FLOOR LIVING AREA: 1625 SQFT (INCL. PTE. DECKS)		
UNIT 5:	SQ.FT.		
KITCHEN:	102		
LIVING ROOM:	273		
DINING ROOM:	137		
BEDROOM 1:	204		
BEDROOM 1:	53		
BEDROOM 2:	241		
BEDROOM 2:	89		
CLOSETS:	56		
ENTRY STAIR:	46		
	<u>1201</u>		
		<u>PRIVATE ROOF DECK AREA:</u>	345 SQ.FT.
		<u>COMMON ROOF DECK AREA:</u>	1047 SQ.FT.

GENERAL NOTES:

1. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:
2010 SAN FRANCISCO BUILDING CODE
2010 SAN FRANCISCO ELECTRICAL CODE
2010 SAN FRANCISCO ENERGY CODE
2010 SAN FRANCISCO HOUSING CODE
2010 SAN FRANCISCO MECHANICAL CODE
2010 SAN FRANCISCO PLUMBING CODE
2010 CALIFORNIA FIRE CODE
COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS
2. IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PCB) OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS OR PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT IN WRITING.
3. MANUFACTURER'S DESIGNATIONS ARE NOTES TO INDICATE PATTERN, COLOR AND PERFORMANCE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.
5. CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS GOVERN CONTRACTOR REQUIRING DIMENSIONS NOT NOTED. SHALL CONTACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH THE WORK RELATED TO THOSE DIMENSIONS.
6. ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, TO FINISHED FACE OF GYP. BD., OR TO FACE OF MASONRY U.O.N.
7. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS AND/OR OTHER SUPPORTS FOR ALL FIXTURES, EQUIPMENT, CASEWORK, FURNISHINGS AND ALL OTHER ITEMS REQUIRING SAME.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL AND EQUIPMENT.
9. CONTRACTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR METALS.
10. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
11. "TYPICAL" OR "TYP." MEANS FOR ALL SIMILAR CONDITIONS, U.O.N.
12. DETAILS ARE USUALLY KEYED ONLY ONCE (ON PLANS OR ELEVATIONS WHEN THEY FIRST OCCUR) AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.
13. CONSTRUCTION AREA MUST BE BROOM CLEANED DAILY AND ALL MATERIALS SHALL BE STACKED OR PILED IN AN ORDERLY FASHION OUT OF TRAFFIC PATTERNS.
14. AT COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPLATTERED PAINT, AND BLEMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT THE PROJECT.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION THAT ATE WITHIN THE SCOPE OF WORK OR OUTSIDE SCOPE OF WORK, THAT ARE CAUSED BY HIM/HER OR SUBCONTRACTORS.
16. WHERE ADJOINING DOORS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR, U.O.N.
17. ALL PIPE, CONDUIT AND DUCT PENETRATIONS THROUGH FLOORS AND FIRE-RATED WALL AND CEILING SHALL BE SEALED WITH FIREPROOFING PLASTER OR FIRESTOPPING TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CEILING.
18. ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATES THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED HIM/HERSELF WITH THE EXISTING CONDITIONS, AND REVIEWED SAME WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
19. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL SUB-CONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNER.
20. CONTRACTOR SHALL SUBMIT CONFIRMATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG LEAD TIME ORDER ITEMS.
21. A 6'-8" MINIMUM HEADROOM SHALL BE PROVIDE AT ALL STAIRS.
22. CONTRACTOR SHALL PROTECT ALL EXCAVATION AND CONSTRUCTION FROM RAIN OR WATER DAMAGE.
23. COMMON ABBREVIATIONS:
(E) = EXISTING, (N) = NEW,
GWB = GYP. BD. = GYPSUM WALLBOARD,
MTL = METAL, S.S. = STAINLESS STEEL,
SSD = SEE STRUCTURAL DRAWINGS,
AFF = ABOVE FINISHED FLOOR.
- ELECTRICAL KEYED NOTES:
- E1 - SEPARATE KITCHEN CIRCUITS TO BE PROVIDED FOR COUNTERTOP OUTLETS, REFRIGERATOR, AND DISHWASHER/DISPOSAL. PROVIDE MIN. 2 - 20 AMP SMALL APPLIANCE BRANCH CIRCUITS (PER SFEC SECT. 210.52 & 220-4)
- E2 - GFCI PROTECTION REQ'D ON ANY RECEPT. WITHIN 6'-0" SINK.
- E3 - PROVIDE ELEC. OUTLETS IN KITCHEN SO THAT NO POINT ALONG A COUNTER IS MORE THAN 24" FROM AN OUTLET PER SFEC-210.52. PROVIDE ACCESSIBLE OUTLET AT ISLAND.
- E4 - PER TITLE-24, IN KITCHENS:
1 - AT LEAST 50% OF INSTALLED LUMINARIES WATTAGE MUST BE OF H.E. LIGHTING AND
MUST BE SWITCHED SEPARATELY FROM NON-H.E. LIGHTING;
2 - INSTALLED WATTAGES MUST BE CALCULATED.

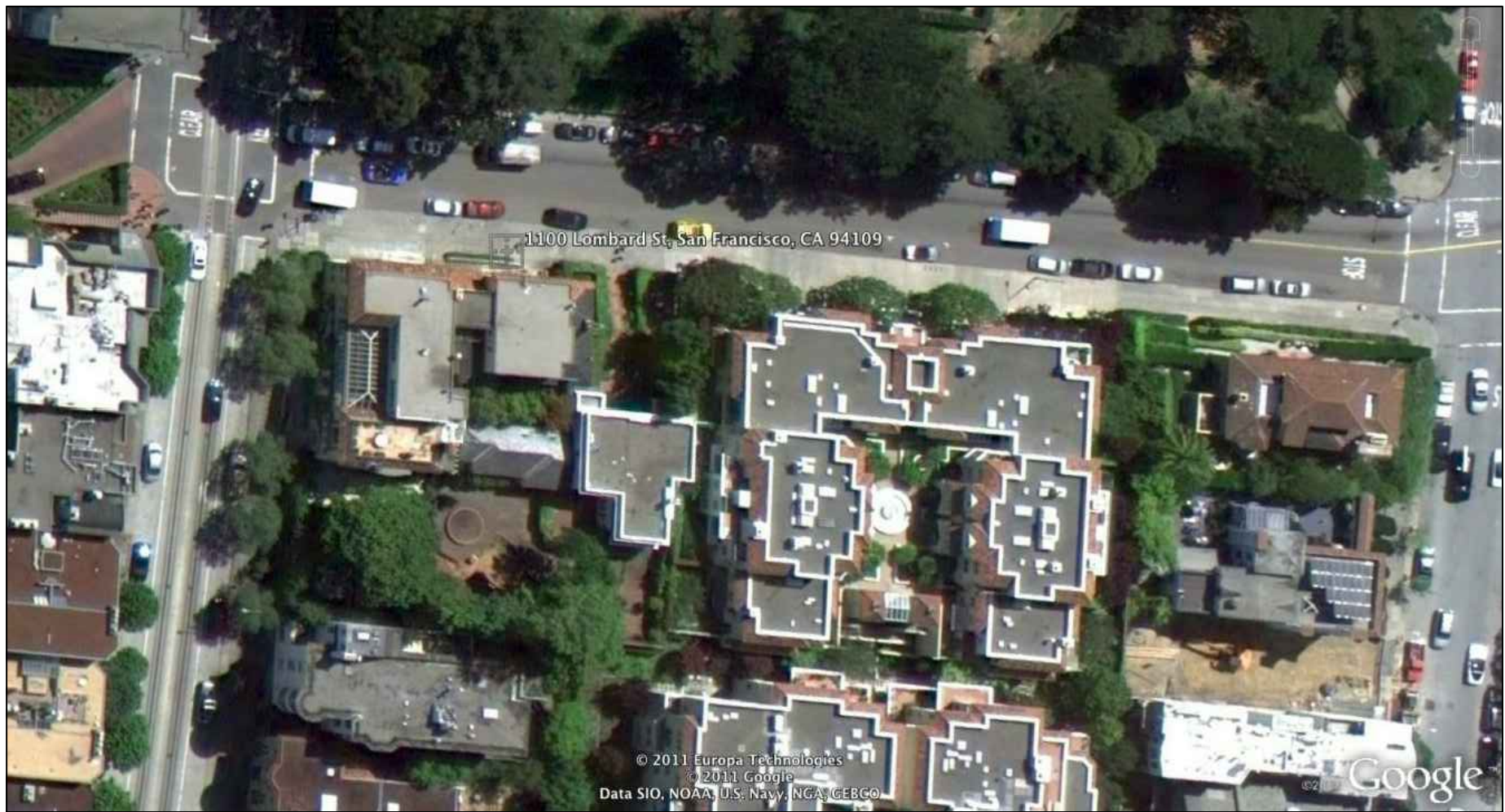
INTERIOR REMODEL & ADDITION

1100 LOMBARD STREET

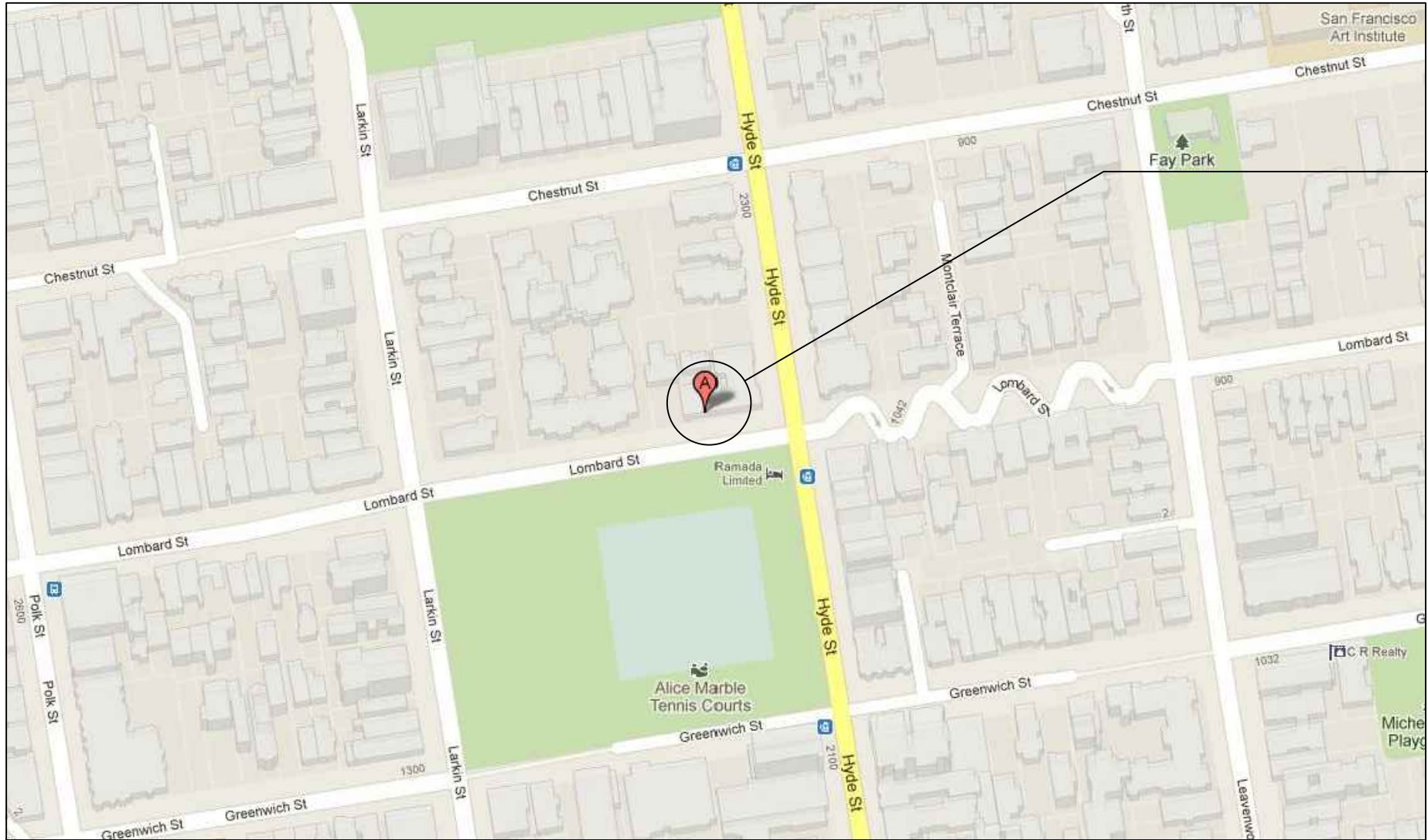
SAN FRANCISCO, CA 94109

GENERAL ELECTRICAL NOTES:

- A. PER TITLE-24, BATHROOMS, LAUNDRY ROOMS, GARAGES, AND UTILITY ROOMS ARE TO HAVE ALL HIGH EFFICACY (H.E.) LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED OCCUPANT SENSOR(S) WHICH MUST BE MANUAL-ON MOTION SENSOR AND MUST NOT HAVE 'ALWAYS-ON' OPTION.
- B. PER TITLE-24, OTHER ROOMS - BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, AND CLOSETS LARGER THAN 705F - ARE TO HAVE ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY DIMMER SWITCH OR CERTIFIED OCCUPANT SENSOR(S) WITH MANUAL-ON SENSOR AND NO 'ALWAYS-ON' OPTION.
- C. PER TITLE-24, ALL RECESSED LUMINARIES IN INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.
- D. PER TITLE-24, ALL OUTDOOR LIGHTING IS TO BE H.E. LIGHTING UNLESS LIGHTING IS:
1- CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL;
2- OF LANDSCAPE LIGHTING (NOT ATTACHED TO BUILDING);
3-IN OR AROUND SWIMMING POOLS OR WATER FEATURES.
- E. PER SFBC 1205.3, IF A ROOM INTENDED FOR HUMAN OCCUPANCY DOES NOT HAVE MIN. NET GLAZED AREA FOR NATURAL LIGHT, PROVIDE MIN. ARTIFICIAL LIGHT OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 IN. AFF.
- F. PER SFBC 1205.4, STAIRWAYS WITHIN DWELLING UNITS & EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE WITH CONTROLS PER SFEC.
- MECHANICAL NOTES:
- M1 - PROVIDE 200 SQ. IN. NET OPENING FOR GARAGE VENTILATION PER SFBC 406.1.3 (UP TO 1,000 SF)
- M2 - PER SFBC 406.1.4 (2), DUCTING IN PRIVATE GARAGE & DUCTS PENETRATING THE WALLS OR CEILING. SEPARATING THE DWELLING UNIT FROM THE GARAGE TO BE MIN. 0.019 IN. SHEET METAL & HAVE NO OPENINGS INTO THE GARAGE.
- M3 - PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR W.H. PER SFPC-507. (FURNACE PER SFMC-CH.7). ANY APPLIANCE WITH FLAME SOURCE TO BE MOUNTED MIN. 18" ABOVE FLOOR IN GARAGE PER SFMC-308 (W.H. PER SFPC-510.1).
- M4 - PROVIDE APPROVED SEISMIC STRAPS W.H. (OR WATER STORAGE TANKS) TO WALL PER SFPC-510.5
- M5 - TERMINATE GAS VENT PER SFMC CHAPTER 8.
- M6 - DRYER EXHAUST DUCT: 14'-0" MAX. WITH 2 - 90° PER SFMC-504.3 OR PER MANUF. - VENT TO EXT. PROVIDE BOOSTER FAN PER CODE IF REQ'D (FANTECH # RVF4XL EXT. MTD FAN OR EQ.)
- M7 - PROVIDE 100 SQ. IN. NET OPENING FOR DRYER MAKE-UP AIR PER SFMC-504.3.2
- M8 - PER SFBC 1203.4.2.1, BATHROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, OR SIM. BATHING FIXTURES TO BE MECH. VENTILATED PER SFMC.
- M9 - TERMINATE ALL ENVIRONMENTAL AIR EXHAUST DUCTS (KITCHEN, RANGE HOOD, BATHROOM FAN, DRYER) MIN. 3 FT. FROM ANY OPENING OR PROPERTY LINE PER SFMC 504. PROVIDE BACK DRAFT DAMPER (B.D.D.)
- M10 - PER SFMC TABLE 4-4, PROVIDE EXHAUST FAN (MIN. 50 CFM).
- M11 - PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS AT SHOWERS AND TUBS/SHOWERS PER SFPC.
- M12 - PROVIDE MECHANICAL VENTILATION PER SFMC CH. 4 & TABLE 4-1
- M13 - PROVIDE FIREPLACE VENT/FLUE PER MANUFACTURER & SFMC.
- CODE NOTES:
1. PER CBC 907.2.10.1.2, PROVIDE HARD WIRED SMOKE DETECTORS ON EVERY FLOOR AND IN EVERY SLEEPING ROOM AND HALLWAY OUTSIDE OF SLEEPING ROOMS.
2. PER CBC TABLE 602, PROVIDE ON HOUR RATED STRUCTURE EVERYWHERE WITHIN 5 FEET OF AND PARALLEL TO THE PROPERTY LINE.
3. PER CBC 406.1.4 PROVIDE GWB ASSEMBLIES BETWEEN PRIVATE GARAGE AND HABITABLE ROOMS, (MIN. 1/2" GWB BETWEEN THE DWELLING & ATTIC AREA; GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE 'X' GWB OR EQ.).
4. PROVIDE MIN. 1 EMERGENCY ESCAPE & RESCUE WINDOW PER CBC 1026 AT ALL SLEEPING ROOMS.
- GENERAL PLUMBING NOTES:
- A. TOILET SHALL BE 1.6 GALLONS PER FLUSH MAX. CPC 402.2
- B. 2007 CPC 407.6 PROVIDE MIN. 30" CLEAR WIDTH & 24" IN FRONT @ METER CLOSETS PER CPC407.6
- C. SHOWERS & TUB SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS OF THE PRESSURE BALANCE TYPE OR THE THERMOSTATIC MIXING VALVE TYPE PER CPC 418.
- D. PRESSURE ABSORBING DEVICE REQ'D ON WATER LINE CLOSE TO QUICK ACTING VALVES.



AERIAL VIEW



SITE LOCATION MAP

SHEET INDEX

A0.1 -	TITLE SHEET, DRAWING INDEX, GENERAL INFO
A0.2 -	EXISTING SITE PLAN & EXISTING RENDERINGS
A0.3 -	PROPOSED SITE PLAN & PROPOSED RENDERINGS
A0.4 -	NEIGHBORHOOD OUTREACH & SUPPORT LETTERS
A1.1 - A1.2	EXISTING FLOOR PLANS
A2.1 - A2.3	PROPOSED FLOOR PLANS
A3.1 -	EXISTING FRONT ELEVATION3
A3.2 -	PROPOSED FRONT ELEVATION
A3.3 -	PROPOSED NORTH ELEVATION
	PROPOSED EAST ELEVATION
A3.4 -	PROPOSED WEST ELEVATION
A3.5 -	PROPOSED BUILDING SECTION
A4.1 -	ARCHITECTURAL BUILDING SECTION
A4.2 -	DOOR & WINDOW SCHEDULE

NOTE:
WORK ON THESE PLANS CAN BE CARRIED OUT IN ACCORDANCE WITH THE FINDINGS OF BPA HEARING 11-098. PER TENANTS WISHES, THEY MAY REMAIN IN THE BUILDING WHILE THE WORK IS BEING PERFORMED.


NOTE:
THE FOLLOWING WORK HAS BEEN SUBMITTED AND APPROVED UNDER THE ASSOCIATED PERMITS BELOW:

GARAGE LEVEL WORK:
PA# 2011-0727-1170

FRONT ENTRY STAIR REPLACEMENT IN KIND:
PA# 2011-1215-0753

FIRE RATED WALL AT EASTERN PROPERTY LINE:
PA# 2012-0203-3472

	BUILDING ELEVATION TAG		BUILDING SECTION TAG
	DETAIL TAG		
	WINDOW / STOREFRONT TAG		DOOR TAG
	INT. WALL TYPE TAG (NUMBERS)		KEY NOTE
	LOWER CASE LETTER DENOTES SUBCATEGORY		
	EXT. WALL TYPE TAG (LETTERS)		
	PROPERTY LINE		2-HOUR WALL
			1-HOUR WALL

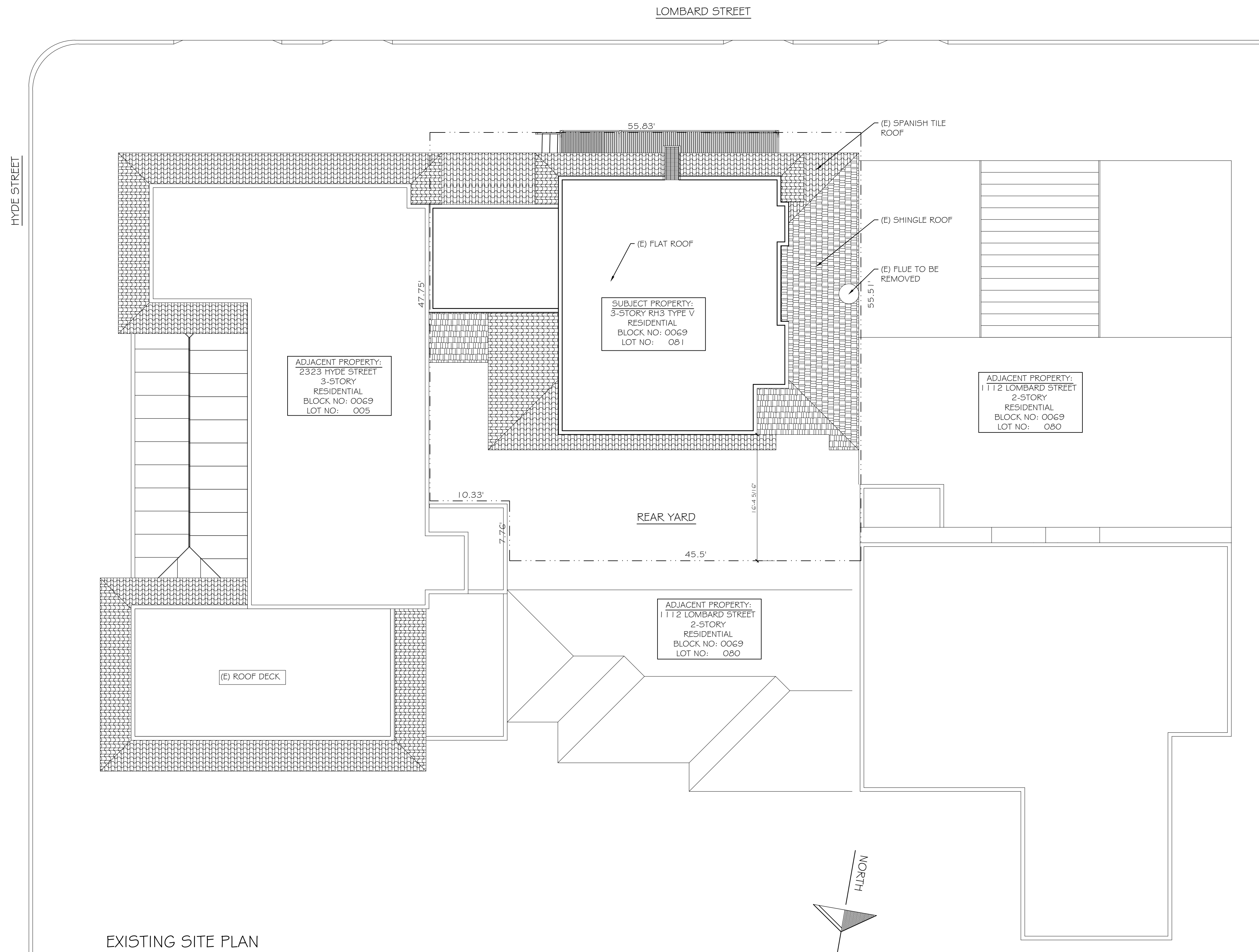
Revisions	By
 patter / donzelli design 508 Hancock St. San Francisco, CA 94114 (415) 552-0802	

TITLE SHEET AND PROJECT INFORMATION

1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081

Date:	05-22-13
Scale:	AS NOTED
Drawn:	NP
Sheet:	

A-0.1



EXISTING SITE PLAN
SCALE: 1/8"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)



EXISTING FRONT VIEW



EXISTING STREET VIEW

EXISTING SITE PLAN AND RENDERINGS

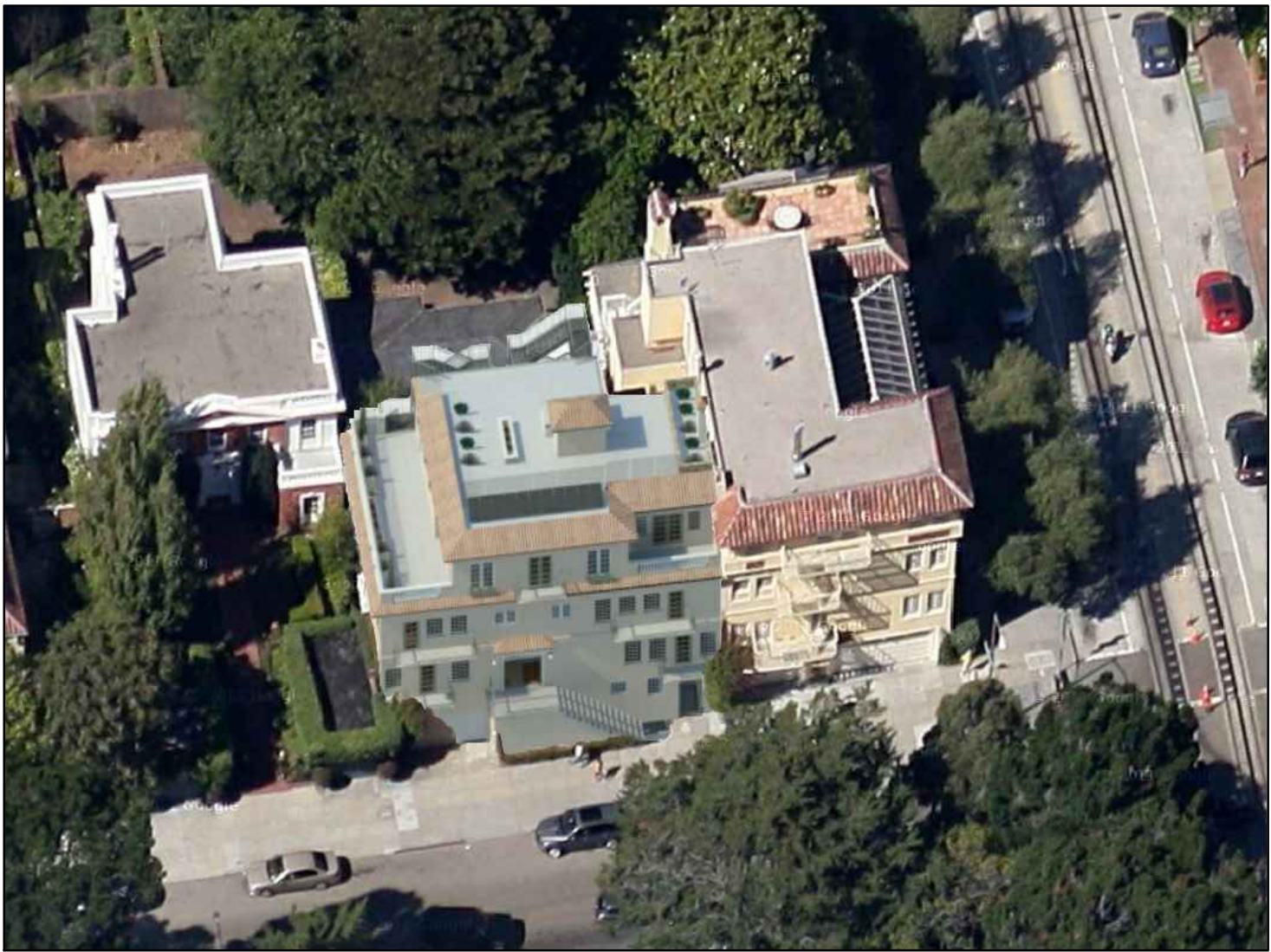
1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081



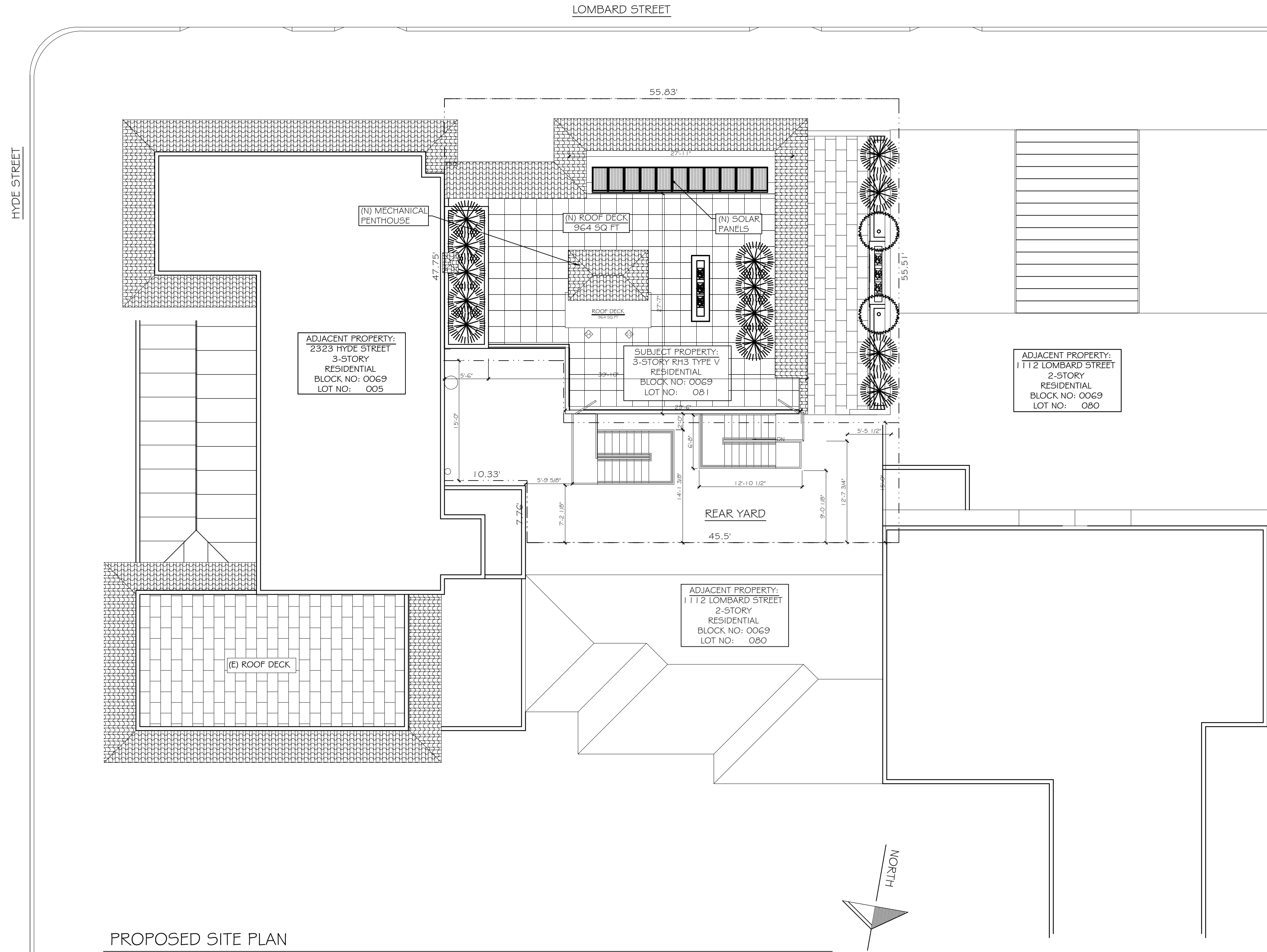
PROPOSED REAR VIEW



PROPOSED BIRDS-EYE VIEW



PROPOSED BIRDS EYE VIEW FROM FRONT




PROPOSED SITE PLAN
SCALE: 1/8"= 1'-0"
(HALF NOTED SCALE ON 1 & 8 SHEETS)



PROPOSED FRONT VIEW



PROPOSED STREET VIEW

Revisions	By
REVISION PER PLANNING COMMENTS	
 508 Hancock St. San Francisco, CA 94114 (415) 552-0802	

PROPOSED SITE PLAN AND RENDERINGS

1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081

Date:	05-22-13
Scale:	AS NOTED
Drawn:	NP

Sheet:
A-0.3

A-0.4

LOMBARD STREET

(E) WALL TO BE REMOVED
(N) 1-HR RATED STUD WALL
(N) 2-HR RATED STUD WALL
(N) STUD WALL

SEE SHEET A4.2 FOR WINDOWS
AND DOOR SCHEDULES

Revisions By

REVISION PER PLANNING
COMMENTS

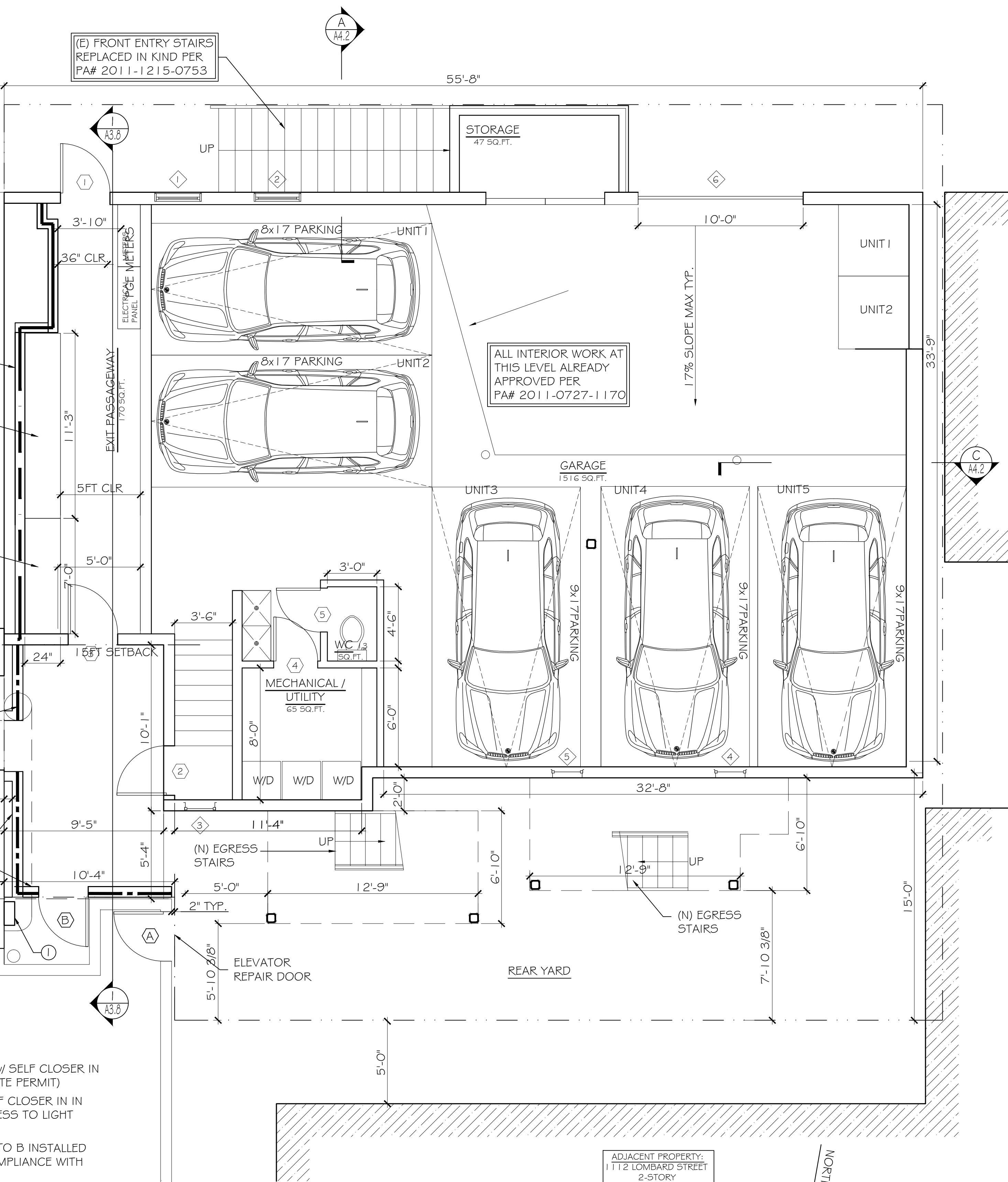
pd
patter / donzelli design
508 Hancock St.
San Francisco, CA 94114
(415) 552-0802

PROPOSED GROUND FLOOR PLAN

1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081

Date: 05-22-13
Scale: AS NOTED
Drawn: NP
Sheet:

A-2.1



PROPOSED GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)

- ① (E) PL WINDOW
TO BE INFILLED w/ 1-HR RATED
CONSTRUCTION BY ADJACENT
BUILDING OWNER PER SFBC
AB009
- ② (E) FLUE TO BE RELOCATED
TO ADJACENT PROPERTY BY
ADJACENT BUILDING
OWNER
(SEPARATE PERMIT)

(N) 1-HR RATED STUD WALL

(N) 2-HR RATED STUD WALL

(N) STUD WALL

SEE SHEET A4.2 FOR WINDOWS
AND DOOR SCHEDULES

Revisions By

REVISION PER PLANNING
COMMENTS

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San Francisco, CA 94114
(415) 552-0802

PROPOSED FIRST FLOOR PLAN
PROPOSED SECOND FLOOR PLAN

1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081

Date: 05-22-13

Scale: AS NOTED

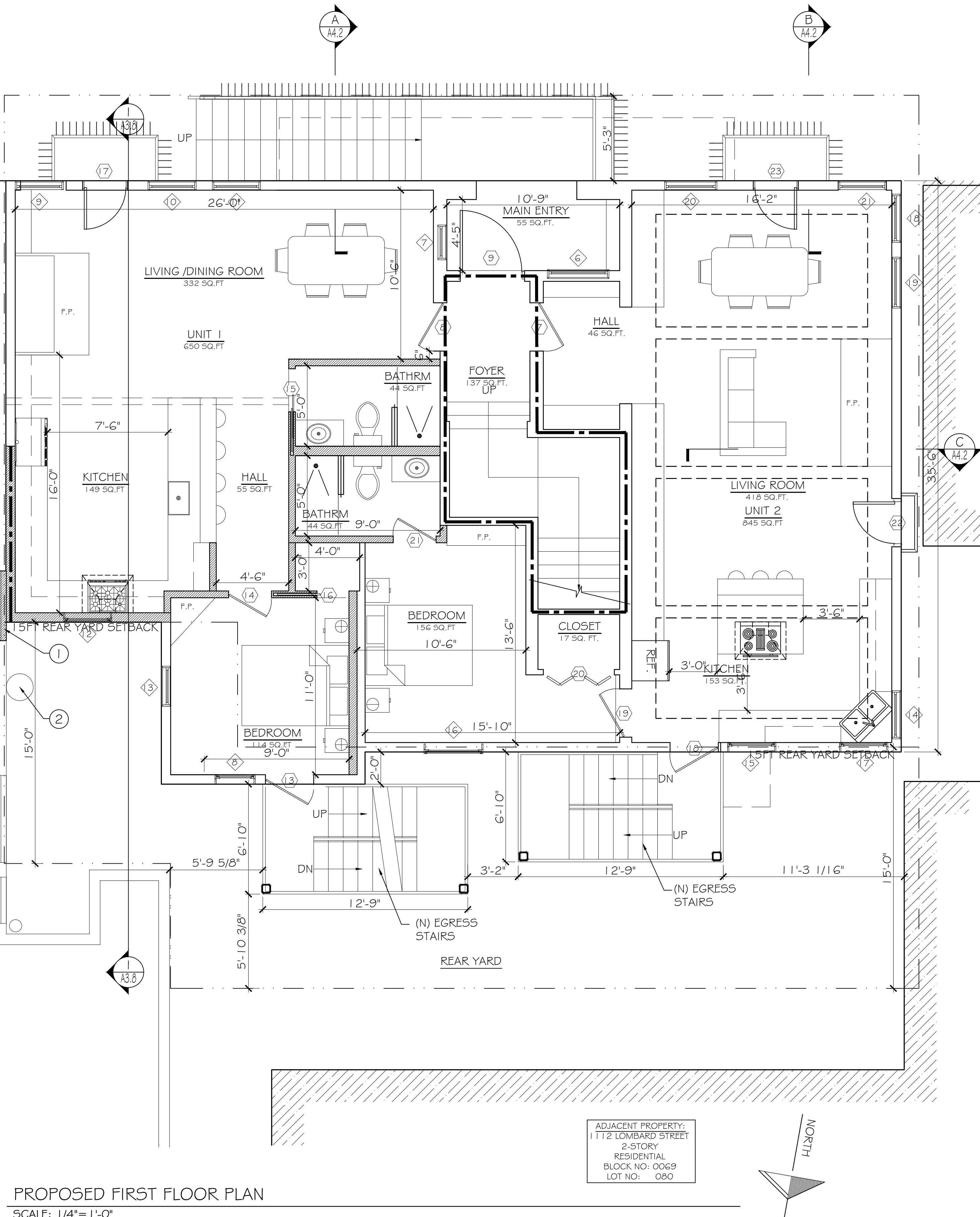
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Sheet:

A-2.2

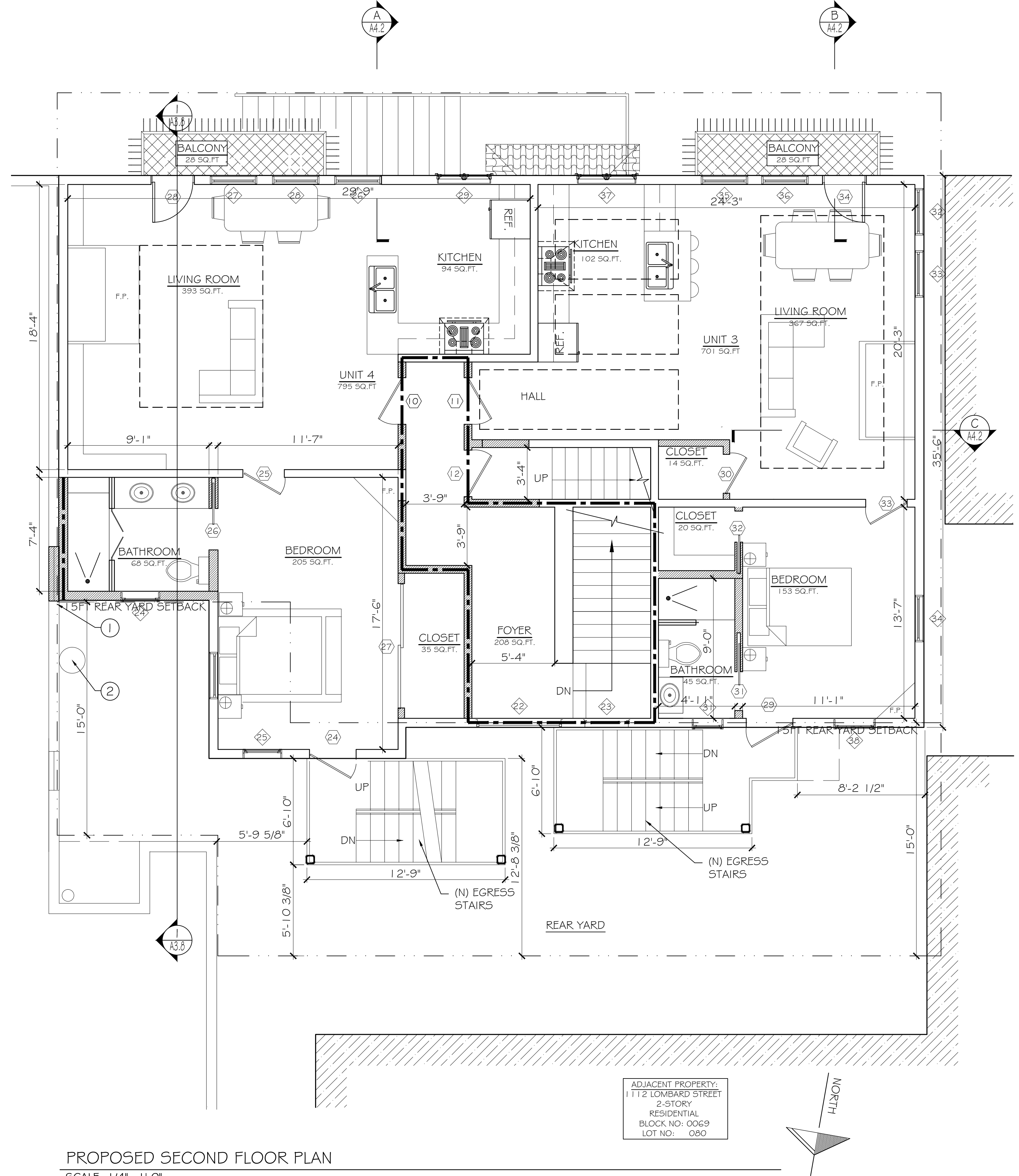
PROPOSED FIRST FLOOR PLAN

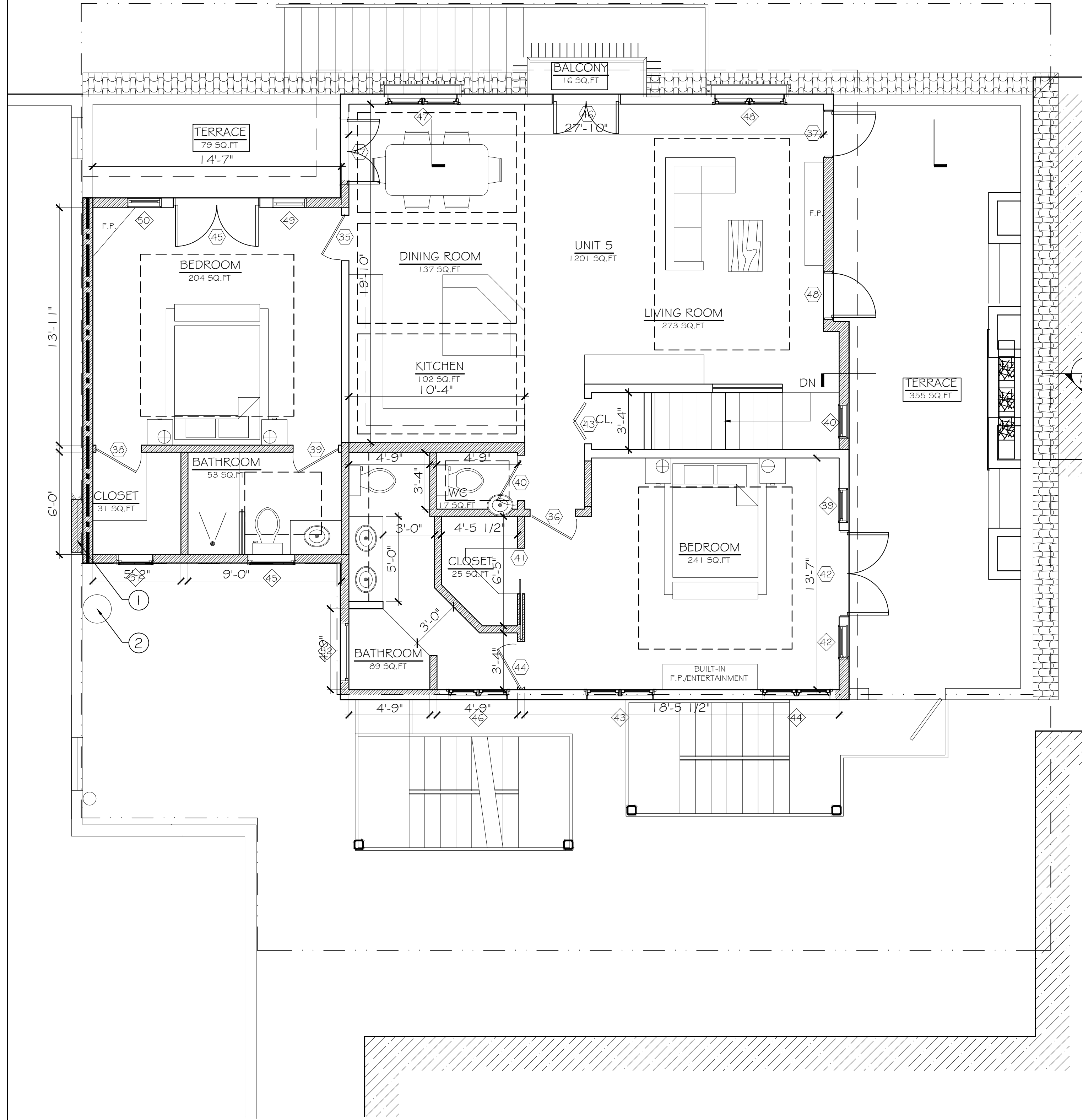
SCALE: 1/4"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)



PROPOSED SECOND FLOOR PLAN

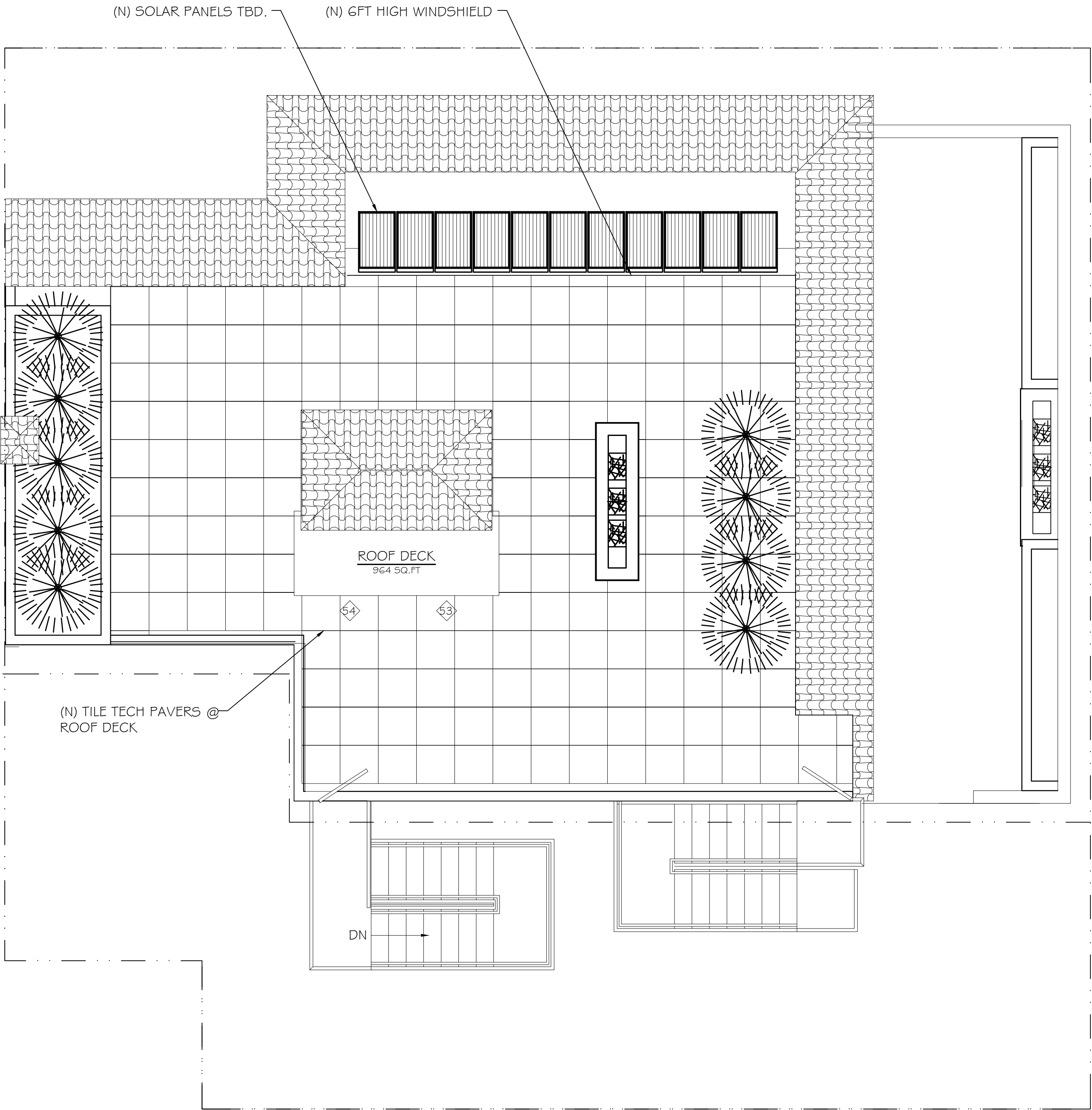
SCALE: 1/4"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)





PROPOSED THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)



PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)

- ① (E) PL WINDOW
TO BE INFILLED w/ 1-HR RATED
CONSTRUCTION BY ADJACENT
BUILDING OWNER PER SFBC
AB009
- ② (E) FLUE TO BE RELOCATED
TO ADJACENT PROPERTY BY
ADJACENT BUILDING
OWNER
(SEPARATE PERMIT)

(N) 1-HR RATED STUD WALL

(N) 2-HR RATED STUD WALL

(N) STUD WALL

SEE SHEET A4.2 FOR WINDOWS
AND DOOR SCHEDULES

Revisions By

REVISION PER PLANNING
COMMENTS

pd
patter / donzelli design
508 Hancock St.
San Francisco, CA 94114
(415) 552-0802

PROPOSED THIRD FLOOR PLAN
PROPOSED ROOF DECK PLAN

1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081

Date: 05-22-13

Scale: AS NOTED

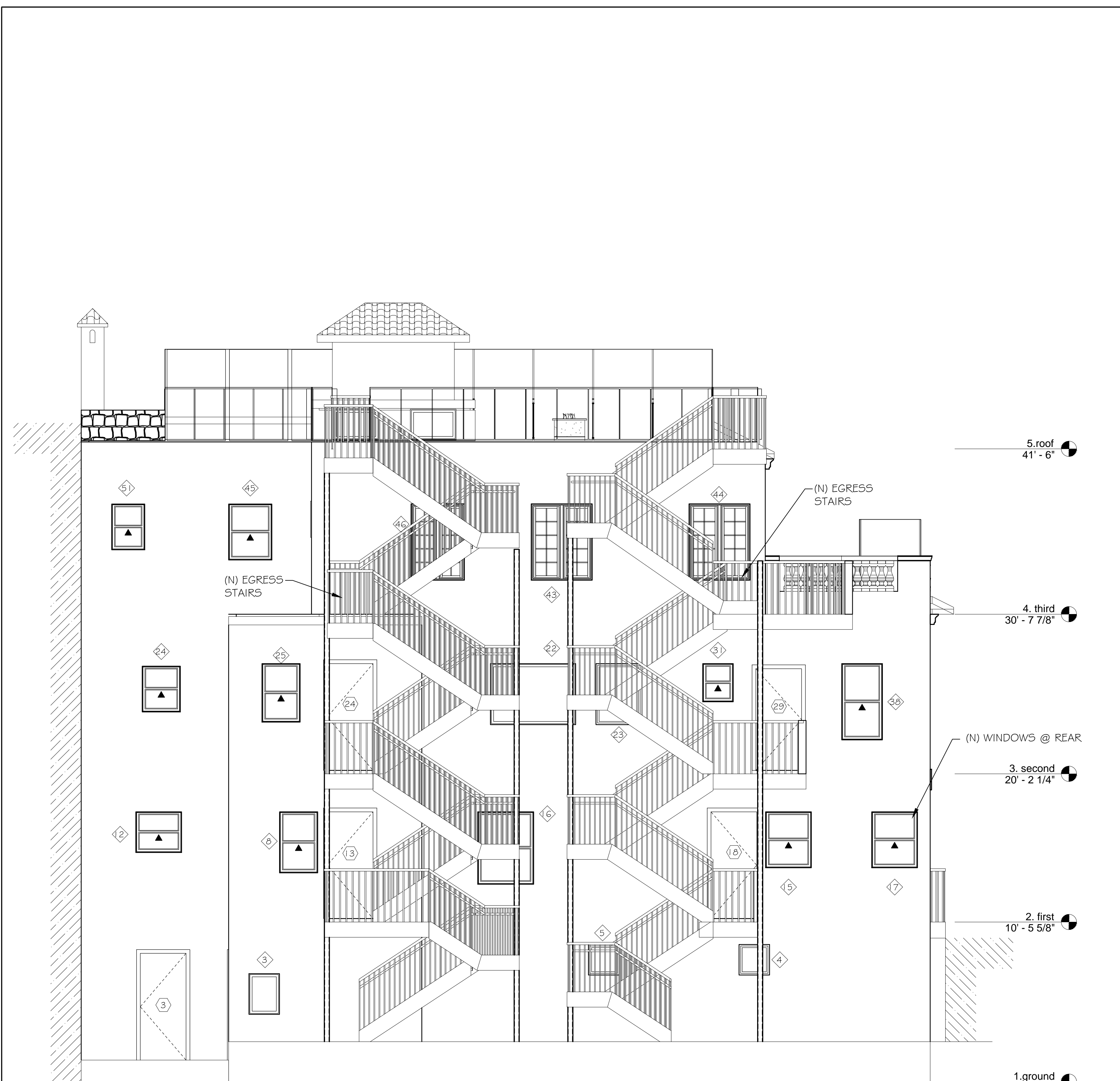
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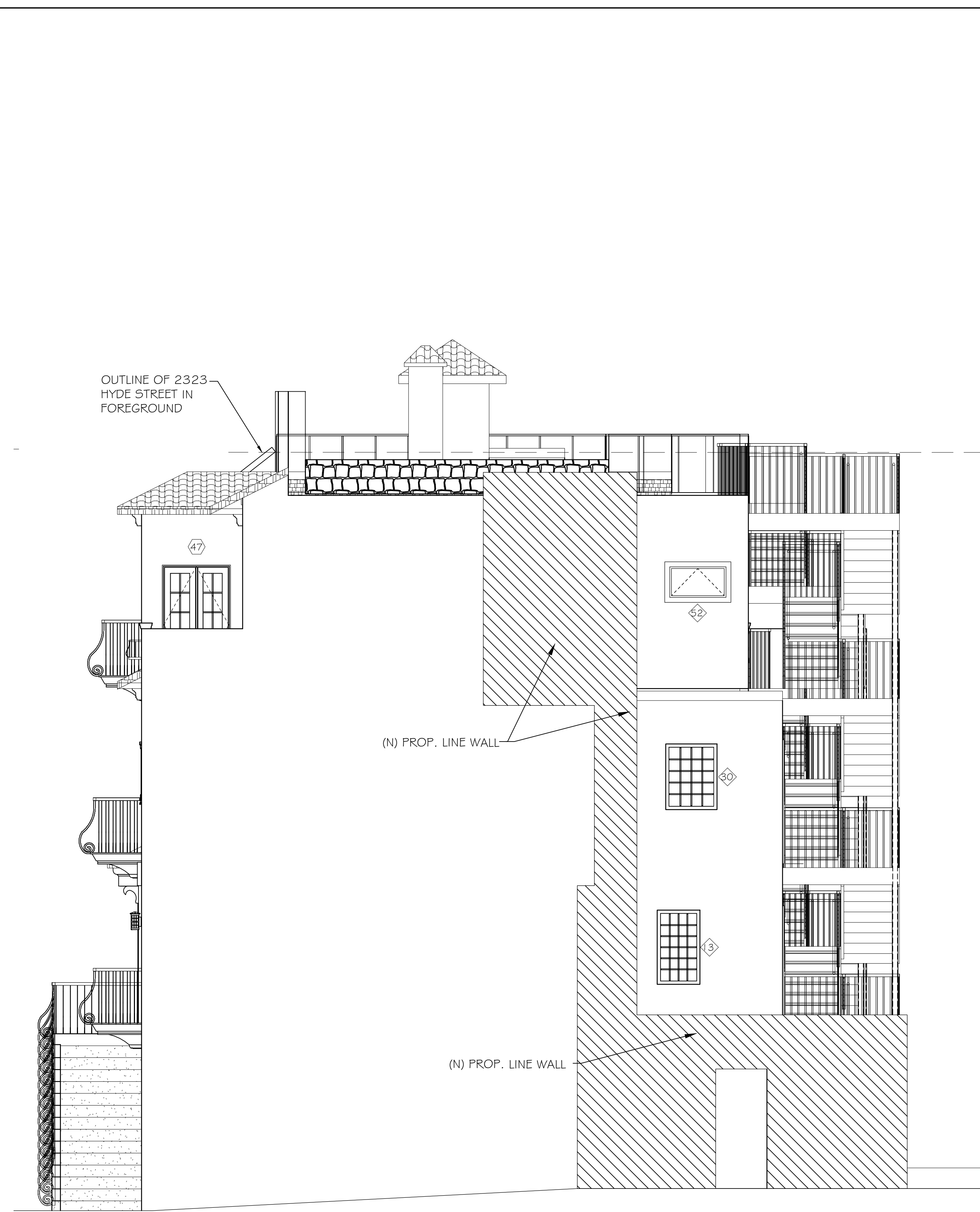
A-2.3



Revisions	By
<div><div>pd</div><div>patter / donzelli design</div><div>50-8 Hancock St.</div><div>San Francisco, CA 94114</div><div>(415) 552-0802</div></div>	
EXISTING ELEVATIONS	
1100 LOMBARD STREET (INTERIOR REMODEL & REAR ADDITION) SAN FRANCISCO, CA BLOCK #0069, LOT #081	
Date:	05-22-13
Scale:	AS NOTED
Drawn:	NP
Sheet:	A-3.1

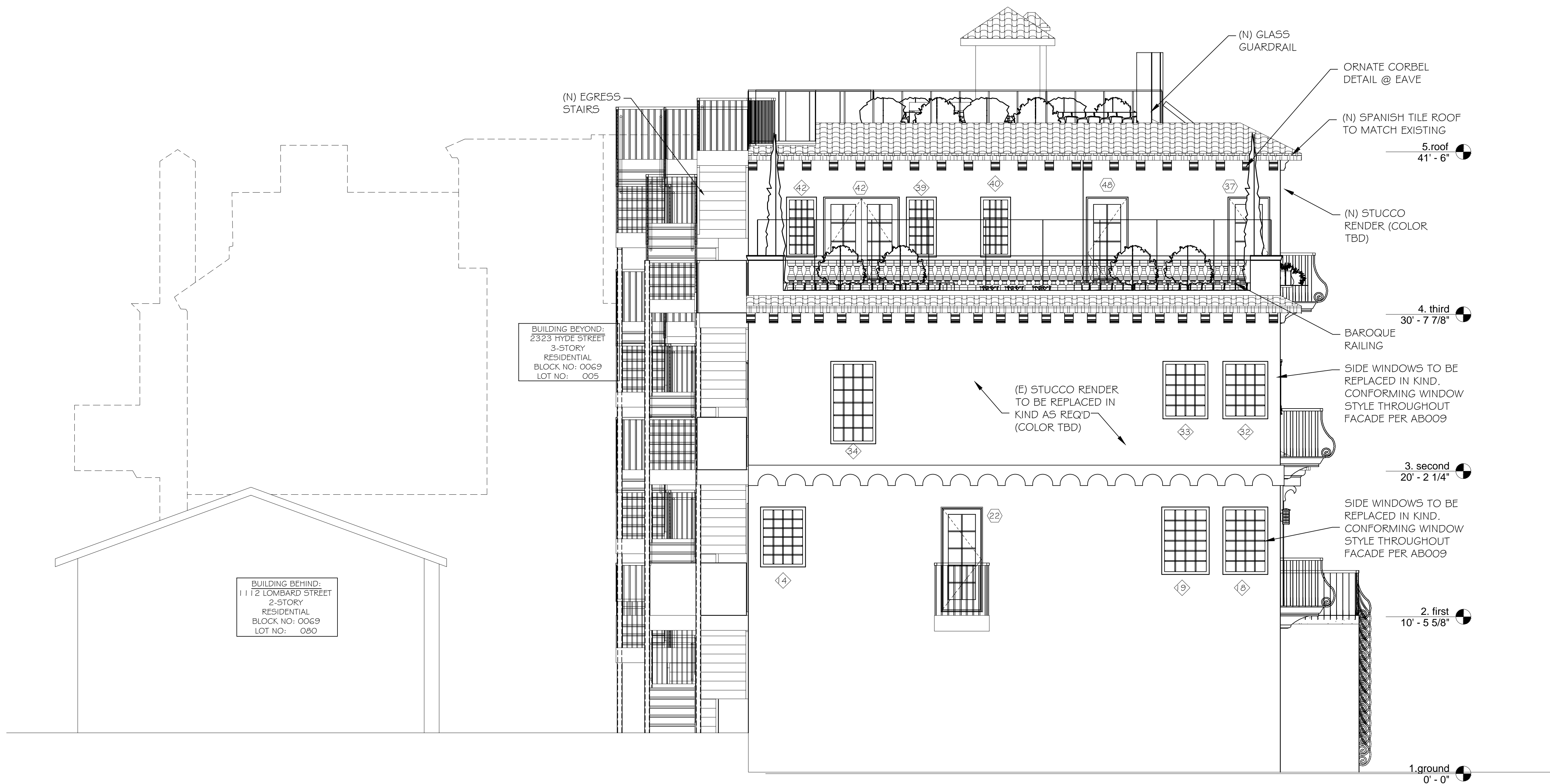


PROPOSED NORTH ELEVATION (REAR)
SCALE: 1/4"= 1'-0"



PROPOSED EAST PROPERTY LINE ELEVATION
SCALE: 1/4"= 1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)

Revisions	By
<div><div>pd</div><div>patter / donzelli design</div><div>50-8 Hancock St.</div><div>San Francisco, CA 94114</div><div>(415) 552-0802</div></div>	
PROPOSED REAR ELEVATION PROPOSED EAST ELEVATION	
1100 LOMBARD STREET (INTERIOR REMODEL & REAR ADDITION) SAN FRANCISCO, CA BLOCK #0069, LOT #081	
Date:	05-22-13
Scale:	AS NOTED
Drawn:	NP
Sheet:	A-3.3



PROPOSED WEST PROPERTY LINE ELEVATION

SCALE: 1/4"=1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)

Revisions By

REVISION PER PLANNING
COMMENTS

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50-8 Hancock St.
San Francisco, CA 94114
(415) 552-0802

PROPOSED WEST ELEVATION

1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081

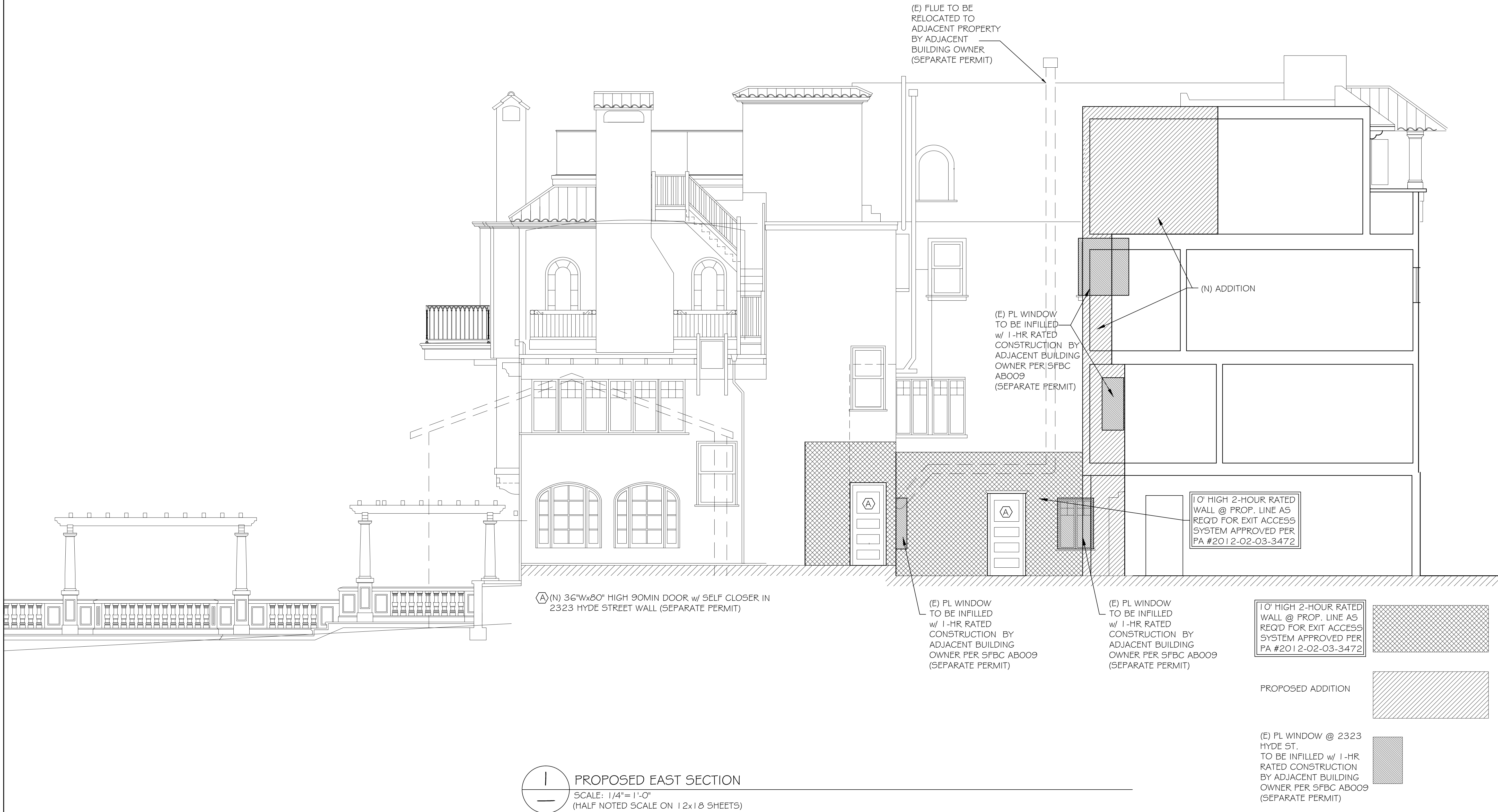
Date: 05-22-13

Scale: AS NOTED

Drawn: NP

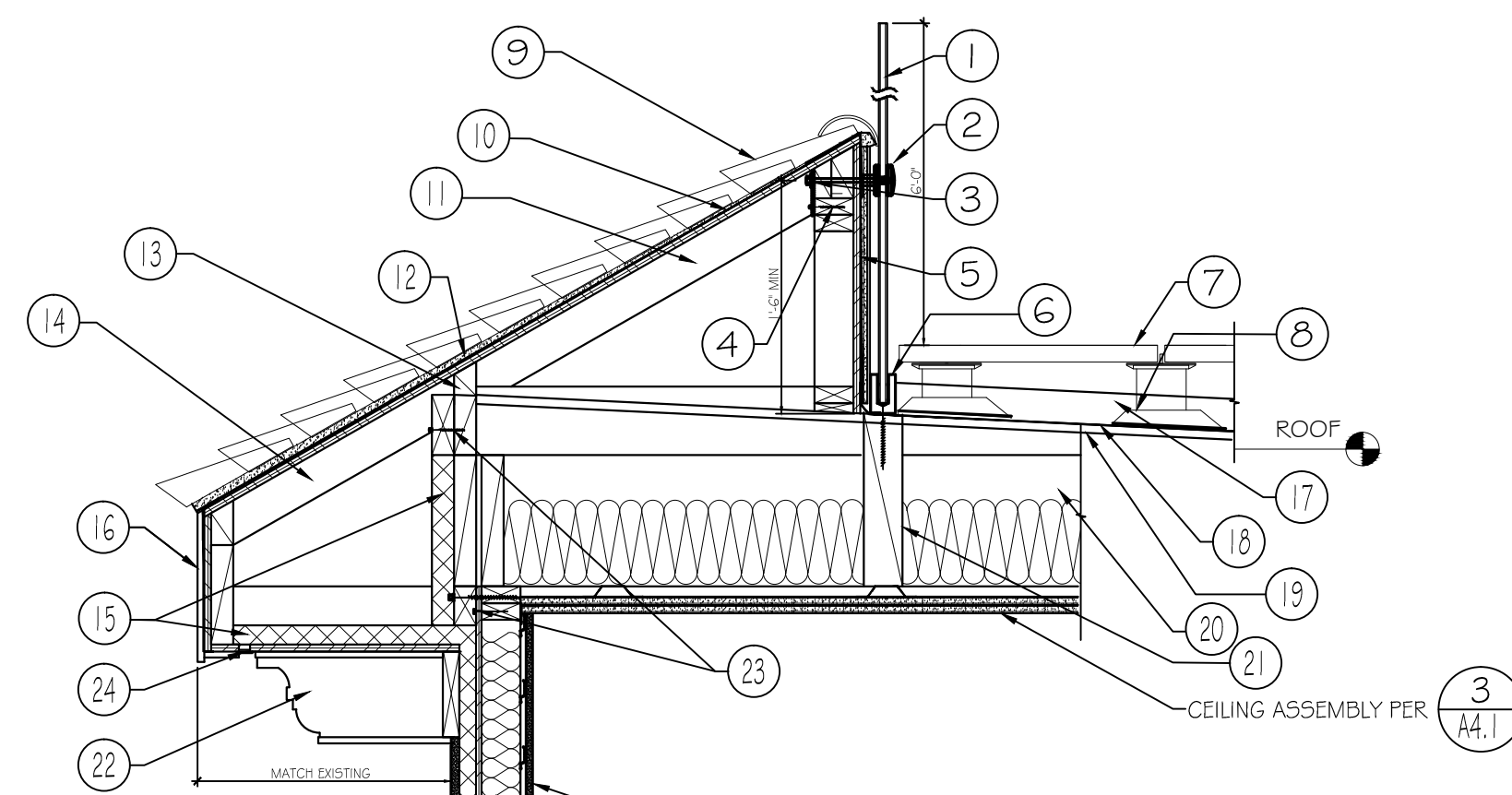
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A-3.4



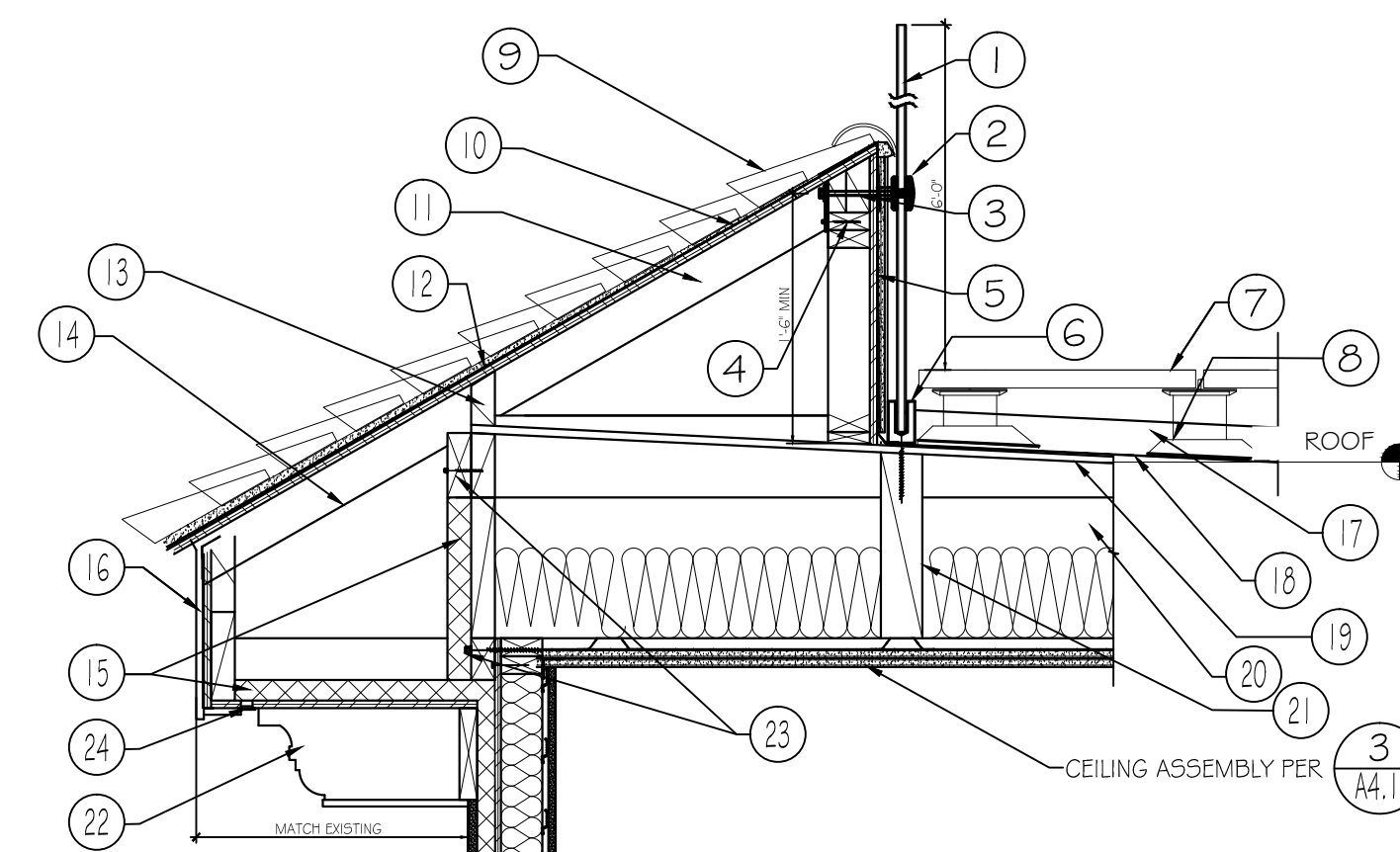
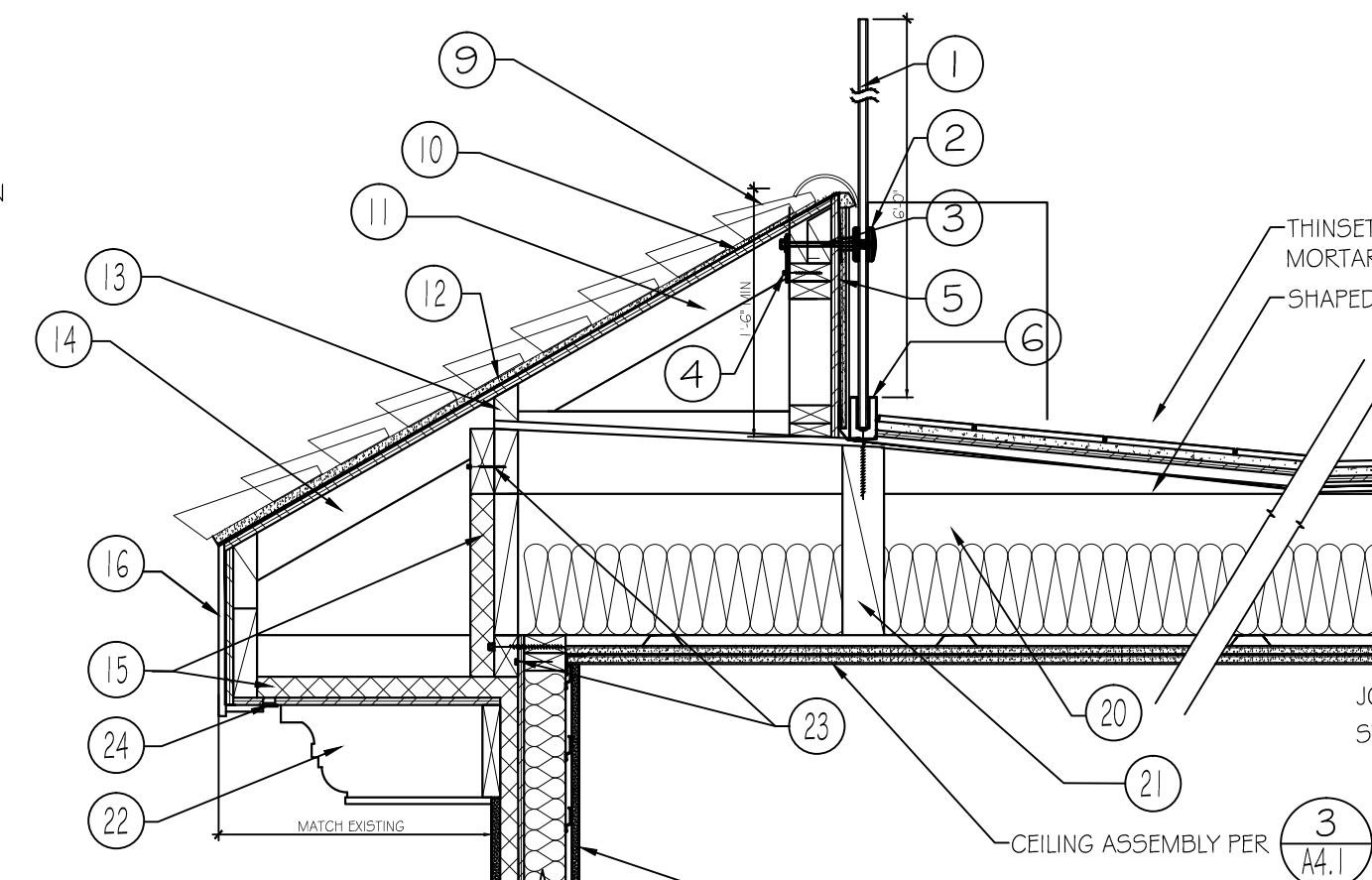
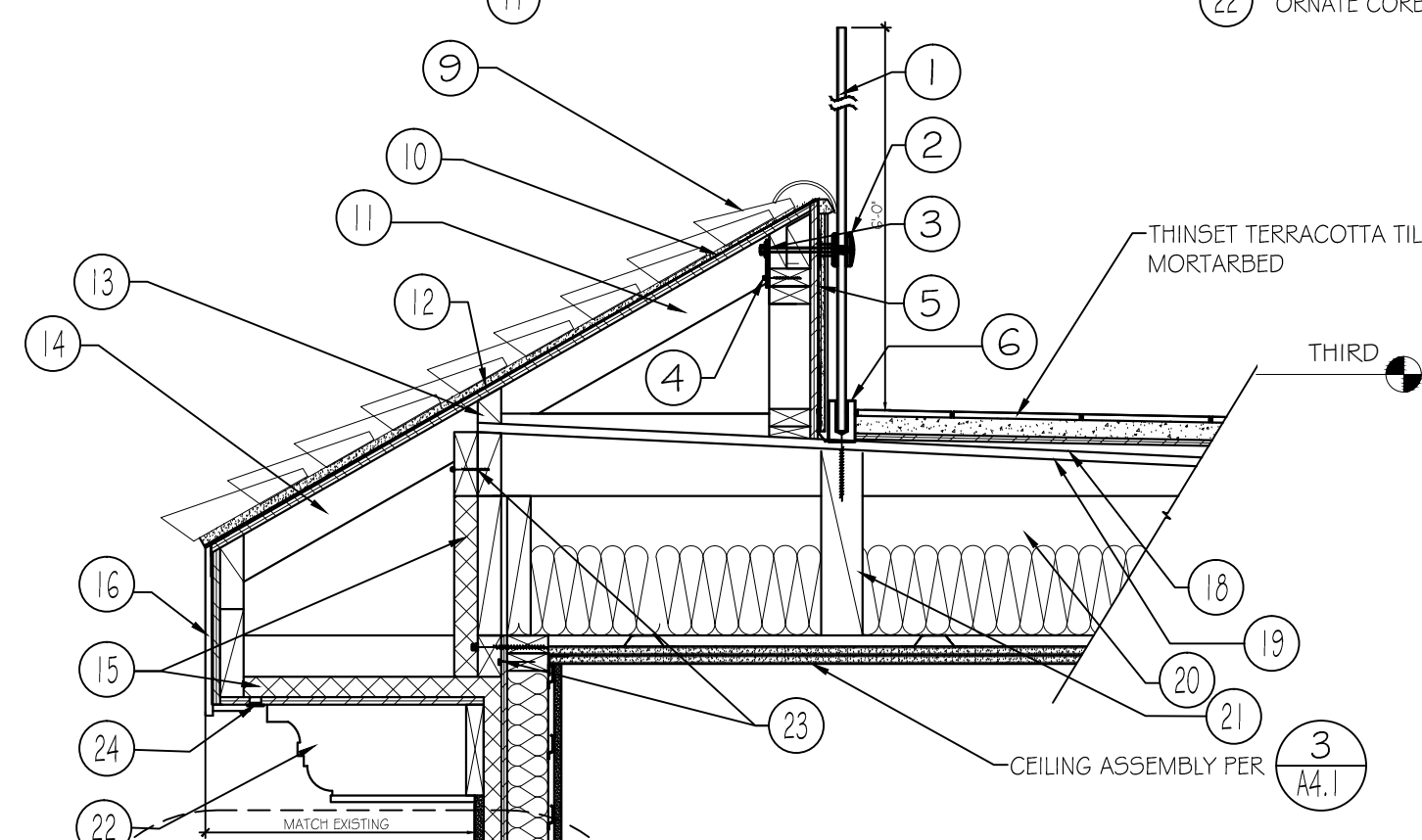
I PROPOSED EAST SECTION
SCALE: 1/4" = 1'-0"
(HALF NOTED SCALE ON 12x18 SHEETS)

Revisions	By
REVISION PER PLANNING COMMENTS	
<div><div><div>pd</div><div>patter / donzelli design</div><div>50-B Hancock St.</div><div>San Francisco, CA 94114</div><div>(415) 552-0802</div></div></div>	
PROPOSEDBUILDING SECTION	
1100 LOMBARD STREET (INTERIOR REMODEL & REAR ADDITION) SAN FRANCISCO, CA BLOCK #0069, LOT #081	
Date:	05-22-13
Scale:	AS NOTED
Drawn:	NP
Sheet:	A-3.5



SHEET A-4.1 LEGEND:

- | | | |
|--------------------------------------------------------------------|----------------------------------------------------|-------------------------------------------------------------------------|
| 1 5/8" THICK LAMINATED & TEMPERED GLASS WINDSHIELD BY MANUFACTURER | 12 1/4" @ 4" C.C. TYP. | 23 3x4 PT LEDGER w/ 5D5 SCREWS @ 9" C.C. |
| 2 CONNECTOR CLIP BY MANUFACTURER | 13 BLKG @ 1" DIA VENT HOLES @ 8" C.C. | 24 1/2" PT PLWD w/ 3/4" CONT. VENT SLOT @ SOFFIT |
| 3 5/8" THRU BOLT TO 48" x 4x1/4" STRAP | 14 MATCH (E) ROOF SLOPE (8:12V/H) | 25 5/8" TYPE X GYPBOARD ON RC1 CHANNEL @ EXTERIOR WALL |
| 4 5D5 SCREWS @ 6" C.C. | 15 1 1/2" FOIL BACKED POLY ISO EXTERIOR INSULATION | 26 FILL STUD BAY TIGHT w/ SPRAY-ON INSULATION |
| 5 BITUTHENE & FINISH OVER 1/2" PT PLWD | 16 DRIP BATTEN & FASCIA | 27 1/2" PLYWOOD FURRING GLUED & NAILED TO CONC. (V.I.F. w/ INSTALLER) |
| 6 BASE CONNECTION PER MANUFACTURER | 17 ARMSTRONG FOAM ROOF SLOPE TO DRAIN, 60 PSI MIN. | 28 1 1/2" L.W. CONC. & LEVELING COMPOUND & BONDING AGENT |
| 7 TILE TECH PAVERS | 18 HOT MOP & BITUTHENE | 29 (N) JOISTS SISTERED TO (E) JOISTS, 5.5.D. |
| 8 LEVELING STOOLS, CAULK SCREWS | 19 (E) TAG SHEATHING | 30 1/2" GYPSUM BOARDS ON RC1 FURRING CHANNEL |
| 9 SPANISH TILE ON MORTAR BED TO MATCH (E) ROOF | 20 JOIST 55D. | 31 3/4" STUCCO ON MIN. 3/8" RAIN SCREEN & VAPOR BARRIER BY DUPONT TYVEK |
| 10 BITUTHENE & HOT MOP OVER 1/2" PT PLWD | 21 4x BLKG w/ L70 CLIP UNDER WINDSHIELD | 32 WATERPROOFING MEMBRANE, S.A.D. |
| 11 2x4 RAFTERS @ 16" C.C. NOTCH AS REQD | 22 ORNATE CORBEL TBD | |

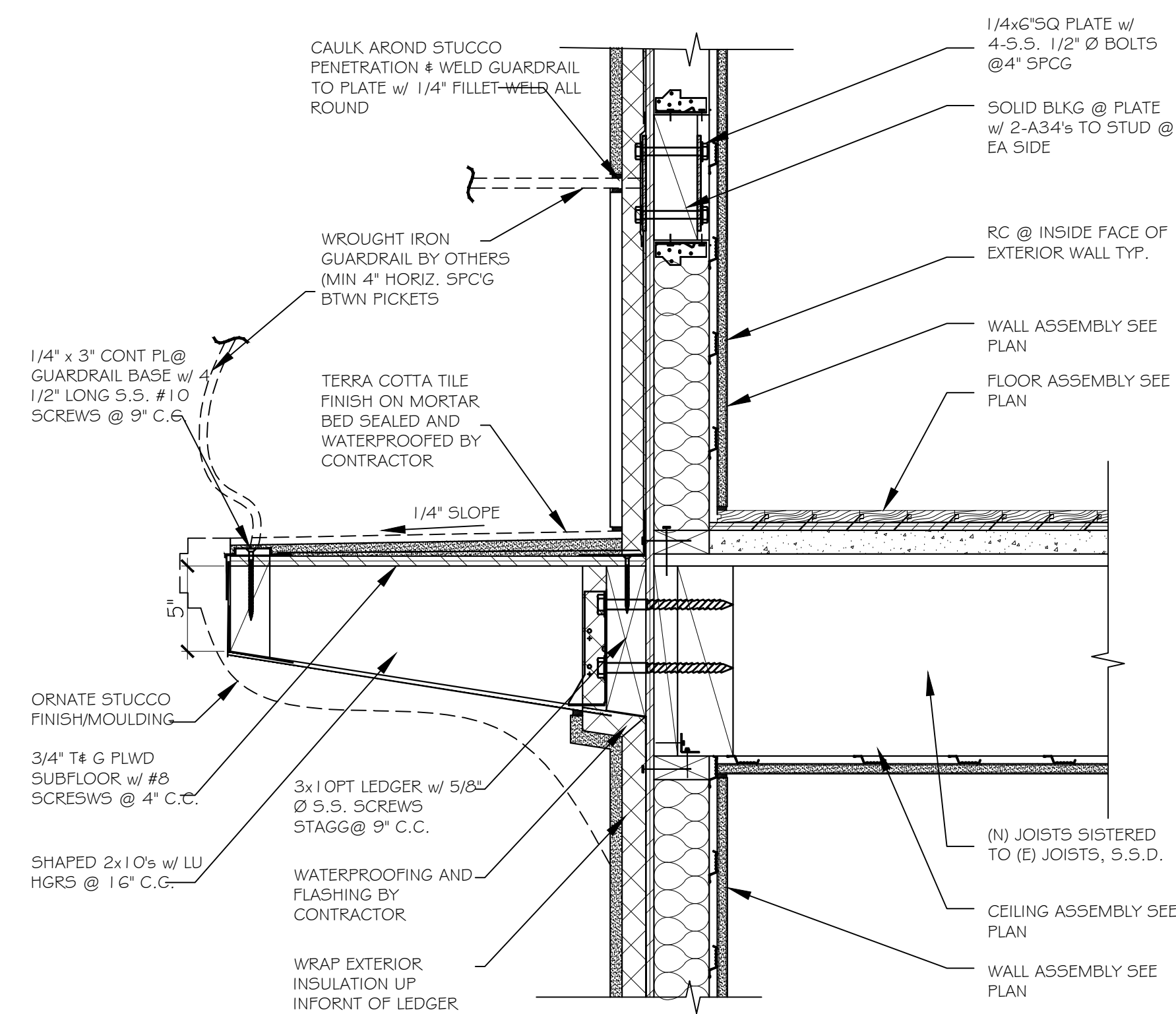


A SECTION THRU SOUTH (FRONT) WALL
SCALE: 3/4" = 1'-0"

B SECTION THRU SOUTH (FRONT) WALL
SCALE: 3/4" = 1'-0"

C SECTION THRU WEST WALL
SCALE: 3/4" = 1'-0"

I BALCONY DETAIL
SCALE: 1 1/2" = 1'-0"



NOTE:
ALL STEEL EXPOSED TO WEATHER SHALL BE STAINLESS STEEL (S.S.) OR GALVANIZED. ALL CONNECTORS SUCH AS SCREWS AND BOLTS SHALL BE S.S. AND WHERE WELDS ARE EXPOSED TO WEATHER THEY SHALL BE COATED WITH A ZINC RICH PAINT. STUCCO SHALL BE BACKED WITH A RAINSCREEN & SMOOTH TEXTURE, FINISHED AND SEALED PER MANUFACTURERS DETAILS AND

Revisions By

REVISION PER PLANNING COMMENTS

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patter / donzelli design
508 Hancock St.
San Francisco, CA 94114
(415) 552-0802

ARCHITECTURAL WALL SECTIONS

1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081

Date: 05-22-13

Scale: AS NOTED

Drawn: NP

Sheet:

A-4.1

Door Schedule								
Mark	Level	Location	Unit Number	Width	Height	Type	Fire Rating	Comments
1	GROUND FLR.			3' - 6"	7' - 0"	Gate	-	
2	GROUND FLR.	GARAGE	GROUND FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
3	GROUND FLR.	EXIT PASSAGEWAY	GROUND FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
4	GROUND FLR.	MECHANICAL / UTILITY	GROUND FLOOR	2' - 6"	7' - 0"	Single-Flush		
5	GROUND FLR.	WC	GROUND FLOOR	2' - 6"	7' - 0"	Single-Flush		
6	GROUND FLR.	GARAGE	GROUND FLOOR	10' - 0"	6' - 6"	Overhead-Sectional		Steel Overhead door
7	F.F. FIRST	FOYER	FIRST FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
8	F.F. FIRST	FOYER	FIRST FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
9	F.F. FIRST	FOYER	FIRST FLOOR	4' - 0"	7' - 0"	Marvin-Clad_Ultimate	-	
10	F.F. SECOND	FOYER	SECOND FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
11	F.F. SECOND	FOYER	SECOND FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
12	F.F. SECOND	FOYER	SECOND FLOOR	3' - 0"	7' - 0"	Single-Flush	45 min.	Security Door with closer
13	F.F. FIRST	BEDROOM	UNIT 1	3' - 0"	7' - 0"	Single-Flush	45 min.	Steel framed w/ laminated glazing & security closer
14	F.F. FIRST	BEDROOM	UNIT 1	2' - 6"	6' - 8"	Single-Flush	-	
15	F.F. FIRST	LIVING / DINING ROOM	UNIT 1	2' - 6"	6' - 8"	Pocket Door		
16	F.F. FIRST	CL.	UNIT 1	2' - 6"	6' - 8"	Single-Flush		
17	F.F. FIRST	CL.	UNIT 1	2' - 6"	6' - 8"	Single-Flush		
18	F.F. FIRST	LIVING / DINING ROOM	UNIT 1	3' - 0"	7' - 0"	Marvin-Clad_Ultimate		
19	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	7' - 0"	Single-Flush	45 min.	Steel framed w/ laminated glazing & security closer
20	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	6' - 8"	Single-Flush	-	
21	F.F. FIRST	CLOSET	UNIT 2	4' - 0"	6' - 8"	Bifold-4 Panel	-	
22	F.F. FIRST	BEDROOM	UNIT 2	2' - 6"	6' - 8"	Single-Flush	-	
23	F.F. FIRST	BEDROOM	UNIT 2	2' - 6"	6' - 8"	Single-Flush	-	Wood framed w/ privacy glazing
24	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 0"	7' - 0"	Marvin-Clad_Ultimate		
25	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 0"	7' - 0"	Marvin-Clad_Ultimate		
26	F.F. SECOND	BEDROOM	UNIT 3	3' - 0"	7' - 0"	Single-Flush	45 min.	Steel framed w/ laminated glazing & security closer
27	F.F. SECOND	LIVING ROOM	UNIT 3	2' - 6"	6' - 8"	Single-Flush	-	
28	F.F. SECOND	BATHROOM	UNIT 3	2' - 6"	6' - 8"	Pocket Door	-	Wood framed w/ privacy glazing
29	F.F. SECOND	CLOSET	UNIT 3	8' - 0"	6' - 8"	Sliding-Closet	-	Aluminum w/ mirrors
30	F.F. SECOND	LIVING ROOM	UNIT 3	3' - 0"	7' - 0"	Marvin-Clad_Ultimate		
31	F.F. SECOND	BEDROOM	UNIT 4	3' - 0"	6' - 8"	Single-Flush	45 min.	Steel framed w/ laminated glazing & security closer
32	F.F. SECOND	CLOSET	UNIT 4	2' - 6"	6' - 8"	Single-Flush	-	
33	F.F. SECOND	BATHROOM	UNIT 4	2' - 6"	6' - 8"	Pocket Door	-	Wood framed w/ privacy glazing
34	F.F. SECOND	CLOSET	UNIT 4	2' - 6"	6' - 8"	Pocket Door	-	Wood framed w/ privacy glazing
35	F.F. SECOND	LIVING ROOM	UNIT 4	2' - 6"	6' - 8"	Single-Flush	-	
36	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"	7' - 0"	Marvin-Clad_Ultimate		
37	F.F. THIRD	BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush	-	
38	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush	-	
39	F.F. THIRD	DECK	UNIT 5	3' - 0"	7' - 6"	Marvin-Clad_Ultimate		
40	F.F. THIRD	BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush		
41	F.F. THIRD	BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush		
42	F.F. THIRD	W.C.	UNIT 5	2' - 6"	6' - 8"	Single-Flush		
43	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 6"	6' - 8"	Pocket Door		
44	F.F. THIRD	DECK	UNIT 5	5' - 0"	7' - 6"	Marvin-French_Door-Clad_Ultimate		
45	F.F. THIRD	CLOSET	UNIT 5	2' - 6"	7' - 0"	Bifold-2 Panel		
46	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 6"	6' - 8"	Single-Flush		
47	F.F. THIRD	DECK	UNIT 5	5' - 0"	7' - 0"	Marvin-French_Door-Clad_Ultimate		
48	F.F. THIRD	LIVING ROOM	UNIT 5	4' - 0"	7' - 6"	Marvin-French_Door-Clad_Ultimate		
49	F.F. THIRD	DINING	UNIT 5	4' - 0"	7' - 0"	Marvin-French_Door-Clad_Ultimate		
50	F.F. THIRD	LIVING ROOM	UNIT 5	3' - 0"	7' - 6"	Marvin-Clad_Ultimate		

DOOR SCHEDULE

Window Schedule									
MARK	LEVEL	LOCATION	UNIT NUMBER	WIDTH	HEIGHT	SILL HEIGHT	TYPE	FIRE RATING	COMMENTS
1	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 10"	3' - 8"	5' - 4"	Casement-Marvin	45 min.	non-operable w/ security bars/tempered
2	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 10"	2' - 7"	6' - 5"	Casement-Marvin	45 min.	non-operable w/ security bars/tempered
3	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 0"	2' - 8"	4' - 5"	Fixed		non-operable w/ security bars/tempered
4	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 0"	2' - 0"	7' - 0"	Fixed		
5	GROUND FLR.	GARAGE	GROUND FLOOR	2' - 0"	2' - 0"	7' - 0"	Fixed		
6	F.F. FIRST	MAIN ENTRY	FIRST FLOOR	3' - 10"	3' - 3"	3' - 9"	Casement-Marvin	45 min.	replace (E) in kind vif size add security bars
7	F.F. FIRST	MAIN ENTRY	FIRST FLOOR	2' - 2"	3' - 0"	4' - 3"	Casement-Marvin		
8	F.F. FIRST	BEDROOM	UNIT 1	2' - 6"	4' - 0"	3' - 0"	Single_Hung	45 min.	operable w/ frosted glass w/ fusible link
9	F.F. FIRST	LIVING / DINING ROOM	UNIT 1	3' - 0"	5' - 0"	2' - 0"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
10	F.F. FIRST	LIVING / DINING ROOM	UNIT 1	3' - 0"	5' - 0"	2' - 0"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
11	F.F. FIRST	LIVING / DINING ROOM	UNIT 1	3' - 0"	5' - 0"	2' - 0"	Casement-Marvin	-	replace (E) in kind vif size
12	F.F. FIRST	KITCHEN	UNIT 1	3' - 0"	2' - 8"	4' - 4"	Single_Hung		
13	F.F. FIRST	BEDROOM	UNIT 1	2' - 6"	4' - 4"	2' - 8"	Casement-Marvin		
14	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	4' - 0"	3' - 0"	Casement-Marvin	-	replace (E) in kind vif size
15	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	3' - 8"	3' - 4"	Single_Hung	45 min.	operable
16	F.F. FIRST	BEDROOM	UNIT 2	3' - 8"	4' - 0"	2' - 3"	Single_Hung	45 min.	operable w/ fusible link
17	F.F. FIRST	KITCHEN	UNIT 2	3' - 0"	3' - 8"	3' - 4"	Single_Hung	45 min.	operable
18	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 0"	4' - 6"	2' - 6"	Casement-Marvin	-	replace (E) in kind vif size
19	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 2"	4' - 6"	2' - 6"	Casement-Marvin	-	replace (E) in kind vif size
20	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 3"	4' - 6"	2' - 6"	Casement-Marvin	-	replace (E) in kind vif size
21	F.F. FIRST	LIVING ROOM	UNIT 2	3' - 0"	4' - 6"	2' - 5"	Casement-Marvin	-	replace (E) in kind vif size
22	F.F. SECOND	FOYER	SECOND FLOOR	5' - 7"	4' - 0"	3' - 0"	Fixed	45 min.	fixed and tempered
23	F.F. SECOND	FOYER	SECOND FLOOR	3' - 0"	4' - 0"	3' - 0"	Fixed		fixed and tempered
24	F.F. SECOND	BATHROOM	UNIT 3	2' - 6"	3' - 0"	3' - 10"	Single_Hung	-	operable w/ frosted glass
25	F.F. SECOND	BEDROOM	UNIT 3	2' - 6"	3' - 10"	3' - 2"	Single_Hung	45 min.	operable w/ fusible link
26	F.F. SECOND	LIVING ROOM	UNIT 3	3' - 0"	5' - 0"	2' - 0"	Casement-Marvin		
27	F.F. SECOND	LIVING ROOM	UNIT 3	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
28	F.F. SECOND	LIVING ROOM	UNIT 3	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin	-	replace (E) in kind vif size
29	F.F. SECOND	KITCHEN	UNIT 3	3' - 6"	3' - 6"	3' - 6"	Double Casement (French)	-	replace (E) in kind vif size
30	F.F. SECOND	BEDROOM	UNIT 3	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin		
31	F.F. SECOND	BATHROOM	UNIT 4	2' - 0"	2' - 6"	4' - 6"	Single_Hung	45 min.	operable w/ frosted glass w/ fusible link
32	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin	-	replace (E) in kind vif size
33	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin	45 min.	match style of 30 provide AB 009
34	F.F. SECOND	BEDROOM	UNIT 4	3' - 0"	5' - 6"	1' - 6"	Casement-Marvin	-	replace (E) in kind vif size
35	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin	-	replace (E) in kind vif size
36	F.F. SECOND	LIVING ROOM	UNIT 4	3' - 0"	3' - 10"	3' - 2"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
37	F.F. SECOND	KITCHEN	UNIT 4	3' - 10"	3' - 3"	3' - 9"	Double Casement (French)	-	replace (E) in kind vif size
38	F.F. SECOND	BEDROOM	UNIT 4	2' - 8"	5' - 0"	2' - 0"	Single_Hung		
39	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 0"	4' - 0"	3' - 6"	Casement-Marvin	-	
40	F.F. THIRD	LIVING ROOM	UNIT 5	2' - 0"	4' - 0"	3' - 6"	Casement-Marvin	-	
42	F.F. THIRD	MASTER BEDROOM	UNIT 5	2' - 0"	4' - 0"	3' - 6"	Casement-Marvin	-	
43	F.F. THIRD	MASTER BEDROOM	UNIT 5	4' - 0"	5' - 0"	2' - 0"	Double Casement (French)	45 min.	operable w/ fusible link
44	F.F. THIRD	MASTER BEDROOM	UNIT 5	4' - 0"	5' - 0"	2' - 0"	Double Casement (French)	45 min.	operable w/ fusible link
45	F.F. THIRD	BATH	UNIT 5	2' - 10"	3' - 8"	3' - 4"	Single_Hung		
46	F.F. THIRD	BATHROOM	UNIT 5	3' - 6"	5' - 0"	2' - 0"	Double Casement (French)	45 min.	operable w/ fusible link
47	F.F. THIRD	DINING	UNIT 5	4' - 2"	6' - 0"	1' - 6"	Double Casement (French)	-	replace (E) in kind vif size/ tempered
48	F.F. THIRD	LIVING ROOM	UNIT 5	4' - 2"	6' - 0"	1' - 6"	Double Casement (French)	-	replace (E) in kind vif size/ tempered
49	F.F. THIRD	BEDROOM	UNIT 5	2' - 0"	4' - 0"	3' - 0"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
50	F.F. THIRD	BEDROOM	UNIT 5	2' - 0"	4' - 0"	3' - 0"	Casement-Marvin	-	replace (E) in kind vif size/ tempered
51	F.F. THIRD	CLOSET	UNIT 5	2' - 2"	3' - 0"	4' - 0"	Single_Hung		
52	F.F. THIRD	BATHROOM	UNIT 5	3' - 6"	2' - 0"	5' - 0"	Awning with Trim		
53	ROOF			3' - 0"	2' - 0"	0' - 7 3/8"	Fixed		clerestory window
54	ROOF			3' - 0"	2' - 0"	0' - 7 3/8"	Fixed		clerestory window

WINDOW SCHEDULE

Revisions By

REVISION PER PLANNING COMMENTS



DOOR & WINDOW SCHEDULE

1100 LOMBARD STREET
(INTERIOR REMODEL & REAR ADDITION)
SAN FRANCISCO, CA
BLOCK #0069, LOT #081

Date: 05-22-13

Scale: AS NOTED

Drawn: NP

Sheet:

A-4.2