



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2012**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard and Noncomplying Structure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2373 Francisco St	Case No.: 2011.1299V
Cross Street(s): Broderick St./Divisadero St.	Building Permit: 2010.03.18.8454
Block / Lot No.: 0930/028	Applicant/Agent: John Stevens
Zoning District(s): RH-3 / 40-X	Telephone: 650-283-1700
Area Plan: n/a	E-Mail: stevensjohn01@yahoo.com

PROJECT DESCRIPTION

The proposal is to construct a roof deck with a fire wall that will be set back approximately 47' from the front façade, and a spiral staircase and fire wall at the rear of the building to access the roof deck from the third floor. The proposal requires a rear yard variance. This project was sent out for Section 311 Neighborhood Notification on 3/17/11 and expired on 4/15/11.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard that measures approximately 34' in depth. Currently the existing structure extends approximately 17.5' into the required rear yard. The proposed staircase and fire wall would be located on the existing building and within the required rear yard.

PER SECTION 188(a) OF THE PLANNING CODE noncomplying structures are not permitted to be expanded. The existing building is considered a legal noncomplying structure because portions of the building already encroach into the required rear yard. Therefore, the proposed staircase and fire wall would be contrary to Section 188 of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **aaron starr** Telephone: **415-558-6362** Mail: **aaron.starr@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2011.1299V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On March 17, 2011, the Department issued the required Section 311 notification for this project (expires April 15, 2011).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

N.B. DECK INVISIBLE FROM STREET:
SETBACK FIFTY FEET

+40'-0"
(N) TOP DECK (REAR ROOF)
+37'-0"
(E) ROOF RIDGE

+32'-0"
(E) SIDEYARD CORNICE

EAST ADJACENT BUILDING OUTLINE

+22'-0"
(E) THIRD FLOOR

+12'-0"
(E) SECOND FLOOR

+0'-0"
(E) GARAGE LEVEL

~~(N) TOP LEVEL OPEN RAIL
PER CODE SECTION 260~~

IFE WINDSCREEN UNDER TOP
DECK TO SCREEN MAIN DECK

(N) GLASS WINDSCREENS (SEE WEST ELEVATION)
FACING ADJACENT GARDEN SIDEYARDS

+42'-0"
(E) NEIGHBOR

WEST ADJACENT BUILDING OUTLINE

PERMITTED BUILDING ENVELOPE
(DASHED) N.J.C. CODE SECTION
260 EXCEPTION FOR OPEN RAILS

~~(N) TOP LEVEL OPEN RAIL
PER CODE SECTION 260~~

(N) GLASS WINDGUARDS
(NO CORNICE; CANTILEVERED,
LAMINATED AND TEMPERED GLASS)

(N) WOOD GUARDRAIL

(N) OPEN CABLE RAIL
PER CODE SECTION 260

NORTH ELEVATION - FRANCISCO STREET

1/8" = 1'-0"

2

(E) CORNICE LINE

(E) ROOF TOP (DASHED LINE)

(E) STAIR (SECOND EGRESS)
NO ACCESS TO DECK FROM
LOWER UNITS (DECK LOCKED)

+40'-0"
(N) TOP DECK
+35'-6"
(N) WOOD GUARDRAIL
+32'-0"
(E) SIDEYARD CORNICE

+22'-0"
(E) THIRD FLOOR

+12'-0"
(E) SECOND FLOOR

+0'-0"
(E) GARAGE LEVEL

DBI APPLICATION
MATERIALS

ELEVATIONS

WEST ELEVATION - SIDE YARD

1/8" = 1'-0"

1

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STEVENS ROOF DECK

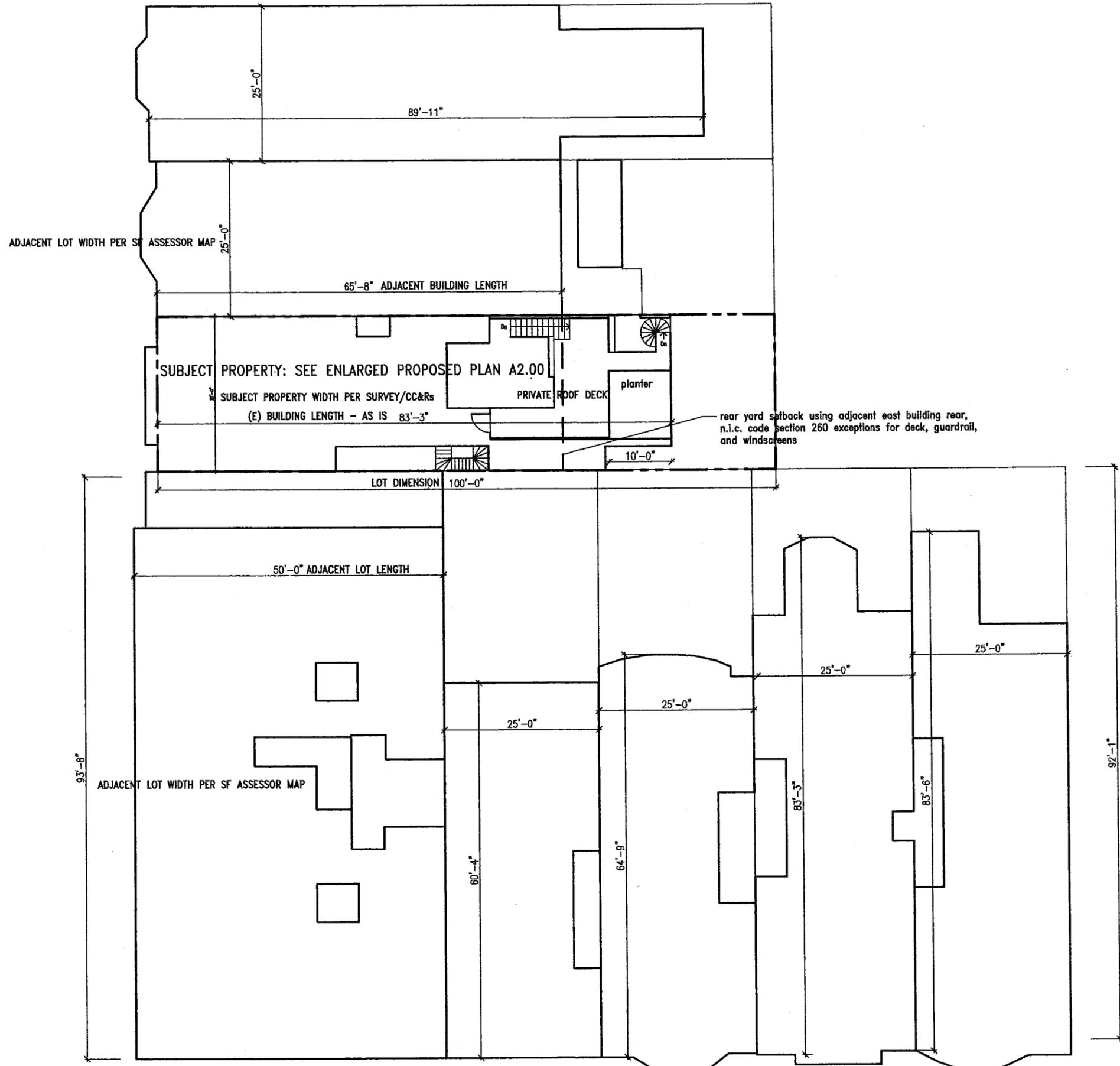
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* ALL DIMENSIONS SHALL BE VERIFIED ON SITE

A3.00

2018.14.01

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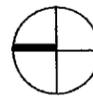


* ALL DIMENSIONS SHALL BE VERIFIED ON SITE

SITE PLAN WITH LOT WIDTHS AND ADJACENT BUILDINGS

1/8" = 1'-0"

1



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DBI APPLICATION MATERIALS

REDUCED SITE PLAN

A3.03

2010.14.01