



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 22, 2012**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	807 Columbus Avenue	Case No.:	2011.1302V
Cross Street(s):	Mason and Lombard Sts.	Building Permit:	none
Block /Lot No.:	0074/047	Applicant/Agent:	Federico Engel
Zoning District(s):	North Beach NCD/40-X	Telephone:	(415) 860-7979
Area Plan:	none	E-Mail:	fed_engel@hotmail.com
PROJECT DESCRIPTION			
<p>The proposal is to convert commercial space on the ground floor of the building to residential use to expand an existing dwelling unit on the second floor.</p> <p>PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard equal to 25% of the depth of the lot on the first level with a residential use. The proposed conversion of commercial space to residential creates residential space on the ground floor of the building. The ground floor of the building has been constructed to the rear property line with no rear yard; therefore, the project requires a variance.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Rick Crawford Telephone: (415) 558-6358 E-Mail: rick.crawford@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2007.0432V.pdf</p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS

&

AND

/

ANGLE

@

AT

C

CENTERLINE

D

DIAMETER

#

NUMBER

(D)

DEMOLISH

(E)

EXISTING

(N)

NEW

(R)

REMOVE

A.B.

ANCHOR BOLT

ABV.

ABOVE

ADJ.

ADJACENT

A.F.F.

ABOVE FINISHED FLOOR

AGGR.

AGGREGATE

ALN.

ALIGN

ALUM.

ALUMINUM

APPROX.

APPROXIMATE

ARCH.

ARCHITECTURAL

AV.

AUDIO VISUAL

BD.

BOARD

BLDG.

BUILDING

BLK.

BLOCK

BLKG.

BLOCKING

BM.

BEAM

B.O.

BOTTOM OF

B.U.R.

BUILT UP ROOFING

CAB.

CABINET

CEM.

CEMENT

CER.

CERAMIC

CLG.

CEILING

CLKG.

CAULKING

CLR.

CLEAR

C.M.U.

CONC. MASONRY UNIT

C.O.

CENTER OF

COL.

COLUMN

CONC.

CONCRETE

CONT.

CONTINUOUS

DBL.

DOUBLE

DTL.

DETAIL

DIA.

DIAMETER

DIM.

DIMENSION

DN.

DOWN

DR.

DOOR

DS.

DOWNSPOUT

DWG.

DRAWING

DWR.

DRAWER

E.

EAST

EA.

EACH

ELEC.

ELECTRICAL

ELEV.

ELEVATION

ENCL.

ENCLOSURE

EQ.

EQUAL

EQUIP.

EQUIPMENT

EXT.

EXTERIOR

F.D.

FLOOR DRAIN

F.F. & E.

FURNITURE, FIXTURES & EQUIP.

F.F.

FINISH FLOOR

FIN.

FINISH

FLR.

FLOOR

FLUOR.

FLUORESCENT

FIXT.

FIXTURE

F.O.

FACE OF

F.O.C.

FACE OF CONCRETE

F.O.S.

FACE OF STUD

FNDN.

FOUNDATION

FT.

FOOT OR FEET

FTG.

FOOTING

FURR.

FURRING

GALV.

GALVANIZED

GA.

GAGE

G.F.I.C.

GROUND FAULT INTERCEPTOR

GR.

GRADE

GRND.

GROUND

GSM.

GALVANIZED SHEET METAL

GYP.

GYPSONUM

H.B.

HOSE BIB

H.C.

HOLLOW CORE

HDWD.

HARDWOOD

HDWR.

HARDWARE

HT.

HEIGHT

HORIZ.

HORIZONTAL

HR.

HOUR

INSUL.

INSULATION

INT.

INTERIOR

LAM.

LAMINATE

LAV.

LAVATORY

L.O.

LINE OF

LT.

LIGHT

MAX.

MAXIMUM

MED. CAB.

MEDICINE CABINET

MECH.

MECHANICAL

MEMB.

MEMBRANE

MTL.

METAL

MTD.

MOUNTED

MFR.

MANUFACTURER

MIN.

MINIMUM

MIR.

MIRROR

MISC.

MISCELLANEOUS

N.

NORTH

N.I.C.

NOT IN CONTRACT

NO.

NUMBER

NOM.

NOMINAL

N.T.S.

NOT TO SCALE

O/

OVER

O.A.

OVERALL

OBS.

OBSURE

O.C.

ON CENTER

O.D.

OUTSIDE DIAMETER

OPNG.

OPENING

OPP.

OPPOSITE

P.G.

PAINT GRADE

PL.

PLATE

PLAM.

PLASTIC LAMINATE

PLYWD.

PLYWOOD

PR.

PAIR

PROPLN.

PROPERTY LINE

P.T.

PRESSURE TREATED

R.

RISER

RAD.

RADIUS

R.D.

ROOF DRAIN

RDWD.

REDWOOD

REF.

REFERENCE

REFR.

REFRIGERATOR

REINF.

REINFORCED

REQ.

REQUIRED

RESIL.

RESILIENT

RL.

RAIN LEADER

RM.

ROOM

R.O.

ROUGH OPENING

S.

SOUTH

S.C.

SOLID CORE

SCHED.

SCHEDULE

SD.

SMOKE DETECTOR

SECT.

SECTION

SHR.

SHOWER

SHT.

SHEET

SM.

SIMILAR

SL.

SLOPE

S.L.D.

SEE LANDSCAPE DRAWINGS

SPEC.

SPECIFICATION

SQ.

SQUARE

S.S.D.

SEE STRUCTURAL DRAWINGS

S.S.

STAINLESS STEEL

STD.

STANDARD

STL.

STEEL

STOR.

STORAGE

STRUC.

STRUCTURAL

SYM.

SYMMETRICAL

T.

TREAD

T.B.

TOWEL BAR

TEL.

TELEPHONE

T.B.G.

TONGUE AND GROVE

THK.

THICK

TMPR.

TEMPERED

T.O.

TOP OF

T.O.P.

TOP OF PAVEMENT

T.O.W.

TOP OF WALL

T.S.

TUBULAR STEEL

TV.

TELEVISION

TYP.

TYPICAL

U.O.N.

UNLESS OTHERWISE NOTED

V.C.T.

VINYL COMPOSITION TILE

VERT.

VERTICAL

V.I.F.

VERIFY IN FIELD

W.

WEST

WI.

WITH

WD.

WOOD

W/O

WITHOUT

W.P.

WATERPROOFING

WT.

WEIGHT

S

DRAWING/DETAIL REFERENCE NUMBER

D

DRAWING OR DETAIL

S

SHEET WHERE DRAWING/DETAIL OCCURS

S

SECTION REFERENCE NUMBER

B

BUILDING SECTION

S

SHEET WHERE SECTION OCCURS

S

INTERIOR ELEVATION REFERENCE NUMBER

E

INTERIOR ELEVATION

S

SHEET WHERE INTERIOR ELEVATION OCCURS

A

ALIGN

H

HIDDEN LINE

S

STUD WALL (UNLESS NOTED OTHERWISE)

C

CONCRETE STRUCTURE, S.S.D.

I

INSULATION IN SECTION (BATT)

I

INSULATION IN SECTION (RIGID)

L

LATH AND PLASTER IN SECTION

G

GYPSONUM BOARD IN SECTION

P

PLYWOOD IN SECTION

F

FINISH WOOD IN SECTION

G

GLASS IN SECTION

D

DOOR SYMBOL

X

WINDOW SYMBOL

X

PLUMBING FIXTURE SYMBOL

X

PLUMBING FITTING SYMBOL

X

APPLIANCE SYMBOL

X

EQUIPMENT SYMBOL

X

REVISION

M

MATCHLINE

W

WORKPOINT OR DATUM

GENERAL NOTES

1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.

2. CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.

3. ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.

4. CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.

5. CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.

6. CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.

7. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.

8. ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.

9. IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

10. DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.

11. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.

12. ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSION S ARE NOT TO BE SCALED OFF DRAWINGS.

13. THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.

14. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.

15. WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS, ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.

16. CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.

17. WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.

18. ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM, U.O.N.

19. ALL GYPSONUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.

20. ALL GYPSONUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.

21. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.

22. STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

PROJECT TEAM


ARCHITECT:

ENGEL ARCHITECTS
FEDERICO ENGEL
3420 DWIGHT WAY
BERKELEY, CA 94704
c:510-332-7086
e: Fed_engel@hotmail.com

CLIENT/ OWNER:

The International Land Group
CHRISTIAN CHAN
1388 Sutter Street, Suite 723
San Francisco, CA 94109
c: 415.860.7979
f: 415.931.0309
e: cchan@igproperties.com

VICINITY MAP



SHEET INDEX

ARCHITECTURAL:

A0.0 COVER SHEET/ SITE PLANS
SITE PHOTOS

A1.1 EXISTING GROUND FLOOR PLAN
EXISTING SECOND FLOOR PLAN

A1.2 PROPOSED GROUND FLOOR PLAN
A2.2 PROPOSED SECOND FLOOR PLAN

PROJECT DATA

BLOCK:

0074

ZONED:

NCD- NORTH BEACH
COMMERCIAL

LOT:

047 (GROUND FLOOR
COMMERCIAL)
050 (UNIT 3 AKA 203)

HEIGHT LIMIT:

40'-X

OCCUPANCY:

MIXED USE CONDO

LOT SIZE:

3340 sq.Ft.

CONSTRUCTION CLASSIFICATION:

Type V-A

AREA CALCULATIONS

FLOOR LEVEL	EXISTING	PROPOSED
BASEMENT	N/A	sqFt.
GROUND FLOOR (UNIT1)	N/A	sqFt.
GROUND FLOOR (COMMON)	N/A	sqFt.
GROUND FLOOR (UNIT 1)	N/A	sqFt.
SECOND FLOOR (UNIT 3)	1063	sqFt.
THIRD FLOOR	N/A	sqFt.

TOTALS

UNIT 202: 1063+1479-48= 2494 SQFT

UNIT 1: 3331-141-1479= 1711 SQFT

SCOPE OF WORK

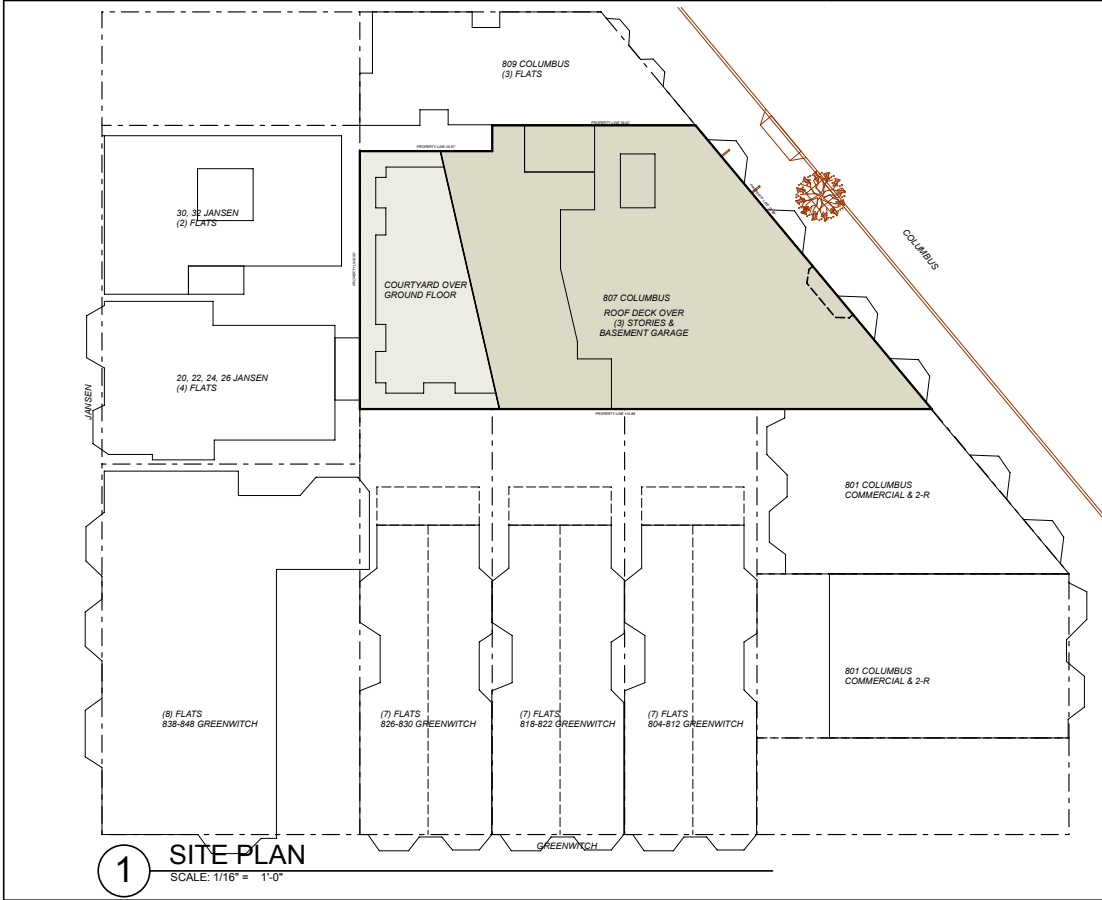
EXISTING PROPERTY IS VACANT COMMERCIAL ON THE GROUND FLOOR, (6) RESIDENTIAL UNITS ON THE SECOND AND THIRD FLOORS, AND GARAGE IN THE BASEMENT.

THE PROJECT SPONSOR PROPOSES TO ENLARGE THE SECOND FLOOR UNIT INTO THE EXISTING GROUND FLOOR VACANT SPACE WITHIN THE EXISTING ENVELOPE OF THE BUILDING. NO EXTERIOR MODIFICATIONS ARE PROPOSED.

THE REMAINING COMMERCIAL SPACE ON THE GROUND FLOOR WILL BE SUBMITTED UNDER A SEPARATE TENANT IMPROVEMENT PERMIT.

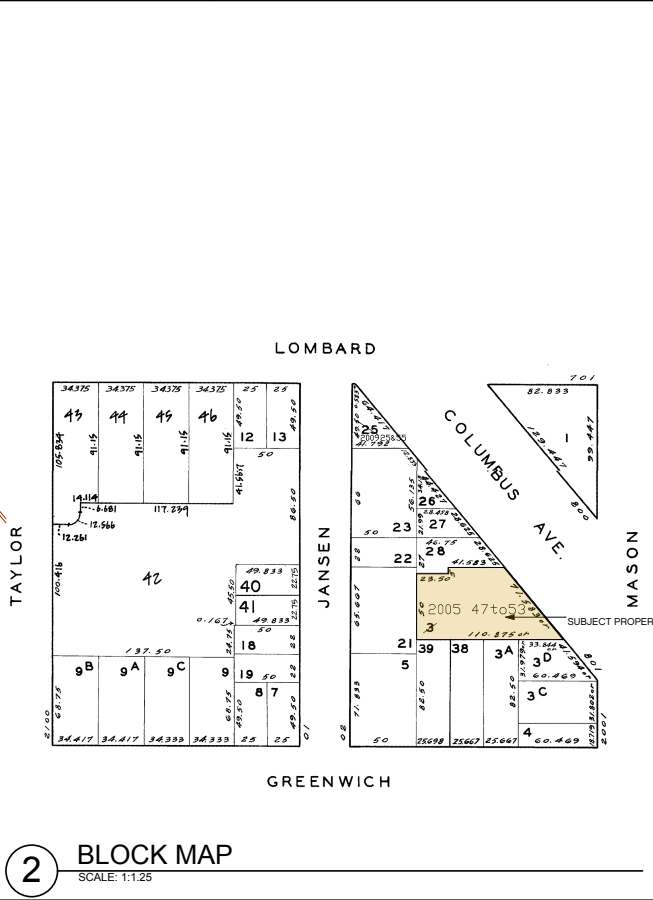
1 SITE PLAN

SCALE: 1/16" = 1'-0"



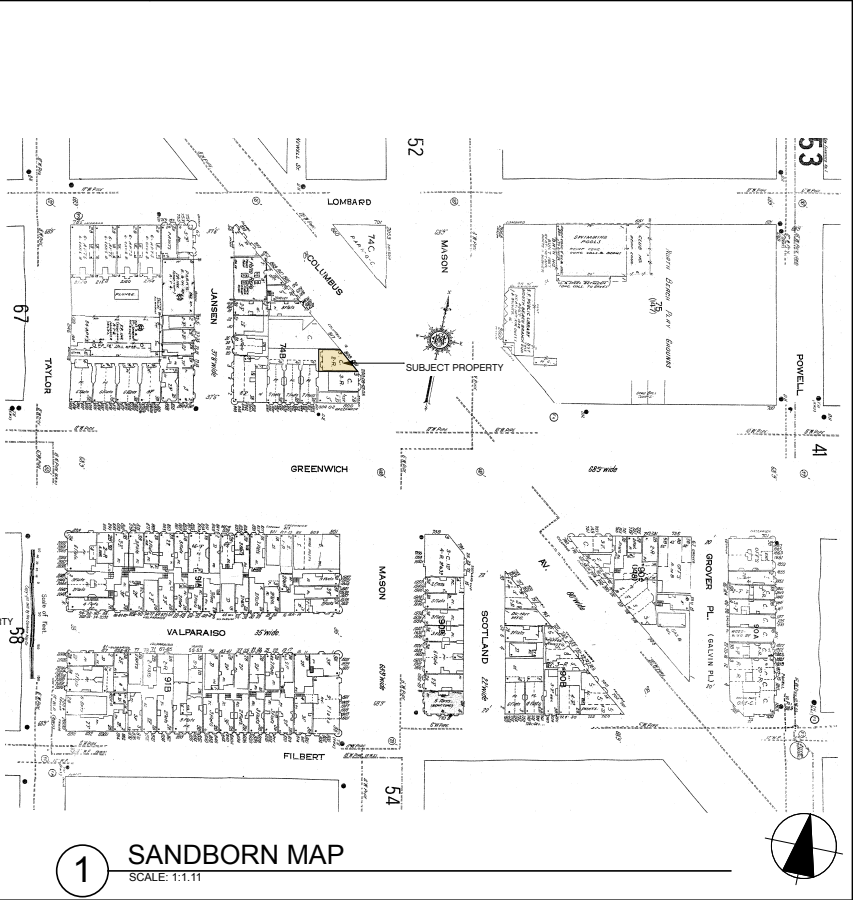
2 BLOCK MAP

SCALE: 1:1.25



1 SANDBORN MAP

SCALE: 1:1.11



ENGEL ARCHITECTS
3420 DWIGHT WAY
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510.332.7086
fed_engel@hotmail.com

807 COLUMBUS AVE:
807 COLUMBUS, UNIT #2 AKA 202, SAN FRANCISCO, CA 94133

VARIANCE PERMIT

revisions

by:

job#:

#Pin

date:

NOV. 16, 2011

drawn:

checked:

FE

scale:

AS NOTED

TITLE SHEET

A0.0



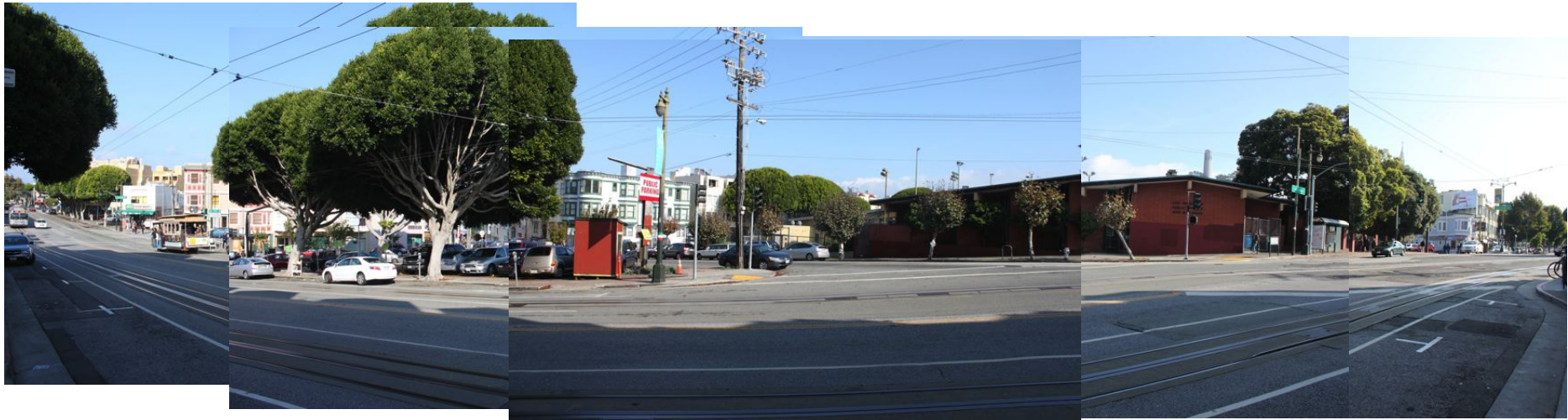
PHOTOS OF ADJACENT SIDE &
REAR PHOTOS THROUGH
PROPERTY LINE WINDOWS



INTERIOR PHOTOS
LOOKING TOWARDS BACK OF
GROUND FLOOR UNIT



COURTYARD PHOTOS
SECOND FLOOR



SUBJECT PROPERTY
807 COLUMBUS

COLUMBUS AVE
NORTH SIDE



COLUMBUS AVE
SOUTH SIDE

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807 COLUMBUS AVE.
807 COLUMBUS, UNIT #2 AKA 202, SAN FRANCISCO, CA 94133

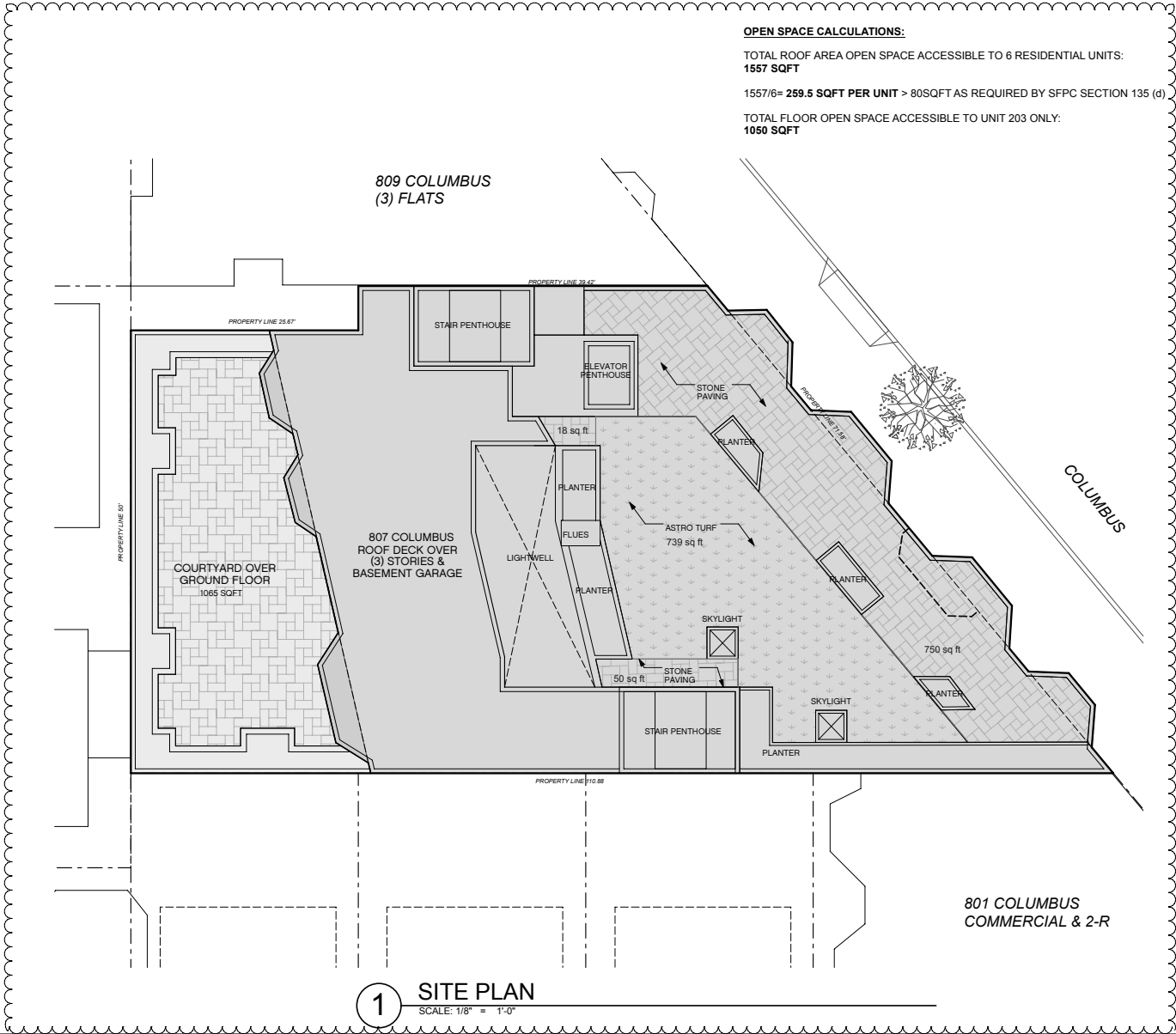
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SITE PHOTOS

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△ PLAN CHECK COMMENTS 11/17/11	

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checked:	FE
scale:	AS NOTED

SITE PLAN

EXISTING WALL
TO BE REMOVED

EXISTING WALL

NEW WALL

GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.

2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.

5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.

6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.

7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE, REMOVE WINDOW HARDWARE, U.O.N.

8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.

9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.

10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.

11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

807 COLUMBUS AVE.
807 COLUMBUS, UNIT #2 AKA 202, SAN FRANCISCO, CA 94133

VARIANCE PERMIT	
revisions	by:
10/23/11	
11/2/11 HOA	
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drawn:	
checked:	FE
scale:	AS NOTED

FIRST FLOOR
DEMO PLAN

A1.1

EXISTING WALL
TO BE REMOVED

EXISTING WALL

NEW WALL

GENERAL NOTES

1. FOR DOORS AND WINDOWS, SEE DOOR AND WINDOW SCHEDULE, SHEET A2.X.

2. FOR PLUMBING FITTINGS AND FIXTURES SEE SCHEDULES, SHEET A2.X.

3. FOR FINISHES, SEE FINISH SCHEDULE, SHEET A2.X.

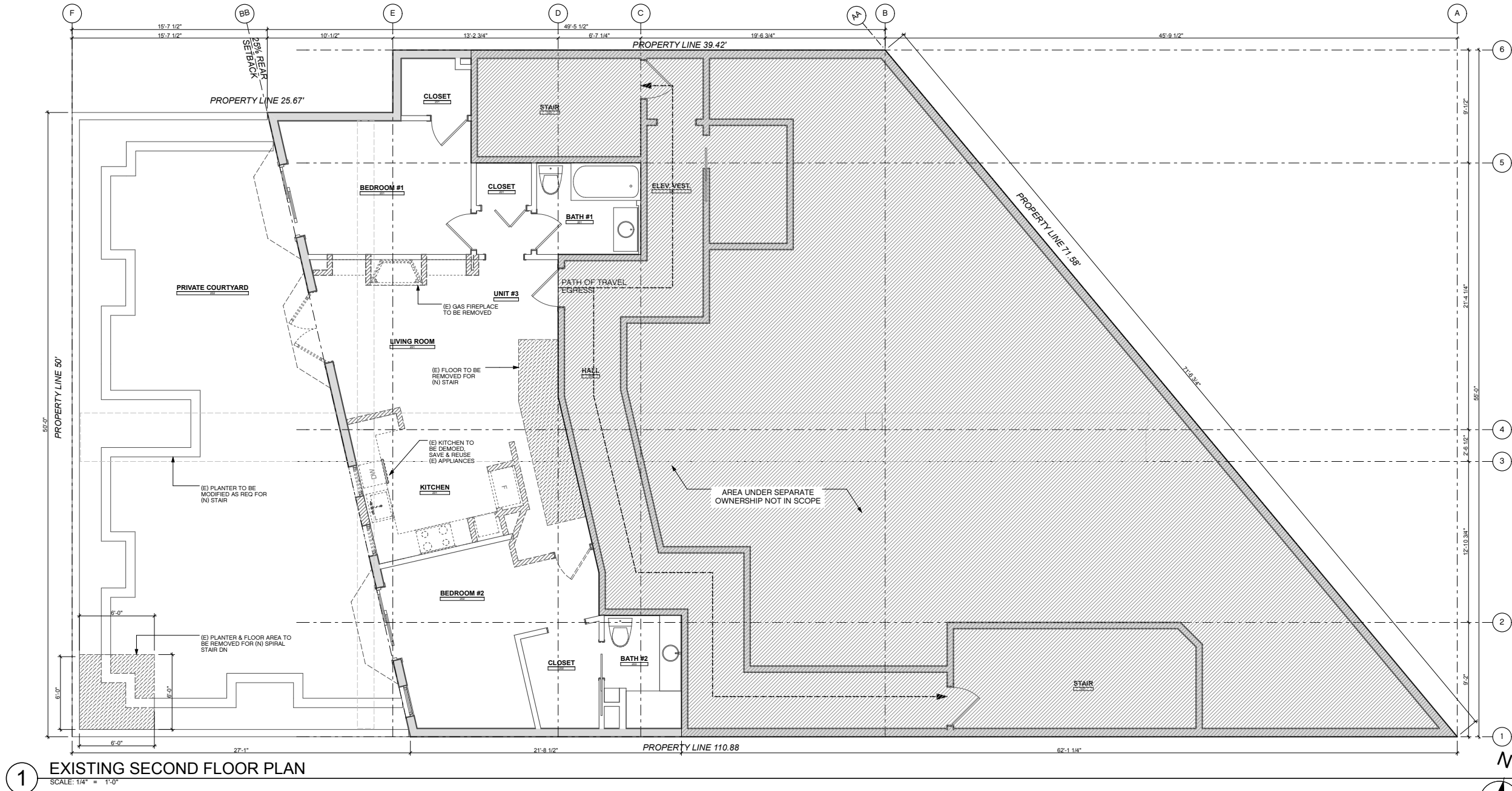
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VARIANCE PERMIT

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SECOND FLOOR
DEMO PLAN



EXISTING WALL
TO BE REMOVED

EXISTING WALL

NEW WALL

GENERAL NOTES

1. FOR DOORS AND WINDOWS, SEE DOOR AND WINDOW SCHEDULE, SHEET A2.X.

2. FOR PLUMBING FITTINGS AND FIXTURES SEE SCHEDULES, SHEET A2.X.

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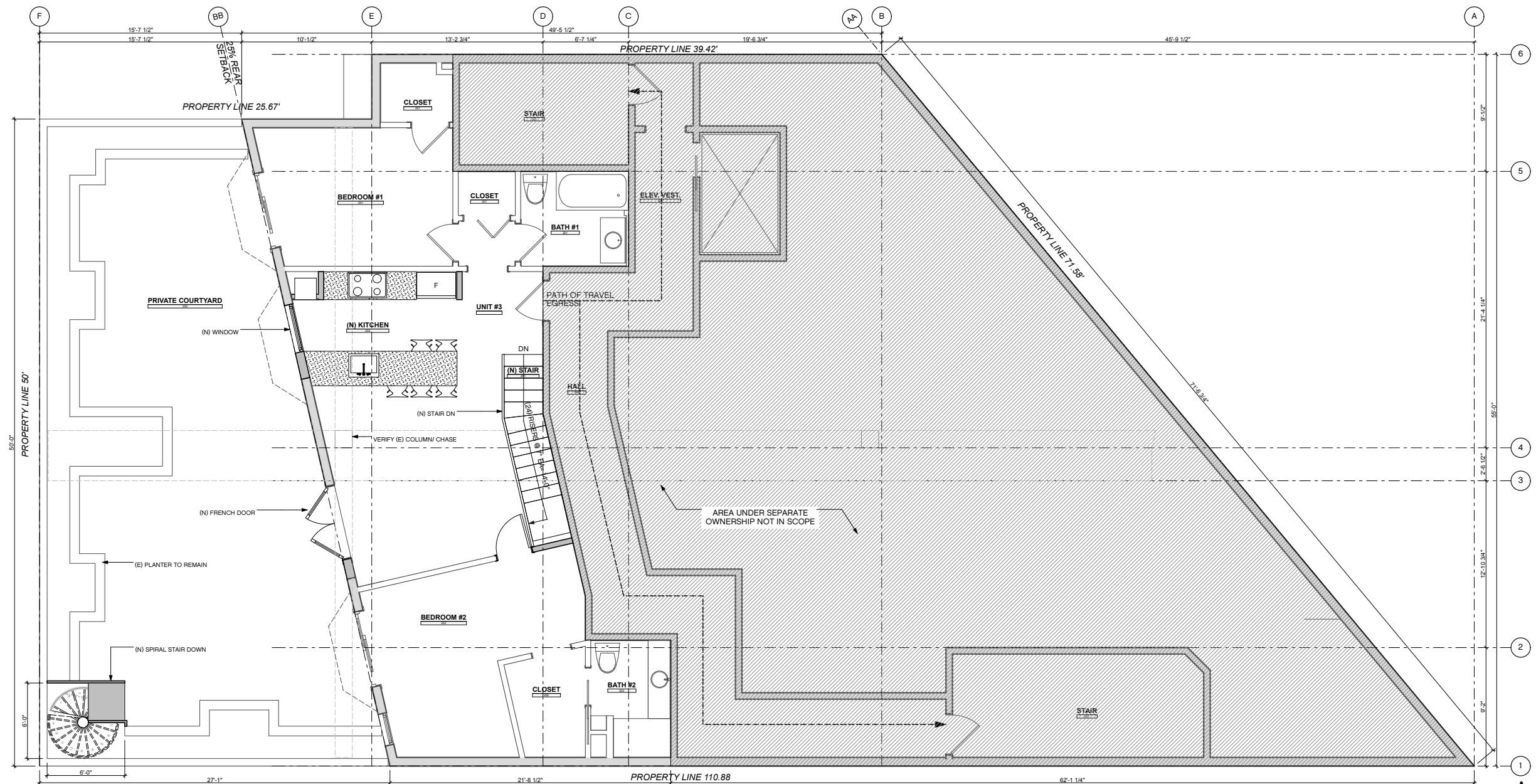
VARIANCE PERMIT	
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10/23/11	
11/2/11 HOA	
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FIRST FLOOR
PROPOSED PLAN

A2.1

GENERAL NOTES

1. FOR DOORS AND WINDOWS, SEE DOOR AND WINDOW SCHEDULE, SHEET A2.X.
2. FOR PLUMBING FITTINGS AND FIXTURES SEE SCHEDULES, SHEET A2.X.
3. FOR FINISHES, SEE FINISH SCHEDULE, SHEET A2.X.



VARIANCE PERMIT

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10/23/11	
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SECOND FLOOR PROPOSED PLAN