



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 23, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Parking)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1625 Alabama Street	Case No.:	2011.1275V
Cross Street(s):	Mullen Ave & Precita St	Building Permit:	2011.06.27.9022
Block / Lot No.:	5515/026	Applicant/Agent:	Mark Topetcher
Zoning District(s):	RH-2/Bernal	Telephone:	415-359-9997
Area Plan:	Click here to enter text.	E-Mail:	Click here to enter text.

PROJECT DESCRIPTION

The proposal includes construction of a vertical and horizontal addition to the existing two-story, single-family dwelling.

PER SECTION 242 OF THE PLANNING CODE, the subject property is required to provide four independently accessible parking spaces due to the building expansion. Currently, the building accommodates three spaces in tandem. The proposal will maintain this arrangement; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Brittany Bendix** Telephone: **415-575-9114** Mail: brittany.bendix@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.1275V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On April 13, 2012, the Department issued the required Section 311 notification for this project (expires May 13, 2012).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

SHEET INDEX:

- A1.0** SITE PLAN, PROJECT INFO. & LEGENDS
- A1.1** EXISTING SITE PLAN & WINDOW SCHEDULE
- A2.0** EXISTING GROUND PLAN AND PROPOSED 1ST. FLOOR PLAN
- A2.1** EXISTING AND PROPOSED 2ND. FLOOR PLANS
- A2.2** PROPOSED UPPER FLOOR PLAN AND ROOF PLAN
- A3.0** BUILDING SECTIONS
- A4.0** EXTERIOR ELEVATIONS & SITE PHOTOS
- A4.1** EXTERIOR ELEVATIONS

TOPETCHE
ARCHITECTURE

828 DIVISADERO
SAN FRANCISCO
CALIFORNIA 941
TEL 415 359 9997
FAX 415 359 9988
toparchitecture.com

PRINTING RECORD

DATE	ACTION
SEPT. 24, 2010	PROGRESS PRINT
OCT. 4, 2010	PROGRESS PRINT
OCT. 29, 2010	PROGRESS PRINT
FEB. 21, 2011	PRELIMINARY PRICING SET
MAY 3, 2011	PROGRESS PRINT
MAY 31, 2011	NEIGHBORHOOD MTG. PRE
JUNE 20, 2011	BERNAL DES. REVIEW MTG.
JUNE 27, 2011	SITE PERMIT SUBMITTAL
FEB. 21, 2012	PLANNING COMMENTS/REV
MAR. 15, 2012	PLANNING COMMENTS2/RE
MAR. 28, 2012	PLANNING COMMENTS3/RE

All drawings and written material appearing herein constitute the original unpublished work of TOPETCHE ARCHITECTURE, INC. and the same shall not be duplicated, used or disclosed without written consent.

**VERHAVERBEKE
RESIDENCE**

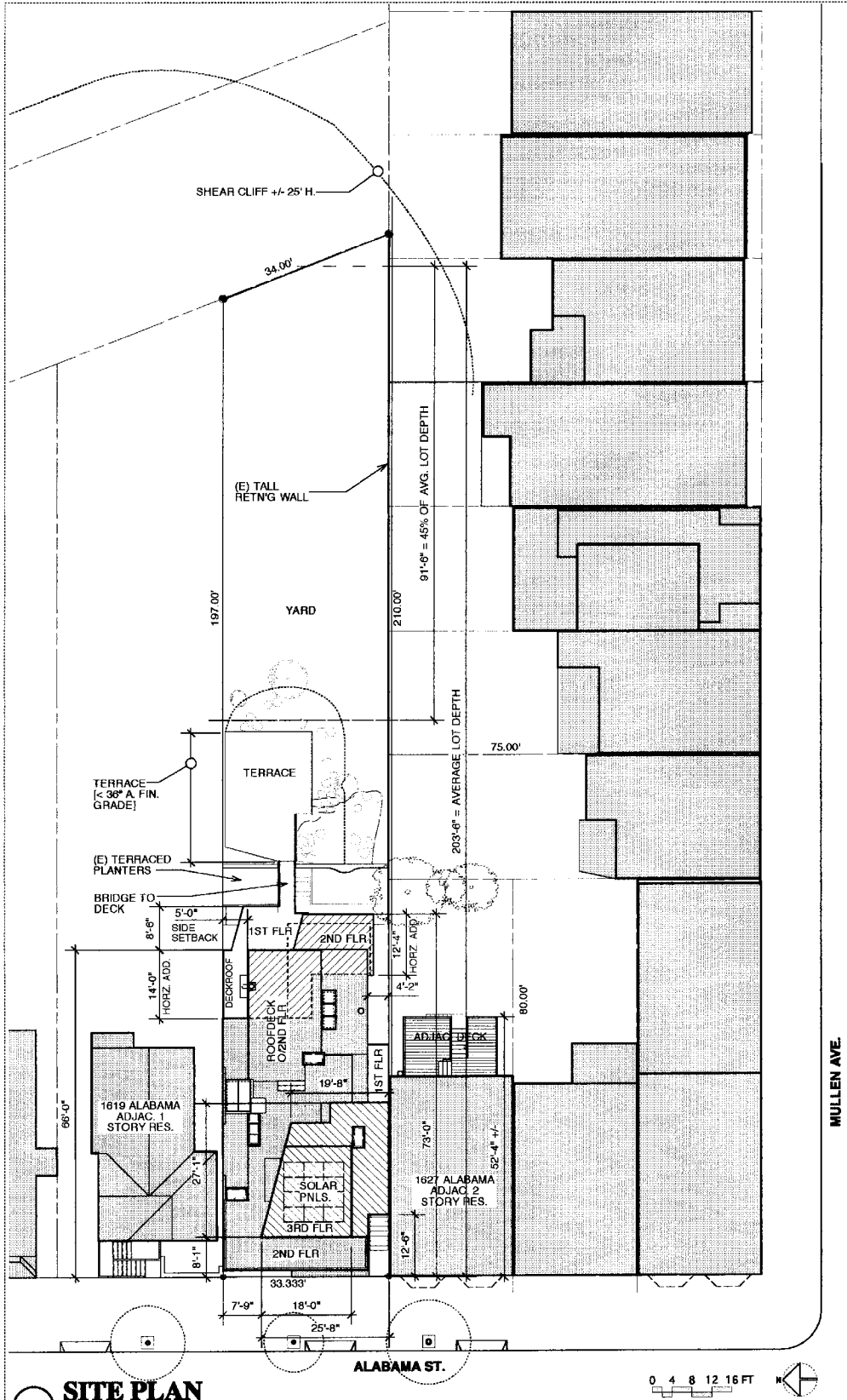
1625 ALABAMA STREET
SAN FRANCISCO, CA. 94110

PROJECT # 5515 LOT # 26

SHEET TITLE
COVER SHEET, LEGENDS
DATA & GEN. NOTES

SCALE:
AS NOTED

JOB NO.
10.07



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1.0

TO
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SAN
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TEL 4
FAX 4
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PRINTING REC

DATE	A
SEPT. 24, 2010	PROGRESS
OCT. 4, 2010	PROGRESS
OCT. 29, 2010	PROGRESS
FEB. 21, 2011	PRELIMINA
MAY 3, 2011	PROGRESS
MAY 31, 2011	NEIGHBOR
JUNE 20, 2011	BERNAL DE
JUNE 27, 2011	SITE PERM
FEB. 21, 2012	PLANNING
MAR. 15, 2012	PLANNING
MAR. 28, 2012	PLANNING

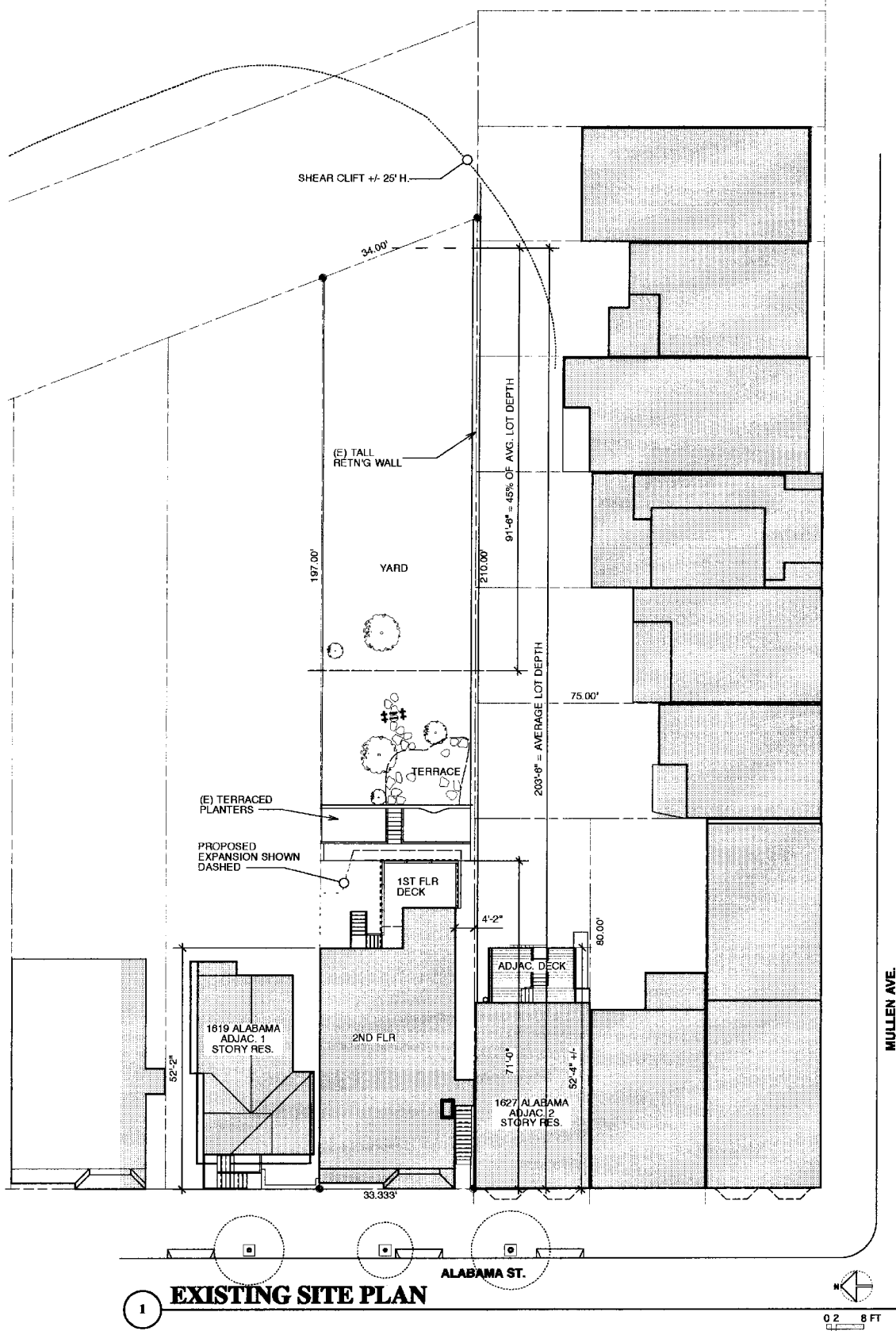
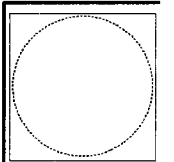
All drawings and written material are property of the architect and shall not be duplicated, used or disclosed without the written consent of the architect.

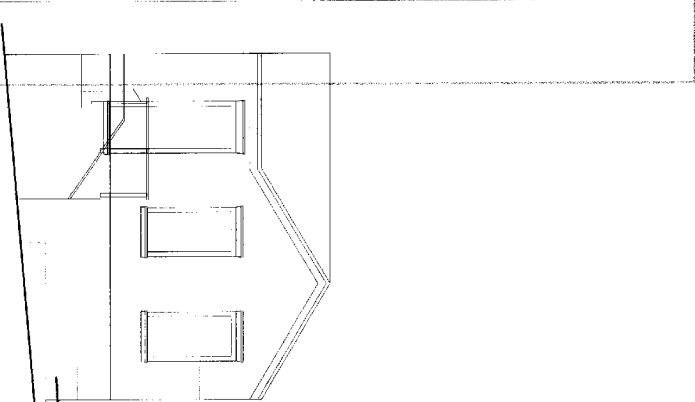
**VERHAVERBEKE
RESIDENCE**
1625 ALABAMA STREET

SHEET T
EXISTING SITE

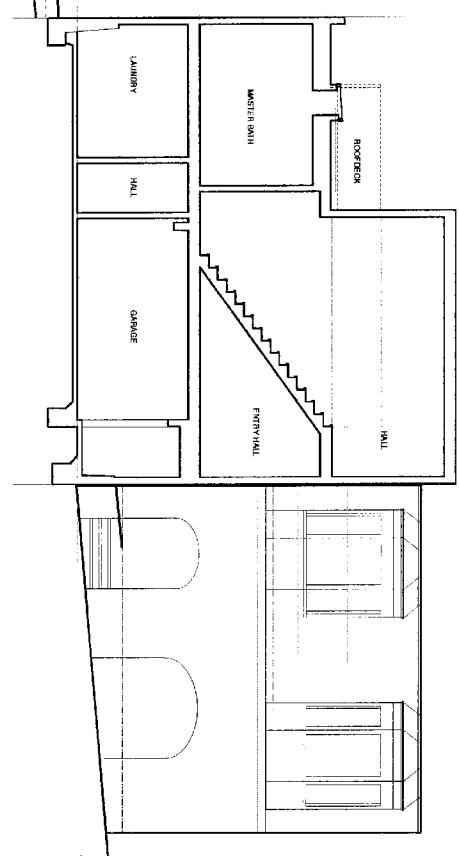
SCALE:
AS NOTED

MARK J. TOPPETER, ARCHITECT ©

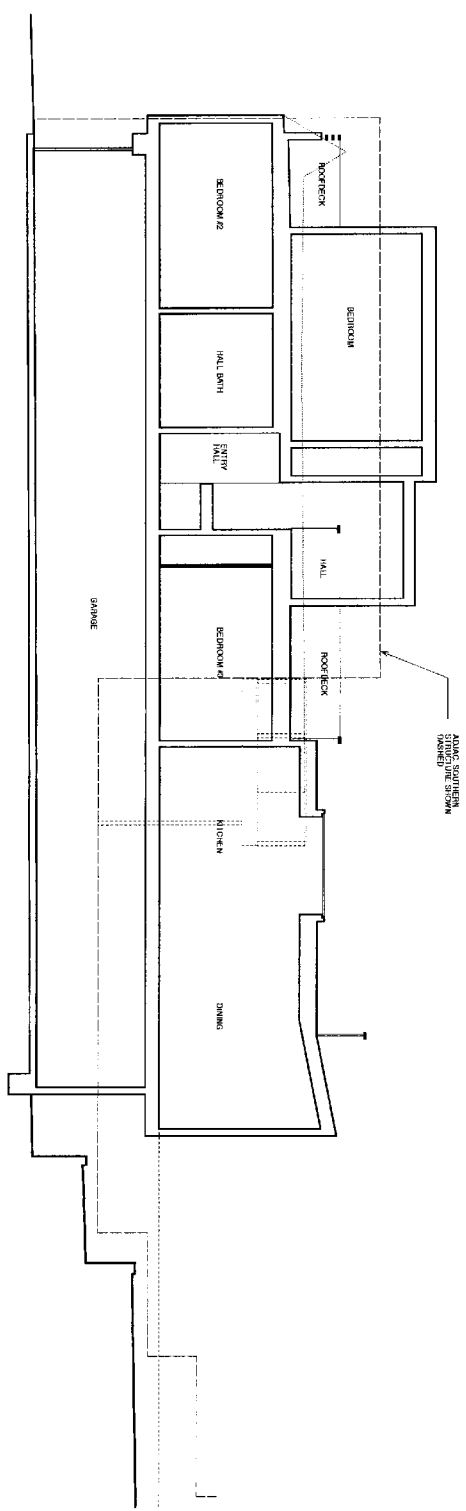
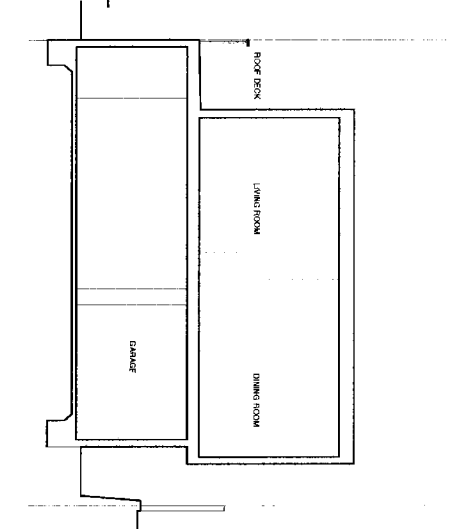




1 BUILDING SECTION



3 BUILDING SECTION



2 BUILDING SECTION

LOPETCHER
ARCHITECTURE INC.
828 DIVISADERO
SAN FRANCISCO
CALIFORNIA 94117
TEL 415 398 8317
FAX 415 398 8986
lopetcher@comcast.net

PRINTING RECORD	
DATE	ACTION
SEP 24, 2012	PROCESSED PRINT
OCT 4, 2012	PROCESSED PRINT
OCT 10, 2012	PROCESSED PRINT
OCT 29, 2012	PRINT MAKING (PENDING)
MAY 3, 2011	PROCESSED PRINT
MAY 31, 2011	NEIGHBORHOOD MEETING
JUNE 24, 2011	BRNAL LABS. REVIEW MEET.
JUNE 29, 2011	SITE REVIEW. SUBMITTAL
FEB 24, 2012	PLANNING COMMISSION REVIEW
MAY 19, 2012	PLANNING COMMISSION REVIEW
MAY 28, 2012	PLANNING COMMISSION REVIEW

**VERHAVERBEKE
RESIDENCE**
1625 ALABAMA STREET
SAN FRANCISCO, CA. 94110
BLOCK # 5515 LOT # 26

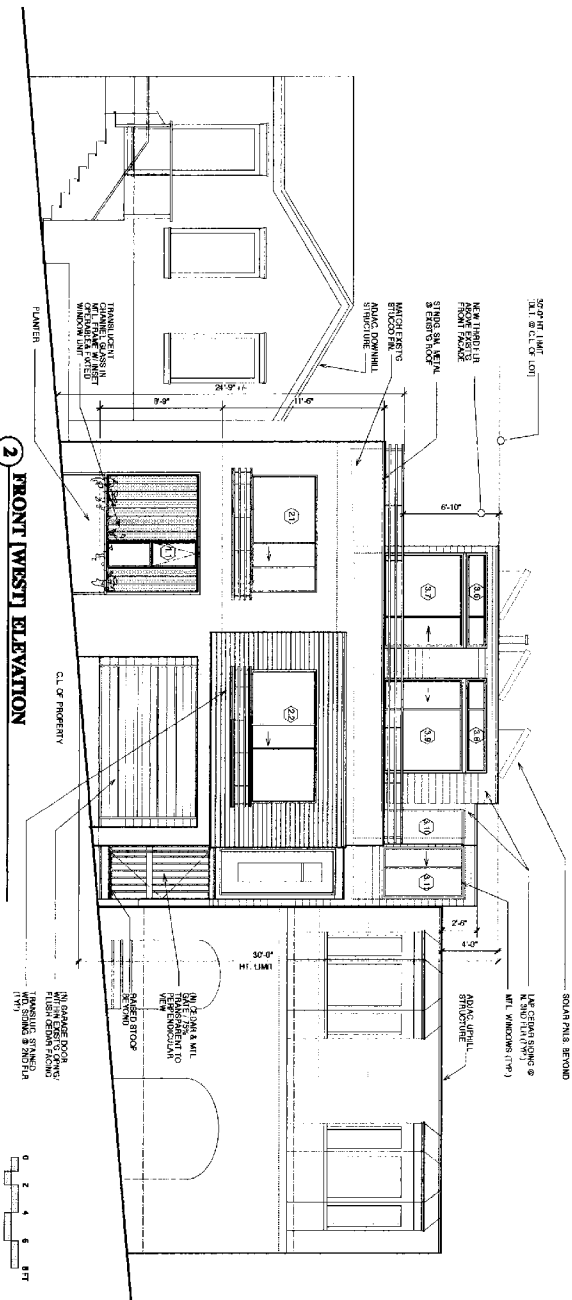
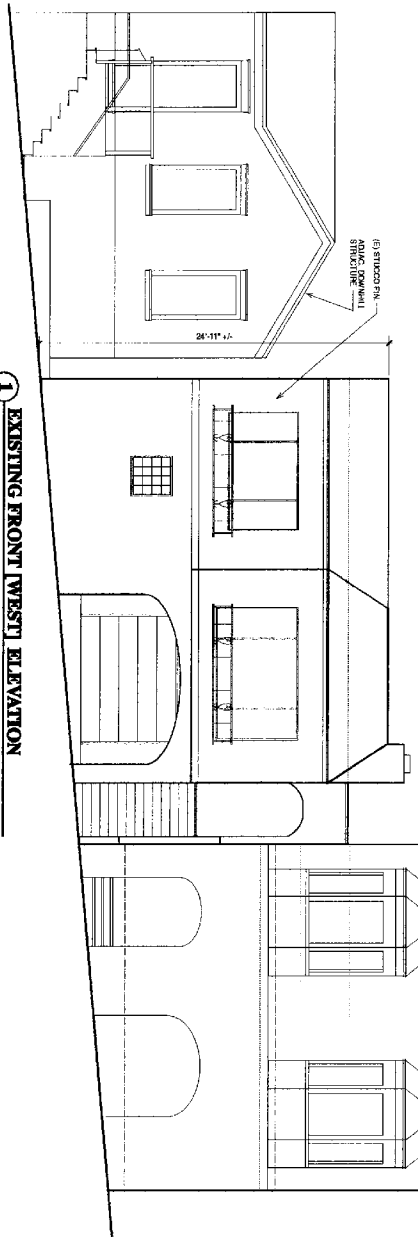
SHEET TITLE
BUILDING SECTIONS

Scale: 1/4" = 1'-0"

Scale: 1/8" = 1'-0"

DATE: 09/24/2012 09:47:41 AM
USER: jlopetcher


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3.0



IDEETCHER
ARCHITECTURE INC.

828 DIVISADERO
SAN FRANCISCO
CALIFORNIA 94117
TEL 415 359 9657
FAX 415 359 9656
10330CHICAGO2.COM

PRINTING RECORD	
DATE	ACTION
APRIL 24, 2010	PROCESSED PRINT
OCT 4, 2010	PROCESSED PRINT
OCT 26, 2010	PROCESSED PRINT
FEB 24, 2011	PRELIMINARY PUBLISH SET
MAY 5, 2011	PROCESSED PRINT
MAY 13, 2011	REVISIONS COMPLETE
JUNE 20, 2011	FINAL COPY RECEIVED
FEB 27, 2012	SET FOR REPRODUCTION
FEB 28, 2012	PLANNING COMMERCE SHEETS
MAY 15, 2012	PLANNING COMMERCE SHEETS
MAY 26, 2012	PLANNING COMMERCE SHEETS

	1/4" = 1' - 0" DATE TO 11/07		SHEET TITLE BUILDING ELEVATIONS & SITE NOTES	VERHAVERBEKE RESIDENCE 1625 ALABAMA STREET SAN FRANCISCO, CA. 94110 BLOCK # 5515 LOT # 26
	1/4" = 1' - 0" DATE TO 11/07			

