



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
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**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 27, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Noncomplying Structure, Rear Yard, Mass Reduction and Parking Variance)**

Hearing Body: **Zoning Administrator**

PORPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>1726 Alabama Street</b>	Case No.: <b>2011.1351V</b>
Cross Street(s): <b>Norwich St And Ripley St</b>	Building Permit: <b>2011.08.26.3356</b>
Block / Lot No.: <b>5542/038</b>	Applicant/Agent: <b>Edward Morris</b>
Zoning District(s): <b>RH-1 / 40-X / Bernal SUD</b>	Telephone: <b>415-749-0302</b>
Area Plan:	E-Mail: <b>toby@kermanmorris.com</b>

### PROJECT DESCRIPTION

The proposal includes reconfiguring the rear portion of the roof from a hipped roof to a gable roof and construction of two new gable dormers. The proposal will increase the useable floor area from 2,671 sq ft to 3,303 sq ft. **PER SECTION 188 OF THE PLANNING CODE**, noncomplying structures are not permitted to be expanded. The existing building is considered a legal noncomplying structure because portions of the building encroach into the required rear yard. The proposal would intensify the noncomplying structure by constructing two new dormers within a portion of the rear yard, which would be contrary to Section 188. Thus, the project requires a noncomplying structure variance from Planning Code Section 188. **PER SECTION 242(e)(2) OF THE PLANNING CODE**, the subject property is required to maintain a rear yard of 51 ft 6 in. Currently, the existing single-family residence building intrudes into the rear yard by 4 ft 6 in. The new proposal would construct two new dormers within a portion of the required rear yard; therefore, a rear yard variance is required. **PER SECTION 242(e)(3) OF THE PLANNING CODE**, the proposal is required to reduce the square footage of the building volume by 400 sq ft. Currently, the proposal only reduces the building volume by approximately 328 sq ft; therefore, a mass reduction variance is required. **PER SECTION 242(e)(4) OF THE PLANNING CODE**, the subject property is required to provide four off-street parking spaces, since the proposal increases the useable floor area to 3,303 sq ft. The existing building provides only provides two off-street parking spaces; therefore, a parking variance is required.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Richard Sucre**

Telephone: **415-575-9108** Mail: [Richard.Sucre@sfgov.org](mailto:Richard.Sucre@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.1351V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

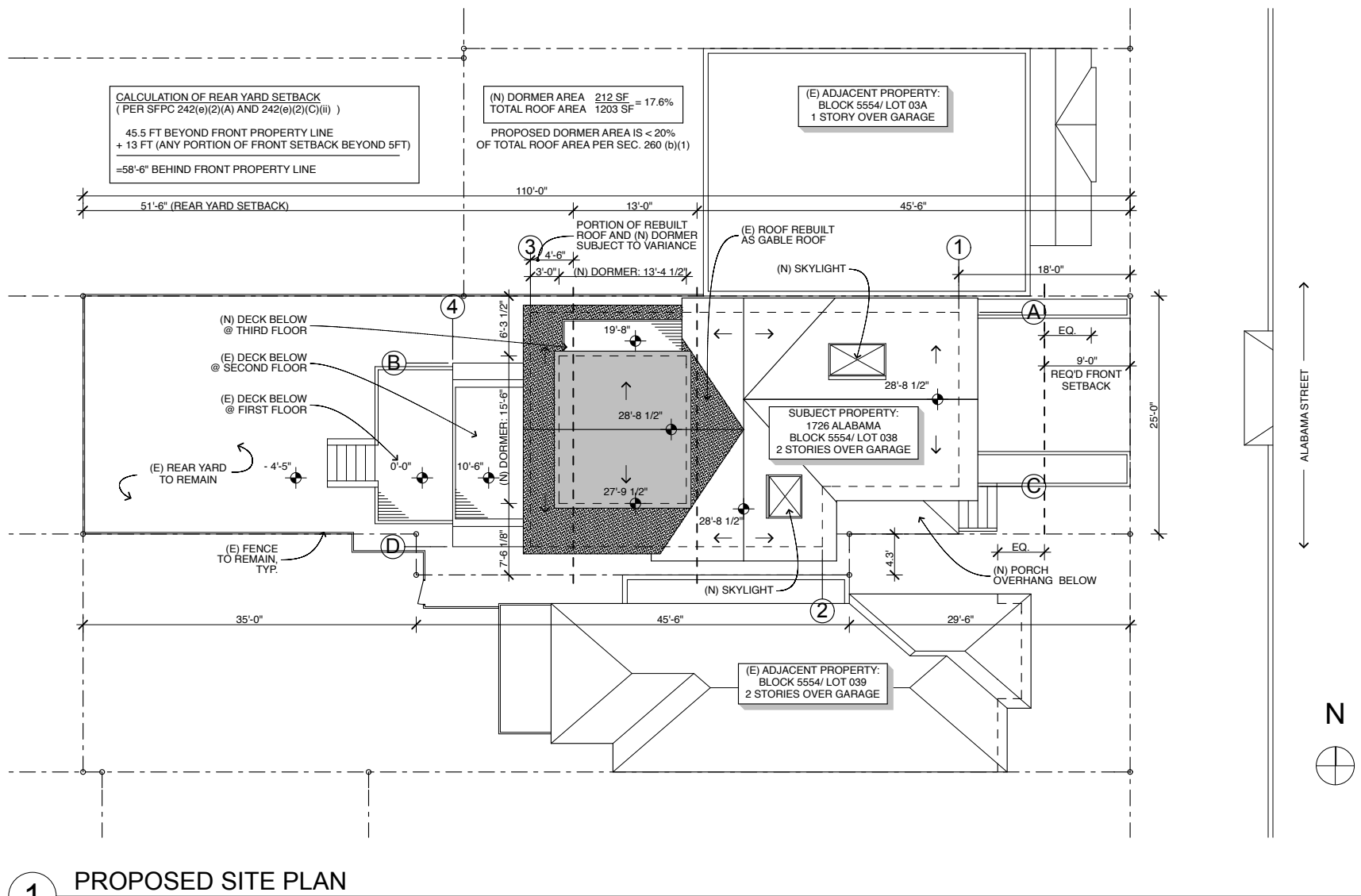
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

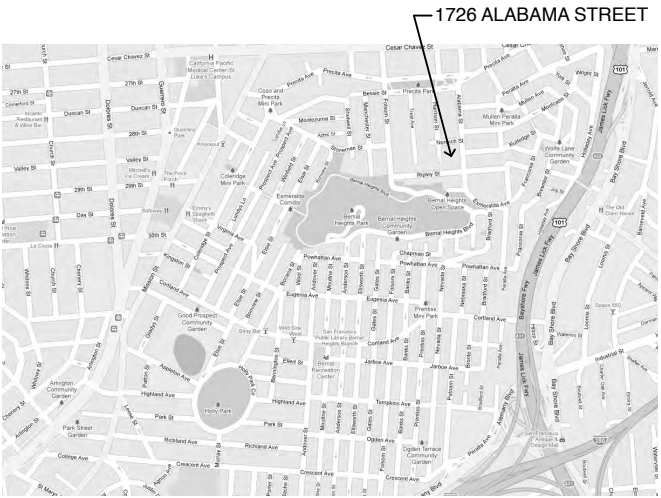
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

1726 ALABAMA  
SINGLE FAMILY RESIDENCE: ADDITION/ REMODEL



1 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

LOCATION MAP:



TITLE 24 COMPLIANCE:

Title-24 Mandatory Measures:  
All work to comply with Title-24 Mandatory Measures including but not limited to: R-13 min. insulation in all new/rebuilt exterior walls; R-19 min. insulation in all new/rebuilt roofs; R-13 raised floor insulation in all new/rebuilt wood framed floors; double insulated doors and window products with certified U-value and infiltration certification; exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed; 50% minimum high efficacy lighting in kitchens (separately switched); high efficacy lighting in bathrooms, garage, laundry room and utility rooms (or manual-on occupancy sensor); all other rooms, lighting to be high efficacy, manual-on occupancy sensor, or dimmer. All recessed incandescent ceiling fixtures to be IC approved. All recessed fluorescents to be ICAT rated. Outdoor lighting to be high efficacy or motion sensor with photocell. All exterior lights to be high efficacy or to be controlled by a motion sensor with photo cell per CEC 150(k)6. See attached compliance sheets on A-0.2, project notes, product information and drawings for project specific insulation levels and energy efficiency provisions.

DESCRIPTION OF WORK:

This work consists of the remodel/ addition of a single family residence to convert an attic into a 3rd floor master bedroom suite. Work to include rebuilding a portion of the roof and adding dormers. Existing front porch to be rebuilt and enclosed. Also included are minor plumbing/ electrical/ mechanical work.

Project is subject to review by Zoning Administrator for expansions per NSR dated 6/11/1999. (See sheet A-0.1). Zoning Administrator has determined that dormers are allowed in Bernal Heights Special Use District up to 42' above the 30'-0" height limit for increased "occupiable floor area" and "usable floor area" (See Letter of Determination dated 5/6/2011, Sheet A-0.1)

Project is subject to minor rear yard variance, parking variance and mass reduction requirements per S 242(e)(3).

All work to comply with current local and state codes including, but not limited to: the 2010 Edition of the California Building Code, the California Plumbing Code, the California Mechanical Code, the California Electrical Code and the California Fire Code, the current editions of the San Francisco Building and Planning Codes, Title-24 Energy Standards, etc...

BUILDING DATA:

OWNERS: NOEL KAUFMAN & NICOLE GRINDLE  
TEL: (415) 626-3701  
ADDRESS: 1726 ALABAMA STREET  
SAN FRANCISCO, CA 94110  
BLOCK/LOT: BLOCK 5542/ LOT 038  
ZONING DISTRICT: RH-1/ 40-X  
LOT SIZE: 2,750 SQ. FT.  
SFBC OCCUPANCY CLASS: R-3 (SINGLE FAMILY RESIDENCE)  
CONSTRUCTION TYPE: TYPE-VB (NON-RATED)  
DESIGN: KERMAN MORRIS ARCHITECTS  
69A WATER STREET  
SAN FRANCISCO, CA 94133  
T: (415) 749-0302 F: (415) 928-5152

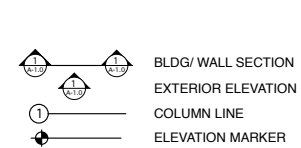
SITE PERMIT R1  
4/6/2012

APP#: 2011-0826-3356  
(SPRINKLERS UNDER SEPARATE PERMIT)

ABBREVIATIONS:

# @	NUMBER AT	EQ EXT	EQUAL EXTERIOR	PL PLY	PROPERTY LINE PLYWOOD
AB	ANCHOR BOLT	FDN	FOUNDATION	PTDF	PRESSURE TREATED DOUGLAS FIR
ADJ	ADJACENT	FIN	FINISH	PTD	PAINTED
ALT	ALTERNATE	FLR	FLOOR	PTN	PARTITION
A.F.F.	ABOVE FINISH FLOOR	FLOUR	FLUORESCENT	R	RISE
ASPH	ASPHALT	F.O.C.	FACE OF CONCRETE	REFR	REFRIGERATOR
		F.O.S.	FACE OF STUD	RWD	REDWOOD
		FTG	FOOTING	REINF	REINFORCED
		FOF	FACE OF FINISH	R.O.	ROUGH OPENING
BLDG	BUILDING	GALV	GALVANIZED	RWL	RAIN WATER LEADER
BETW	BETWEEN	G.F.I.	GROUND FAULT	REQ	REQUIRED
BOT	BOTTOM	GND	GROUND	SIM	SIMILAR
CAB	CABINET	GYP	GYPSON	SHT	SHEET
CEM	CEMENT	GWB	GYPSON WALL BOARD	S.O.G.	SLAB ON GRADE
CLR	CLEAR	HORZ	HORIZONTAL	STD	STANDARD
CMU	CONC. MASONRY UNIT	HT	HEIGHT	STRUCTL	STRUCTURAL
COL	COLUMN	INT	INTERIOR	SUSP	SUSPENDED
CONT	CONTINUOUS	JT	JOINT	SYM	SYMMETRICAL
CTR	CENTERLINE	LAV	LAVATORY	TRD	TREAD
CER	CERAMIC	MAX	MAXIMUM	T&G	TONGUE AND GROOVE
CLG	CEILING	MIN	MINIMUM	THK	THICK
CONC	CONCRETE	MFR	MANUFACTURER	T.O.S.	TOP OF SLAB
		MTL	METAL	TP	TOILET PAPER
DBL	DOUBLE	NIC	NOT IN CONTRACT	TS	TOWEL BAR
DEPT	DEPARTMENT	N.T.S.	NOT TO SCALE	TYP	TYPICAL
DIA	DIAMETER	OPNG	ON CENTER	U.O.N.	UNLESS OTHERWISE NOTED
D.F.	DOUGLAS FIR	OPP	OPPOSITE	VERT	VERTICAL
D.H.	DOUBLE HUNG			VIF	VERIFY IN FIELD
DIM	DIMENSION			W/	WITH
DN	DOWN			W/O	WITHOUT
DS	DOWNSPOUT			W.C.	WATER CLOSET
DTL	DETAIL			WDW	WINDOW
DWG	DRAWING			WP	WATERPROOF
				WT	WEIGHT
(E)	EXISTING			WD	WOOD
ELEC	ELECTRICAL			WH	WATER HEATER
EL	ELEVATION				

GENERAL LEGEND:



DRAWING INDEX:

T-1	PROPOSED SITE PLAN
A-0.1	GENERAL NOTES
A-0.2	PRE-APPLICATION FINDINGS
A-0.30	EXISTING USABLE FLOOR AREA
A-0.31	PROPOSED USABLE FLOOR AREA
A-0.32	MASS REDUCTION
A-0.5	EXISTING BASEMENT & FIRST FLOOR
A-0.6	EXISTING SECOND FLOOR & ATTIC
A-0.7	EXISTING ROOF PLAN
A-0.8	EXISTING FRONT & REAR ELEVATION
A-0.9	EXISTING NORTH & SOUTH ELEVATION
A-1.1	PROPOSED BASEMENT & FIRST FLOOR PLAN
A-1.2	PROPOSED SECOND & THIRD FLOOR PLAN
A-1.3	PROPOSED ROOF PLAN
A-2.1	PROPOSED FRONT & REAR ELEVATION
A-2.2	PROPOSED NORTH ELEVATION
A-2.3	PROPOSED SOUTH ELEVATION
A-3.1	PROPOSED SECTIONS
A-3.2	PROPOSED CROSS SECTION
A-3.3	PROPOSED STAIR/ FOYER SECTION

KERMAN  
MORRIS  
Architects

69A WATER STREET  
SAN FRANCISCO  
CALIFORNIA 94133  
TEL: 415.749.0302  
FAX: 415.928.5152

Revisions:

SITE PERMIT 8/25/2011
EE APP 11/17/2011

1726 ALABAMA

SINGLE FAMILY  
RESIDENCE:  
ADDITION/ REMODEL

BLOCK 5542/  
LOT 038

PROPOSED SITE PLAN

NOTICE

These drawings and specifications are the property and copyright of KermanMorrisArchitects and shall not be used on any other work except by written agreement with KermanMorrisArchitects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of KermanMorrisArchitects prior to the commencement of any work.

These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DATE: 4/6/2012

SCALE:

DRAWN BY: JLL

CHECKED BY: TM

JOB NO.: 1102

DRAWING

T-1

1 of 20 sheets

1102 - 1726 ALABAMA  
4/6/2012 - SITE PERMIT R1



OUTLINE SPECIFICATIONS FOR PRELIMINARY BUDGET:

ZONING ADMINISTRATOR LETTER OF DETERMINATION:

OUTLINE SPECIFICATIONS  
1726 ALABAMA  
December 19, 2011

**Concrete:**  
See Structural Drawings.

**Masonry:**  
**SOLID SURFACE COUNTER TOPS:**  
Granite, marble, limestone or Ceasar Stone for Baths, Laundry, Living & Dining built-ins.  
Owner to choose color & pattern.  
**STONE TILE FOR MASTER BATH FLOOR, TUB & SHOWER:**  
Owner to specify.

**Wood and Tile:**  
**INTERIOR DOOR & WINDOW CASING:**  
4" Molded Wood Casing, TBD  
**BASEBOARD:**  
7/8" Molded Wood, TBD

**FLOORING:**  
Hardwood: 3/4" T&G, clear finish oak (or equal) to match existing and patching areas of 1st floor where needed. Hardwood on stairs from 1st to 2nd floor and 2nd floor Hall.  
Owner to choose wood species.  
Ceramic or Stone Tile: In Entry, Bathrooms, Laundry.

**SHOWER & TUB WALLS:**  
Ceramic, Stone or glass tile

**Thermal and Moisture Protection:**  
**INSULATION:**  
Kraft paper faced fiberglass batt insulation at walls (Owens Corning or Eq.); Polyurethane spray foam insulation at roof. R-values per notes.

**SHOWER PANS:** Site built with copper pan or rubberized membrane.

**EXTERIOR TRIM:**  
Match (E)

**HORIZONTAL SIDING:** Match (E) shiplap redwood. See Elevations and Details.

**BUILDING PAPER:**  
2 layers of Grade-D 60 minute paper. Fortifiber Super Jumbo-Tex. Laps: 4" horizontal and 6" vertical.

**SHEET METAL FLASHING:**  
All wall to roof flashing, saddle flashing, etc... where exposed to weather to be 24 gage gsm with soldered/ watertight joints at horizontal siding; copper at shingled walls. All fasteners to be galvanized metal.

**MEMBRANE FLASHING:**  
At openings & penetrations: 20 mil self adhering membrane. (MFM Building Products Corp. or Vycor Butithene, Grace Construction Products).

**SEALANT SCHEDULE - EXTERIOR:**

TYPE OF JOINT	EXPOSED	CONCEALED
Metal to Wood	Polyurethane	--
Metal to Metal	Polyurethane	Butyl
Wood to Wood	Polyurethane	Polyurethane
Building Paper		
Laps to Flashing	---	Butyl
Sealant Manufacturers:		
Polyurethane: SikaFlex, Sika 1a		
Butyl: ADCO B-100 or B-400.		

**ROOFING:**  
Pitched: Composition shingle, 25yr.  
Low pitch/ Flat Roof: (2) ply Dibiten modified bitumen torchdown roofing membrane over plywood per structural or 5 ply asphalt/ felt roof..

**GUTTER/SCUPPER/DOWN SPOUT:** Painted 24 gage GSM at painted horizontal siding, copper at shingles.

**VAPOR BARRIER @ SLAB ON GRADE:** 10 mil. sheet polythylene.

**Doors and Windows:**  
**GLASS SHOWER SURROUND:** Site built, frameless shower enclosure with chrome or nickel finish hinges, TBD.  
**WINDOWS & DOORS, EXTERIOR :** Marvin wood windows and doors, double-pane.  
**INTERIOR DOORS:**  
Solid core, Tru-Style panel, paint grade doors.

**DOOR HARDWARE:**  
Interior/Exterior doors: Baldwin Reserve line for pricing. Provide all hinges, strikes and escutcheons as required. Provide options to owners.

**SKYLIGHTS:**  
Velux wood skylight operable for ventilation @ attic bath, fixed @ stair roof.

**Finishes:**  
**GYPSUM WALL BOARD:**  
For walls and ceilings throughout (except where noted as wood). Flat finish, painted, as noted in plans and future partition schedule. Green board where required by code.

**PAINT:**  
Interiors: Paint all new interiors: 10-year warranty flat premium quality latex paint everywhere (except Baths and Laundry, satin finish). One prime coat and two finish coats. Owner to choose interior colors: Benjamin Moore or equal.  
Exterior: Paint all new exteriors. Prime with one coat of approved premium quality oil base primer surface conditioner, with mildicide added to manufacturer's specifications. Two top coats to be premium quality flat exterior latex. Three color exterior to be chosen by owner.

**CARPET:**  
In bedrooms, family room, study and stair from 2nd to 3rd floor. Type to be determined.

**Specialties:**  
**BATHROOM ACCESSORIES:** By Owner: towel bars, T.P. holder, medicine cabinet, towel hook at doors. Contractor to install.

**Equipment:**  
**CABINETS:** T.B.D./ contractor to supply and install. Built-in cabinets called out on plans, including LR, DR, and Family room storage, bathroom vanities, and recessed medicine cabinets, desks, bench seats, shelving, linen and laundry storage and dressers.  
**CENTRAL VACUUM:** TBD.


**Mechanical/Plumbing:**  
**COUNTERTOP LAVATORIES:**  
T.B.D./ By Owner.  
**LAVATORY FAUCETS:**  
T.B.D./ By Owner.  
**SHOWER FAUCETS:**  
T.B.D./ By Owner.  
**TOILETS:**  
T.B.D./ By Owner.  
**WATERHEATER:** 100 gal., gas fired, see T-24  
**FURNACE:**  
80% AFAU gas fired, forced air, 1st, 2nd and 3rd floor. Provide alternate for radiant heat at 3rd floor.

**RADIANT HEAT:** FOR 3rd floor  
ON DEMAND HOT WATER: To all bathrooms

**SPRINKLERS UNDER SEPARATE PERMIT:**  
NFPA13D at new 3rd floor only

**ADD/ALTS:**  
SOLAR HOT WATER HEATING: Contractor to advise.  
SOLAR PHOTOVOLTAIC PANELS AND SYSTEM: Contractor to advise.

**Electrical:**  
**LIGHTING / WIRING / CONTROLS:**  
Owner to choose all fixtures.  
**SOUND SYSTEM:** on 1st floor and surround sound in Family Room.



SAN FRANCISCO

PLANNING DEPARTMENT

Letter of Determination

May 6, 2011

Edward D. ("Toby") Morris  
Kerman/Morris Architects, LLP  
69A Water Street  
San Francisco CA 94133

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479  
Reception:  
415.558.6378  
Fax:  
415.558.6409  
Planning  
Information:  
415.558.6377

Site Address: 1726 Alabama Street

Assessor's Block/Lot: 5542/038

Zoning District: RH-1/40-X (Bernal Heights Special Use District)

Staff Contact: Corey Teague, (415) 575-9081 or [corey.teague@sfgov.org](mailto:corey.teague@sfgov.org)

Dear Mr. Morris:

This letter is in response to your request for a letter of determination regarding the property at 1726 Alabama Street. This parcel is located in the RH-1 Zoning District, the Bernal Heights Special Use District, and has a 40-X height and bulk limitation. The request is to determine whether dormers are permitted in the Bernal Heights Special Use District (SUD) if they meet existing Planning Code requirements and interpretations for height measurement and exceptions. The request is also to determine if such dormers may be used to create additional "useable floor area" as defined in Planning Code Section 242(d)(2).

Planning Code Section 242(e)(1) states that "No portion of a dwelling in any portion of this district shall exceed a height of 30 feet except as provided below." The interpretation for this code section clarifies that sloped roofs are a noted exception, stating that "The method of height measurement for sloped roofs presented in Section 260(a)(2) would apply to this SUD despite the fact that, unlike other sections dealing with height limits, the language quoted above uses the term "no portion."" Section 260(a)(2) states that "The upper point to which such measurement shall be taken shall be...the average height of the rise in the case of a pitched....roof." Therefore, the upper portion of a sloped roof may in fact exceed 30 feet in height in the Bernal Heights SUD if the building is no more than 30 feet in height as measured in Section 260(a)(2).

Section 260(b)(1)(B) exempts dormers from height limits up to a maximum of 10 feet above such limit. They are also limited, along with other rooftop features, to no more than 20 percent of the horizontal roof area. Section 242(e)(1)(D) further restricts dormers in Bernal Heights to project no more than 42 inches above the height limit.

Zoning Administrator Bulletin No. 3 (*Dormer Windows*) states that a "dormer or dormer window is usually a gabled extension of an attic room through a sloping roof to allow for a vertical window opening into the room." This bulletin further states that the purpose of a dormer is to "allow light and ventilation" and to "increase occupiable floor area by raising the vertical clearance of a room."

[www.sfplanning.org](http://www.sfplanning.org)

NOTICE OF SPECIAL RESTRICTIONS (6/11/1999):

RECORDING REQUESTED BY:

And When Recorded Mail To:

Name: DON J. BONDARENKO

Address: 1726 ALABAMA STREET

City: SAN FRANCISCO, CA

State: California 94110

Space Above this Line For Recorder's Use

CONFIRMED COPY of document recorded on 06/11/1999, 19990602881

as No. 06/11/1999, 19990602881

the document has not been compared with the original

SAN FRANCISCO ASSESSOR RECORDER

NOTICE OF SPECIAL RESTRICTIONS UNDER THE CITY PLANNING CODE

I(We) Don J. Bondarenko & Joan T. Nakamura, the owner(s) of that certain real property situated in the City and County of San Francisco, State of California more particularly described as follows:

(PLEASE ATTACH THE LEGAL DESCRIPTION AS ON DEED)

BEING Assessor's Block 5542; Lot: 35,

commonly known as 1726 Alabama Street

hereby give notice that there are special restrictions on the use of said property under Part II, Chapter II of the San Francisco Municipal Code (City Planning Code).

Said Restrictions consist of conditions attached to a variance granted by the Zoning Administrator of the City and County of San Francisco on May 13, 1999 (Case No. 98.458V) permitting the subdivision of an existing 5,500 square foot lot into two separate lots.

The restrictions and conditions of which notice is hereby given are:

1. Each newly-created lot (a total of two lots) shall be limited in residential density to that legally existing at the time of this authorization; one dwelling unit on each lot.

2. No further vertical or horizontal expansion of the subject building shall be allowed unless such expansion is specifically authorized by the Zoning Administrator after the property owner or authorized agent has sought and justified a new variance request pursuant to the public hearing and all other applicable procedures of the Planning Code. However, the Zoning Administrator, after finding that such expansion complies with applicable Codes, is compatible with existing neighborhood character and scale, and does not cause significant loss of light, air, view or privacy to adjacent buildings, may determine that a new variance is not required.

Page 1 of 2

Edward D. ("Toby") Morris  
Kerman/Morris Architects, LLP  
69A Water Street  
San Francisco CA 94133

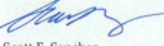
May 6, 2011  
Letter of Determination  
1726 Alabama Street

Based on the Planning Code Sections and interpretation listed above, a dormer on a sloped roof may rise above 30 feet in height—as measured per Section 260(a)(2)—in the Bernal Heights Special Use District when 1) it rises no more than 42 inches above the 30 foot height limit, and 2) does not itself, or in combination with other applicable rooftop features, combine to exceed 20 percent of the horizontal roof area. Any additional floor area created by such dormers may qualify as "usable floor area" if it meets the parameters of Section 242(d)(2).

It is important to note that the creation of any additional useable floor area will be subject to the Bernal Heights mass reduction controls of Section 242(e)(3) if it falls in the RH-1 or RH-1(S) Zoning District. Additionally, any dormers that do not meet the dimensional requirements of Zoning Bulletin No. 3 (*Dormer Windows*) will also be subject to neighborhood notification per Section 311.

APPEAL: If you believe this determination represents an error in interpretation of the Planning Code or abuse in discretion by the Zoning Administrator, an appeal may be filed with the Board of Appeals within 15 days of the date of this letter. For information regarding the appeals process, please contact the Board of Appeals located at 1650 Mission Street, Room 304, San Francisco, or call (415) 575-6880.

Sincerely,



Scott F. Sanchez  
Zoning Administrator

cc: Corey Teague, Planner

SAN FRANCISCO  
PLANNING DEPARTMENT

2


NOTICE OF SPECIAL RESTRICTIONS UNDER THE CITY PLANNING CODE

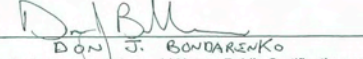
3. The owners of the subject property shall record on the land records of the City and County of San Francisco the conditions attached to this variance decision as a Notice of Special Restrictions in a form approved by the Zoning Administrator.

4. The proposed project must meet these conditions and all applicable City Codes in case of conflict, the more restrictive controls shall apply.

The use of said property contrary to these special restrictions shall constitute a violation of the City Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Records by the Zoning Administrator of the City and County of San Francisco.

Dated: June 11, 1999 at San Francisco, California.

  
JOAN T. NAKAMURA

  
DON J. BONDARENKO

This signature must be notarized prior to recording; add Notary Public Certification and Official Notarial Seal below:

SMY:gwf

Page 2 of 2

PLANNING DEPT. NOTES:

PROJECT LOCATION: 1726 Alabama Street, Block 5542/ LOT 038

ZONING DISTRICT: RH-1

HEIGHT DISTRICT: 40-X

LOT SIZE: 2,750 SF (Lot Width = 25'-0", Lot Depth = 110'-0")

CURRENT USE: Single family home.

PROPOSED USE: Single family home.

HISTORICAL REVIEW/CATEGORICAL EXEMPTION ISSUED: The San Francisco Planning Department has determined that the structure is a historic resource and pursuant to these proposed plans is Categorically Exempt.

HEIGHT:  
Per SFPC Section 242(e)(1), maximum height = 30'-0"  
Height to be measured from the average grade of the front property line to the midpoint of the gable roof. Project Complies.

Per Sec. 242(e)(1)(d), height of dormer is limited to 42" above height limit (33'-6")  
Project complies

SETBACKS:

Front Setback: Per SFPC Section 132(a), front setback shall be the average of the two existing adjacent front set backs = 9'-0" . See Site Plan on T-1 for calculation of front setback. Existing building front wall is 18'-0" behind front property line. Project complies.

Rear Yard:  
Per SFPC Section 242(e)(2)(A), maximum building depth = 45.5 ft behind front property line for lots greater than 70ft in depth (Lot depth = 110ft deep)

Per SFPC Section 242(e)(2)(C)(ii), any portion of front setback exceeding 5ft may be applied the amount required for satisfying the rear yard requirement. (See T-1 for calculation of Rear Yard setback.) Existing building exceeds rear yard setback requirements. New dormer shall be an addition to existing non-complying structure within the rear yard set back. Minor Rear Yard Variance Required.

USABLE OPEN SPACE:  
Per SFPC Table 135A, 300 sf required. Existing rear yard exceeds 300 sf. Project complies.

MASS REDUCTION (BERNAL HEIGHTS):  
SFPC Section 242(e)(3), in lots exceeding 100 ft in length, the reduction shall be a minimum of 400 sf. Variance Required.

DORMER AREA:  
Per SFPC 260(b)(1)(B), total area of dormers not to exceed 20% of total roof area. See T-1 for roof area calculations. Project Complies.

PARKING:  
Per SFPC Section 242(e)(4), 4 parking spaces required for structures between 2851 SF to 3850 SF of "usable floor area". Project proposes 2 on site screen parking spaces. Variance Required.

69A WATER STREET  
SAN FRANCISCO  
CALIFORNIA 94133  
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1726 ALABAMA

SINGLE FAMILY  
RESIDENCE:  
ADDITION/ REMODEL

BLOCK 5542/  
LOT 038

GENERAL NOTES

NOTICE

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2 of 20 sheets

1102 - 1726 ALABAMA  
4/6/2012- SITE PERMIT R1





August 30, 2011

Department of Building Inspection  
1660 Mission Street, 2<sup>nd</sup> Floor  
San Francisco, CA 94103

PRE-APPLICATION MEETING FINDINGS

CODE RULING REGARDING 1726 ALABAMA STREET  
Addition/Alteration - Residential:  
Single Family Residence  
2010 California Building Code

Project Information:

Property Address: 1726 Alabama Street, San Francisco  
Block/Lot: Block 5542/ Lot 038  
Occupancies: R-3 (Single Family), U (Private Garage)  
Type of Construction: Type V-B (1-hr rated)  
No. of Stories: 3 Stories over Basement Garage

Use of Building:

This work consists of an addition/alteration to create new living space in an existing unoccupied 3<sup>rd</sup> Floor Attic and to enclose a small existing porch on the first floor. Work to include the construction of a new roof dormer.

Pre-Application Findings:

Fire-Resistance Rated Construction

1. Please confirm that per Table 705.8, these R-3 buildings are allowed up to 25% unprotected openings in walls between 3-5 ft from the side property line. Please confirm that the area of openings in walls beyond 5 ft from the property line is not limited.

Confirmed.

2. Please confirm that per S705.11 Exception 2, the new unprotected skylights on the roof will not require protection by a parapet because the building does not have an area of more than 1,000 square feet on any floor.

Confirmed.

-1-

3. Please confirm that the new window in Bedroom 203 or any other property line wall may be allowed if all requirements of AB-009 are met. These windows will be non-operable and located per the requirements of AB-009. Please confirm that per #5 Exception of AB-009, these openings do not need to be protected by automatic sprinklers.

Confirmed. AB-009 does not require sprinkler protection for property line windows in R-3 Occupancies.

Egress:

4. Residential (R-3):

- a. Please confirm this existing single-family dwelling (R-3) may continue to provide only 1 means of egress.
- b. Please confirm whether or not this existing R-3 dwelling needs to be equipped throughout with an automatic sprinklers system in accordance with S903.3.1.3 (NFPA 13D), per S 1021.1 Exception 4.
- c. If sprinklers are required, please confirm whether the entire dwelling needs to be protected, or only the new habitable space on the 3<sup>rd</sup> Floor.

Confirmed. This single-family R-3 dwelling may have 1 means of egress. The new 3<sup>rd</sup> floor habitable space must be sprinklered per NFPA 13D. The existing basement, first and second floors need not be sprinklered, including the small porch area on the first floor that will be enclosed.

5. Garage (U Occupancy):

Please confirm that the existing basement level garage is considered accessory to the R-3 dwelling unit and may be provided with the same number of egresses allowed for the rest of the house.

Confirmed. One means of egress sufficient.

6. Stair Width: Please confirm that all egress stairs must be at least 36" clear wide, per Sec. 1009.1 Exception #1, where the occupant load does not exceed 50 at any floor.

Confirmed.

-2-


7. Bedroom 202 is an existing bedroom on which no work will be done except the addition of a new fixed window. It has an existing operable window that does not provide access to the public way or yard or court. Please confirm that this existing window may remain and no emergency egress access will be required.

Confirmed. Any new window must comply with AB-009. Addition of a new window will not trigger emergency egress requirements for this existing bedroom, which does not have a possible path to the public way.

8. Please confirm that per 1008.1.2, the egress doors may be in-swinging if the occupant load is less than 50 persons.

Confirmed.

Approved By:

 9/13/11  
Jeff Ma, SE DBI Date

-3-



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1726 ALABAMA

SINGLE FAMILY  
RESIDENCE:  
ADDITION/REMODEL

BLOCK 5542/  
LOT 038

PRE-APPLICATION  
FINDINGS

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1726 ALABAMA

SINGLE FAMILY  
RESIDENCE:  
ADDITION/ REMODEL

BLOCK 5542/  
LOT 038

EXISTING ROOF PLAN

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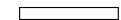
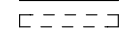
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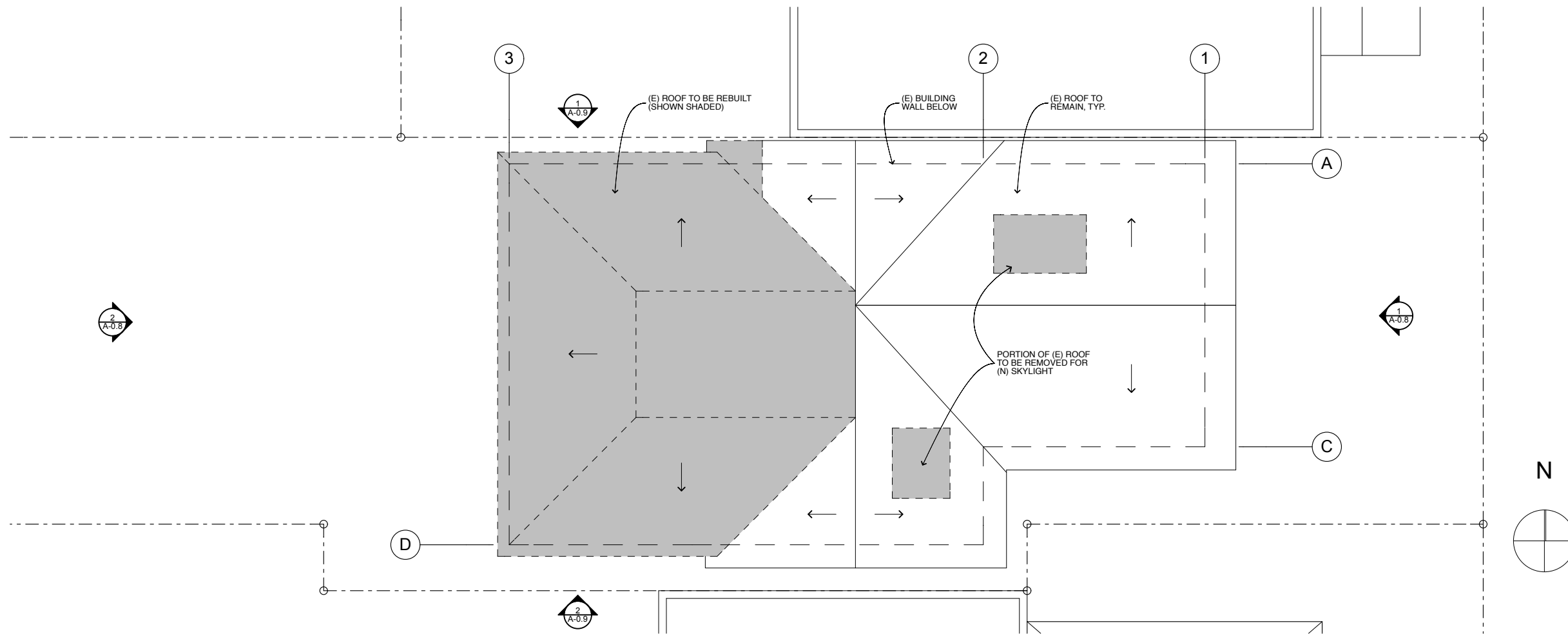
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1726 ALABAMA  
4/6/2012: SITE PERMIT R1

WALL LEGEND:

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED



1 EXISTING/ DEMO ROOF PLAN  
SCALE: 1/4" = 1'-0"

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**1726 ALABAMA**

SINGLE FAMILY  
RESIDENCE:  
ADDITION/REMODEL

BLOCK 5542/  
LOT 038

**EXISTING FRONT & REAR  
ELEVATION**

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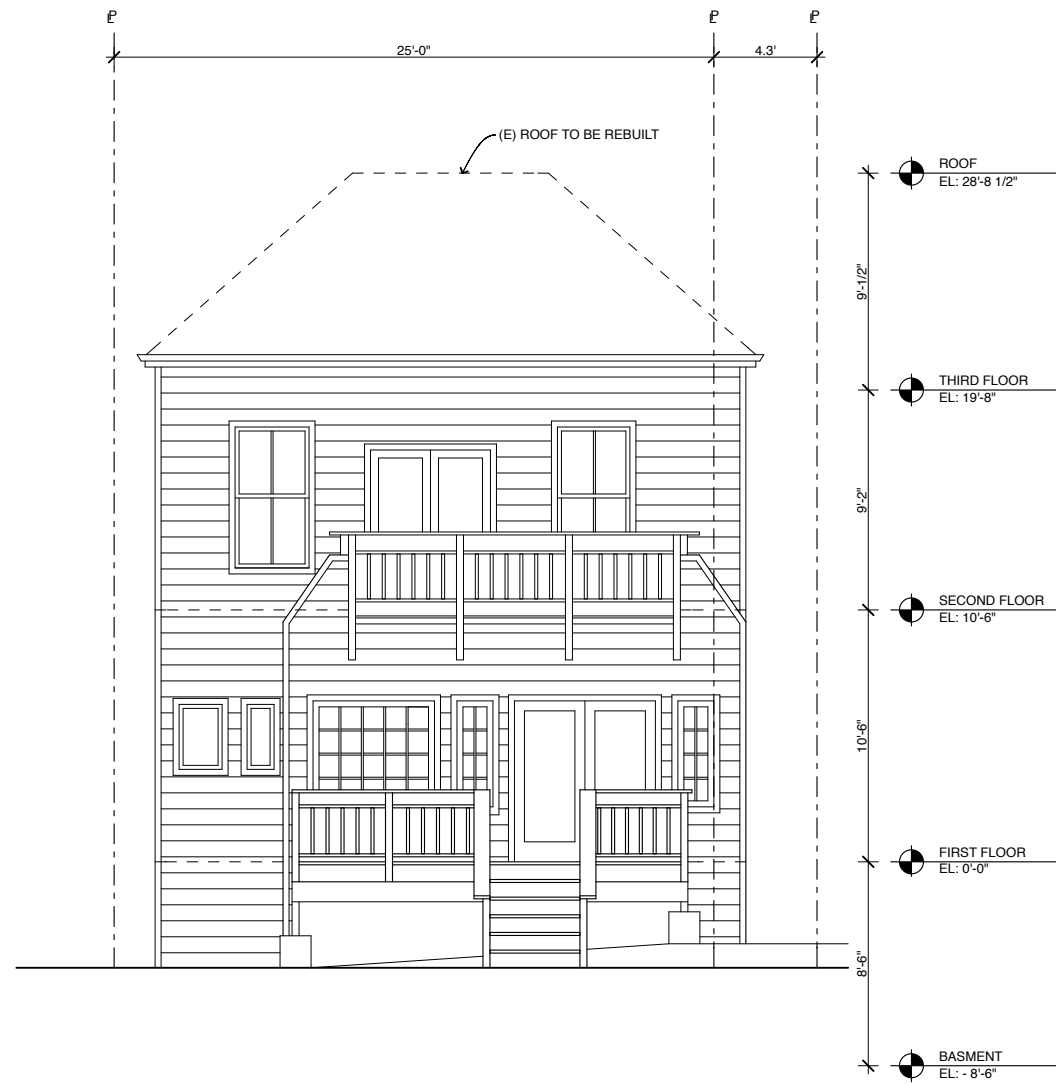
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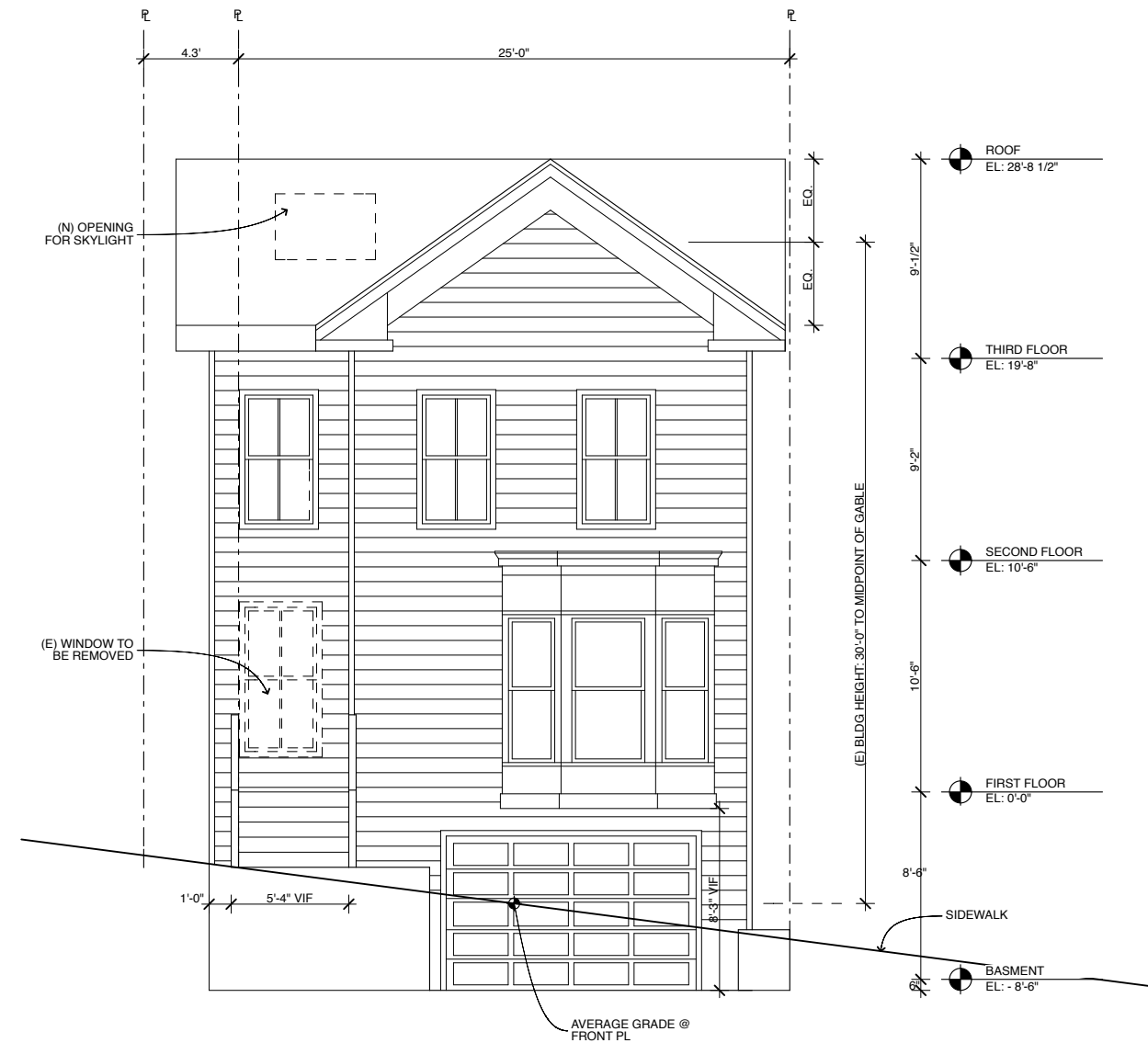
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**2** EXISTING WEST (REAR) ELEVATION  
SCALE: 1/4" = 1'-0"



**1** EXISTING EAST (FRONT) ELEVATION  
SCALE: 1/4" = 1'-0"



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**1726 ALABAMA**

SINGLE FAMILY  
RESIDENCE:  
ADDITION/ REMODEL

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EXISTING NORTH &  
SOUTH ELEVATION

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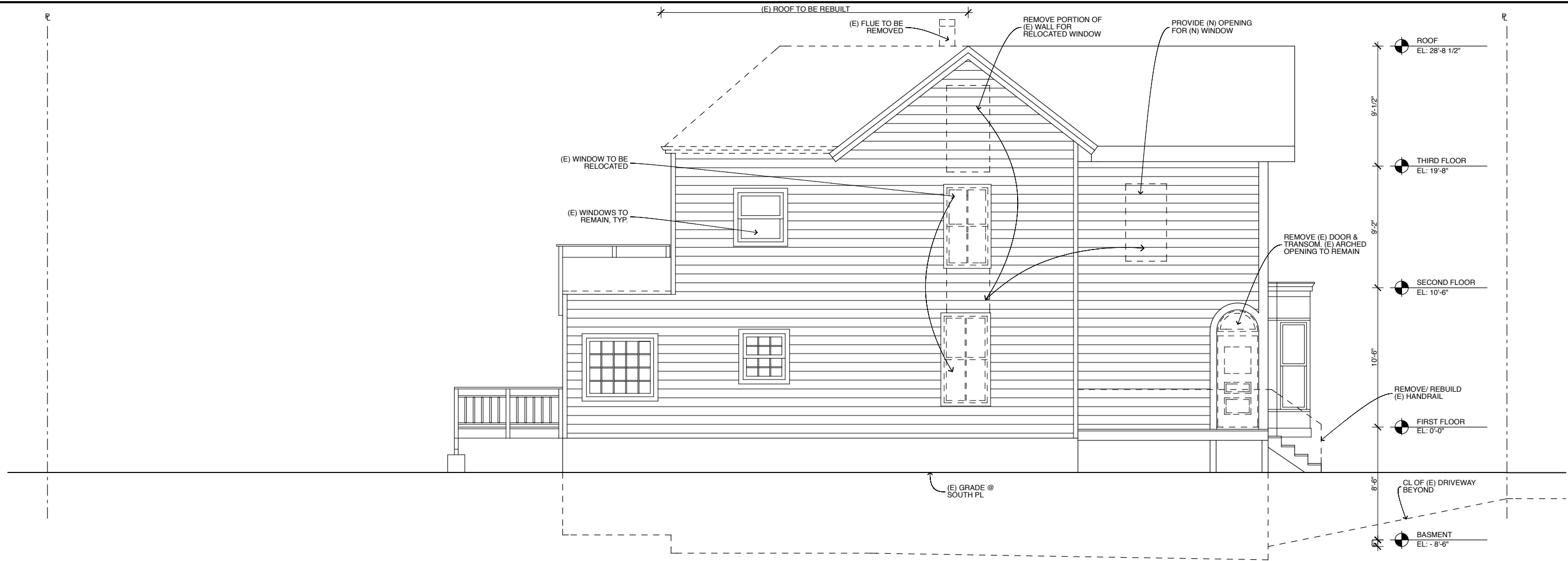
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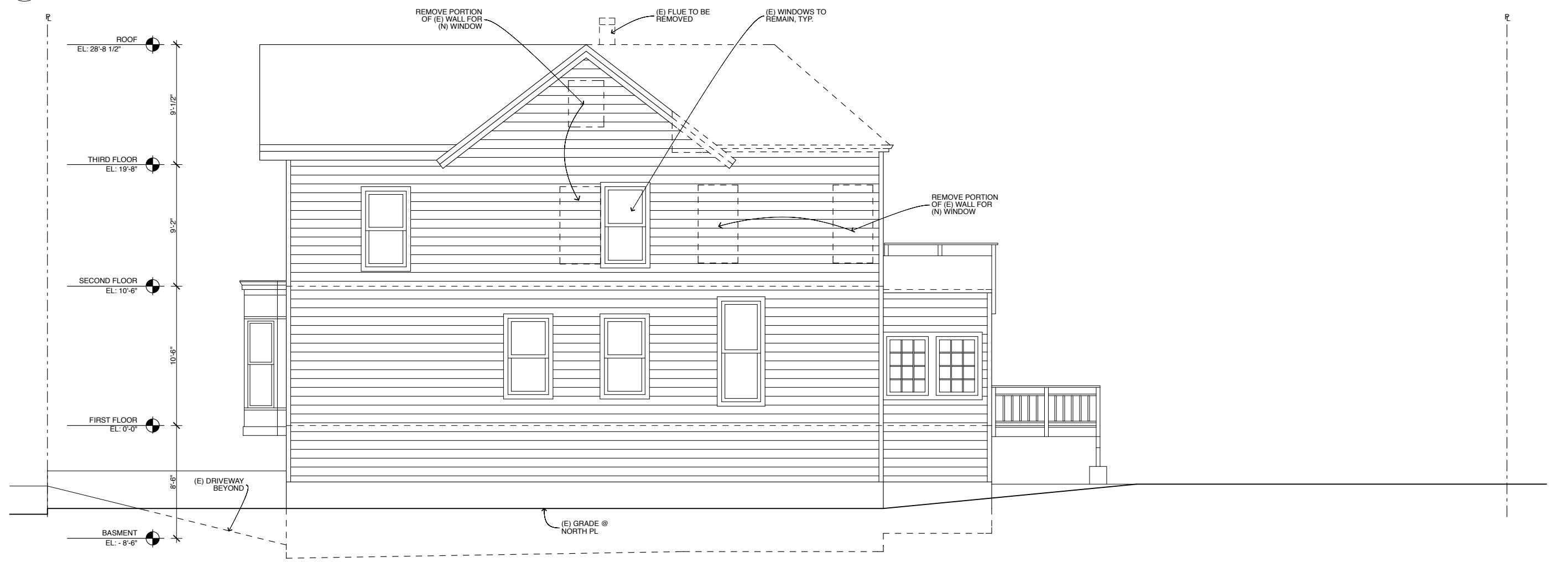
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**2** EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



**1** EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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SINGLE FAMILY  
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PROPOSED ROOF PLAN

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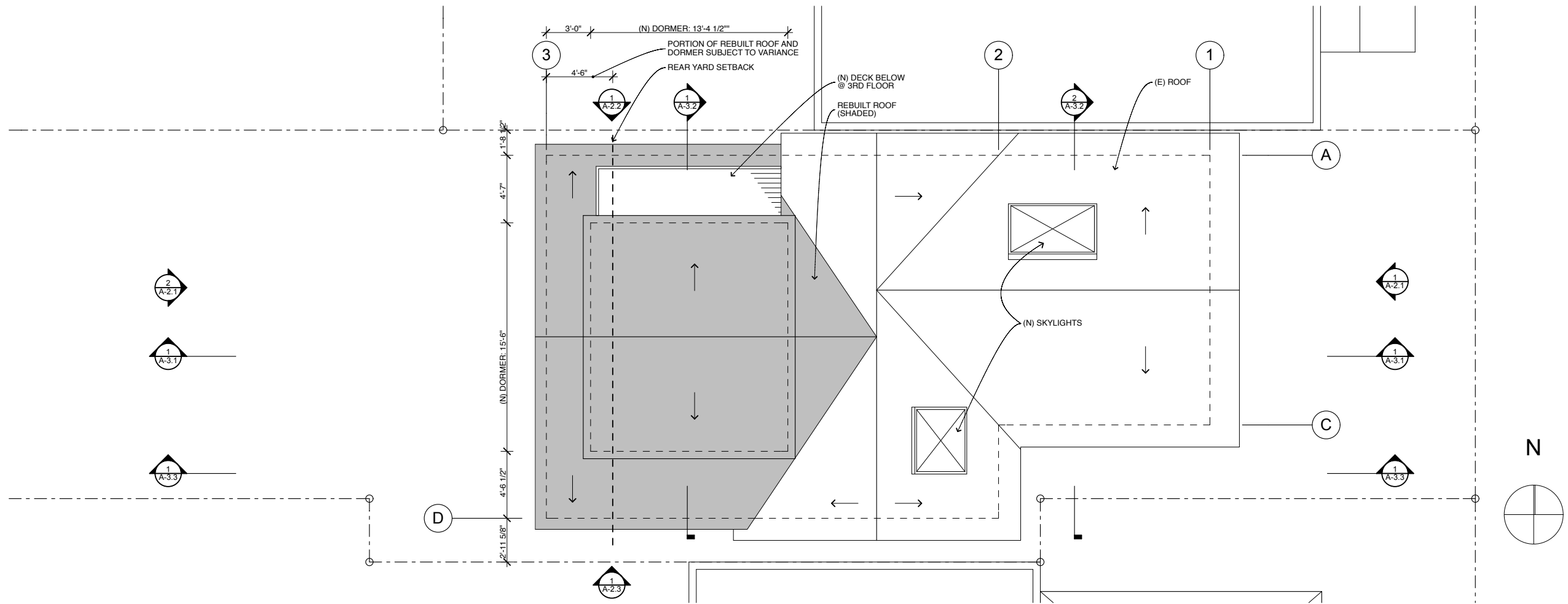
A-1.3

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1726 ALABAMA  
4/6/2012- SITE PERMIT R1

WALL LEGEND:

	EXISTING WALL
	NEW WALL



1 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

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PROPOSED FRONT &  
REAR ELEVATION

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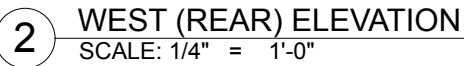
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SINGLE FAMILY  
RESIDENCE:  
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**PROPOSED NORTH  
ELEVATION**

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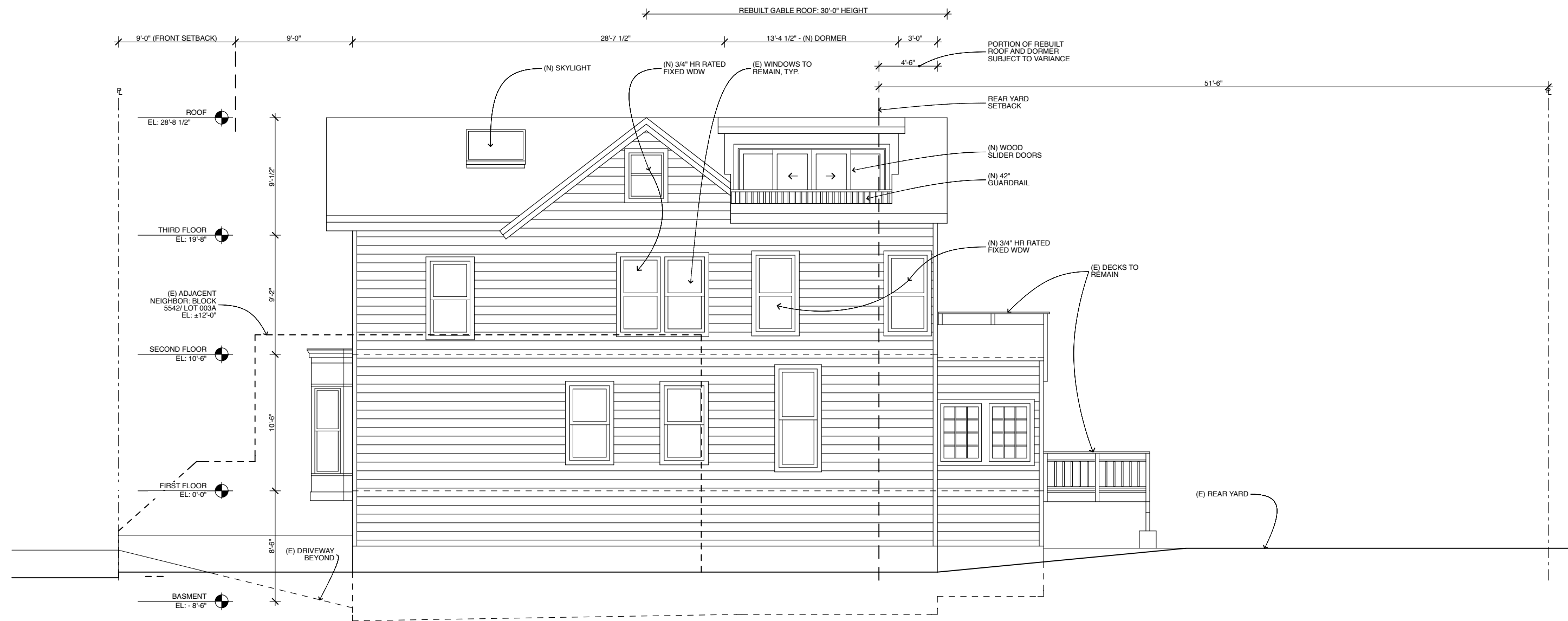
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4/6/2012: SITE PERMIT R1



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



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SINGLE FAMILY  
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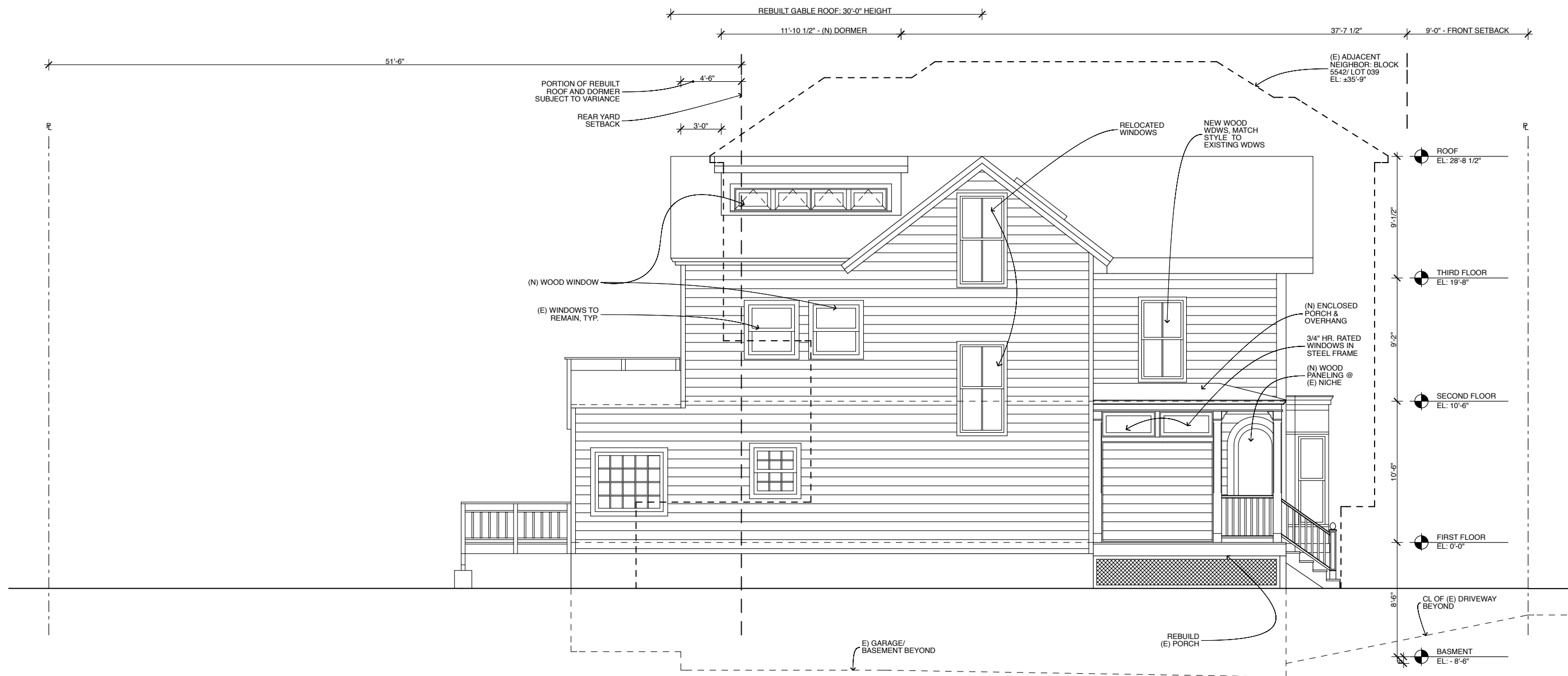
**PROPOSED SOUTH  
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**1 SOUTH ELEVATION**  
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PROPOSED SECTIONS

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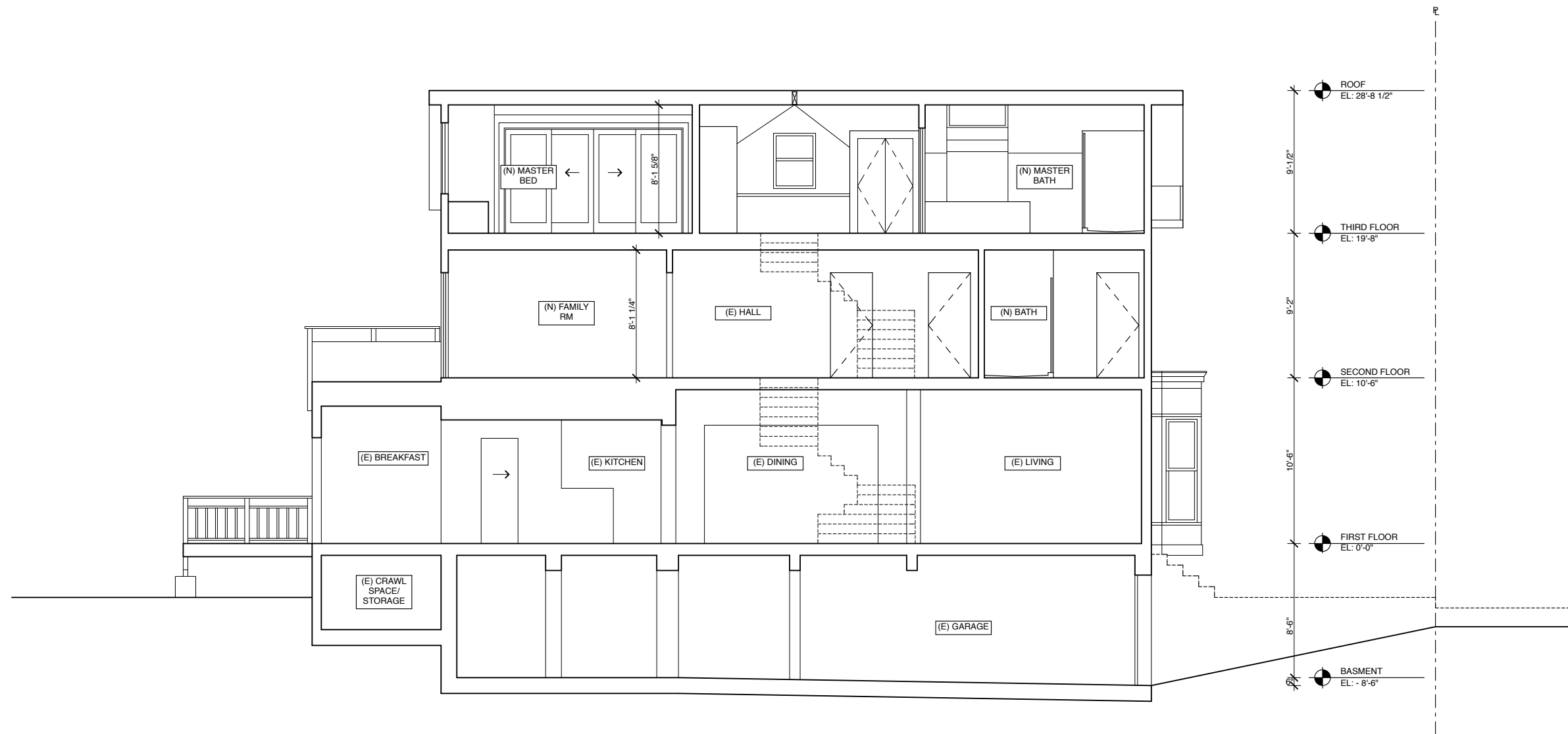
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1 BUILDING SECTION  
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SINGLE FAMILY  
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PROPOSED CROSS  
SECTION

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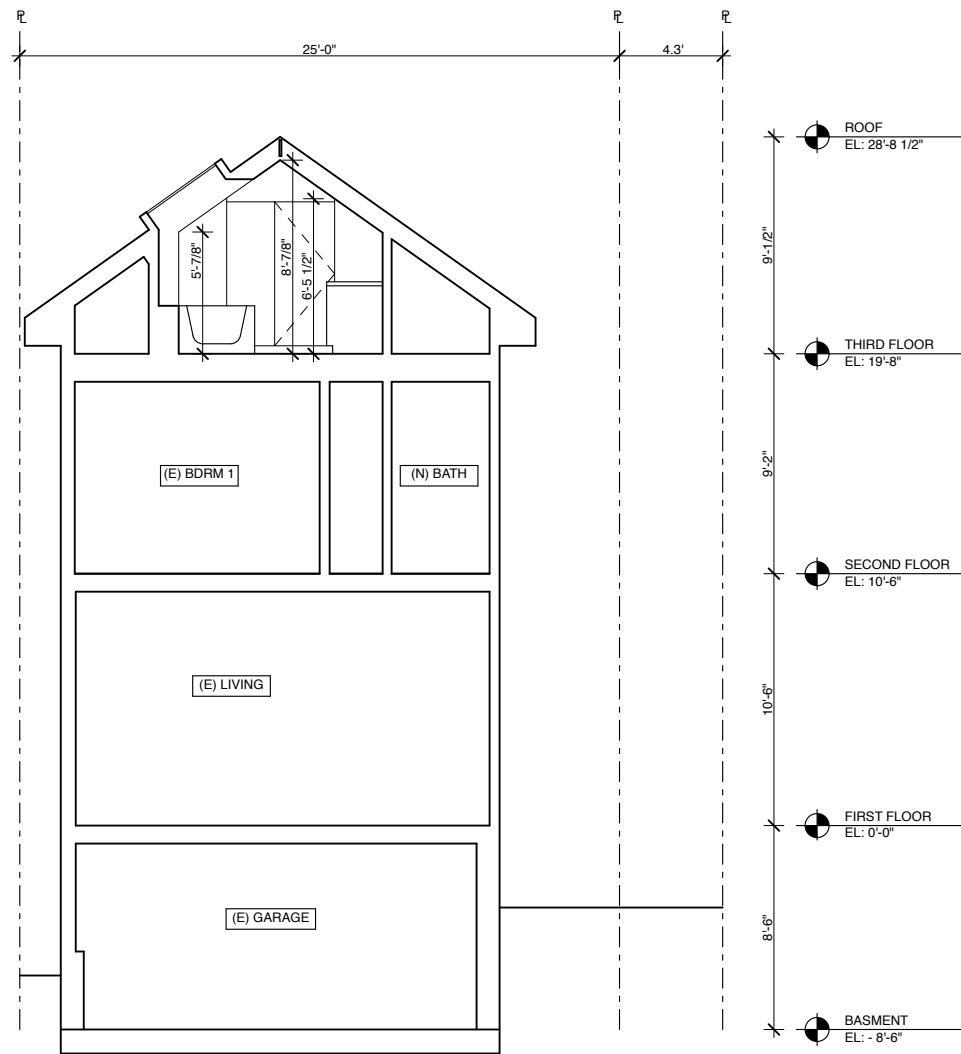
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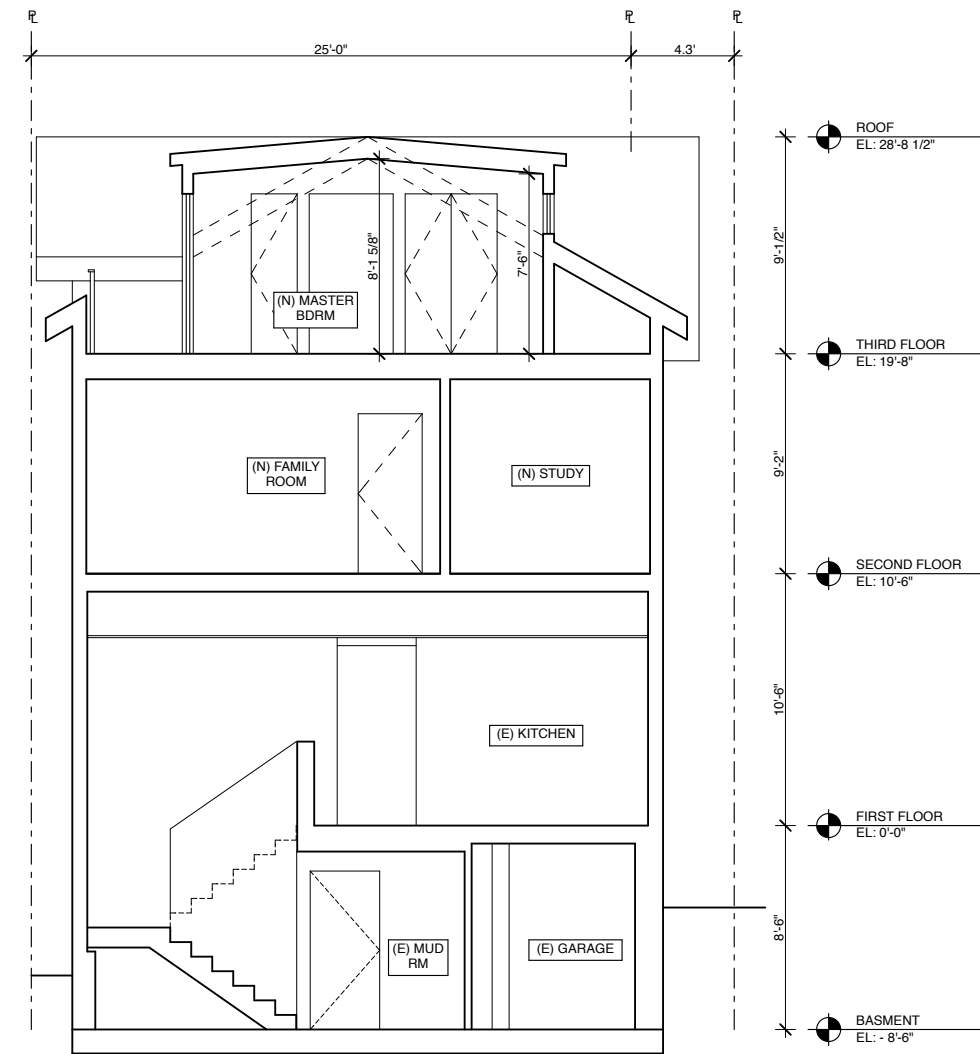
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2 BATHROOM SECTION  
SCALE: 1/4" = 1'-0"



1 DORMER SECTION  
SCALE: 1/4" = 1'-0"

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SINGLE FAMILY  
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PROPOSED STAIR/ FOYER  
SECTION

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4/6/2012- SITE PERMIT R1



1 STAIR/ FOYER SECTION  
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