



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 25, 2012**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard and Non-Complying Structure)**
Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | APPLICATION INFORMATION |
|--|---|
| Project Address: 1884 Green St | Case No.: 2011.1274V |
| Cross Street(s): Octavia & Laguna Streets | Building Permit: 2011.09.20.5107 |
| Block / Lot No.: 0543/041 | Applicant/Agent: Rachel Pollard |
| Zoning District(s): RH-3 / 40-X | Telephone: 415-692-0611 |
| Area Plan: n/a | E-Mail: rachel@sfgarageco.com |

PROJECT DESCRIPTION

The proposal is to legalize a portion of the ground floor unit that was removed and expanded at the eastern side and rear of the three-story over garage, three-unit building. The expansion is approximately 37 square feet.

PER SECTION 134 OF THE PLANNING CODE the subject property requires the rear yard area to be equivalent to 25 percent of the total lot depth. The subject property, with a lot depth of 100 feet, has a required rear yard of 25 feet. The proposal would encroach approximately 10 feet into the required rear yard.

PER SECTION 188 OF THE PLANNING CODE a noncomplying structure may be altered provided no new discrepancy is created. The rear portion of the existing building is a noncomplying structure as it was constructed within the required rear yard area. The proposed horizontal addition would enlarge the non-complying structure, and thus would be contrary to Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Christine Lamorena** Telephone: **415-575-9085** Mail: christine.lamorena@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.1274V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On March 12, 2012, the Department issued the required Section 311 notification for this project (expires April 10, 2012).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES:

1. GENERAL CONDITIONS:

- A. Details and dimensions of construction shall be verified at the site by the Contractor, and discrepancies between the plan and existing conditions shall be promptly reported to the Structural Engineer.
- B. Do not Scale These Drawings.
- C. All work shall comply with the requirements of California Building Codes 2000, IBC 2003
- D. Mercury Engineering Group assumes no responsibility for the supervision of construction or proper execution of the work shown on these drawings. Safety methods and techniques are the sole responsibility of the Contractor.

2. SHORING AND BRACINGS:

- A. It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, etc. as required for the protection of life and property prior to and during all construction. Such design and method of shoring and bracing shall be submitted to the Structural Engineer for review prior to such work.
- B. It shall be the Contractor's sole responsibility to design and provide underpinning for adjacent structure as required for protection of life and property to all construction. Such design and method of underpinning shall be submitted to the Structural Engineer for review prior to such work.

3. FOUNDATION

- A. Allowable soil pressure: for DL + LL = 1500 psf
- B. All footing shall bear on undisturbed soil below natural or finished grade, whichever is lower.
- C. Where there is a differential elevation at bottoms of adjacent foundation which exceeds two feet (2'-0"), foundation shall be stepped as shown on stepped footing details.
- D. Foundation wall backfill shall be brought up simultaneously on each side so that earth level on one side is never more than 8" than the other side unless approved shoring is provided.

4. BACKFILL:

- A. Fill shall be free from organic matter and other deteriorate substances.
- B. Rock base shall be graded mineral aggregate.
- C. Sand shall be natural conforming to ASTM C35.
- D. Vapor barrier shall be 6-mil polyethylene.
- E. Compaction: Compact fill shall be done by power tamping, rolling or combinations thereof in layers 8 inches or less to at least 90 percent relative compaction.

5. CONCRETE

A. Basis for Design:

| | Min. Strength @ 28 days psi | Max. Agg. Size (Inch) | Max. Slump (Inch) | Max. Content (%) | Max. Drying Shrinkage % | Agg. Type |
|-----------------------------|-----------------------------------|-----------------------------|-------------------------|------------------------|-------------------------------|--------------|
| Spread Ftgs & Grade Beam | 2500 | 1 | 3 | 5 | -- | Hard Rock |
| Slab on grade | 2500 | 3/4 | 2 1/2 | 6 | 4 | Hard Rock |

- B. All reinforcing steel bar shall be ASTM A615 Grade 40 for #4 and smaller, and ASTM A615, Grade 60 for #5 and larger.
All Welded-Wire Fabric shall be ASTM A105
All Tie Wire shall be ASTM A82 black annealed.
- C. Minimum concrete protection for reinforcements shall be 3" (to face of bars) where concrete is poured against earth, 2" where concrete is poured against forms below ground, and 1 1/2" unless indicated on the drawings, where concrete is poured elsewhere.
- D. All reinforcing, anchor bolts, inserts etc. shall be rigidly secured in place prior to pouring concrete.
All horizontal reinforcing to be supported on galvanized chairs except that mortar blocks or other approved methods of support shall be used at footings, and slab on grade.
- E. **Formwork:**
Lumber: DF, Construction Grade, S1S2E
Plywood: APA Graded, Plyform, B-B Ext.
Paper: For all around concrete columns, Sonotube Fiber Forms as manufactured by Sonoco Co., or Economold as manufactured by Deslaurers Column Mould Co. or equal.

6. CARPENTRY:

- A. Beams, joists and purlins shall only be cut as shown on drawings. Holes and cutouts shall not be larger than 1/3 of the depth of member from top nor be located farther than 3 times depth of member from supports.
- B. Timber fasteners and hangers shall be as manufactured by Simpson Company or equal.
- C. All nails shall be common nails.

D. Framing lumber shall be Douglas Fir (Unless otherwise noted)

| USE | GRADE |
|--------|--------------|
| Sill | #2 or better |
| Plates | #2 or better |
| Joists | #1 |
| Posts | #1 |
| Studs | #2 |

E. Plywood sheathing shall be Douglas Fir, Grade 1, C-C exterior "Exposure 1", unless noted otherwise.

**F. Parallell strand lumber (PSL)
2# E Douglas fir parallell PSL by MacMillan or approved equal**

G. All wood exposed to weather shall be Pressure Treated Wood or Redwood (grade: clear structural). All bolt and nail holes shall be caulked & sealed with appropriate caulking material.

Contractor should check to make sure that each piece of Lumber & Plywood bears an appropriate mark certifying by the preservative treater with the treating and drying provisions of the American Wood Preservers Bureau AWPB-FDN Standard.

7. STRUCTURAL STEEL

- A. All structural steel shapes, plates, tubing and bars shall conform with ASTM A-36.
- B. Pipe columns shall conform with ASTM A53, Grade B.
- C. Fabrication and erection shall be in accordance with the latest AISC Spec. All Welding shall be done by certified welders.
- D. All anchor bolts and machine bolts shall be ASTM A307. All high strength bolts shall be ASTM A325. All welding electrodes shall be ASTM A233, E70XX6.
- E. All steel exposed to weather shall be galvanized.

In accordance with Section 1701 of the Uniform Building Code, Special Inspection is required for the following work:

| Type of Work for which Special Inspection is required: |
|--|
| 1. Plywood thickness and nailing at floor and roof. |
| 2. Plywood thickness and nailing at shear walls. |
| 3. Anchor Bolts Installation. |
| 4. Rebar placement at concrete footing. |

Notes:

The Contractor shall coordinate all required testing and inspections. The cost of testing and inspection shall be borne by the owner. Any re-testing & re-inspection will be borne by the Contractor.

PROPERTY DATA:

OWNER : PATRICK TOBIN
ADDRESS : 1884 GREEN STREET
BLOCK/LOT : 0543 / 041
TYPE OF CONSTR : V-B
NO OF STORIES OF OCCUPANCY : 3
PRESENT USE : CONDOMINIUM
OCCUP. CLASS : R-2
NO OF DWELLING UNIT : 3

SCOPE OF WORK:

VARIANCE APPLICATION 20111214V TO LEGALIZE HORIZONTAL ADDITIONS AT FIRST FLOOR

MERCURY ENGINEERING
1041A Folger St., Berkeley CA 94710
510.549.0440 fax: 510.704.1975



BLOCK 0543 LOT 041
1884 GREEN STREET
SAN FRANCISCO, CA

Date: Feb. 2012

Dwg Size: 24x36

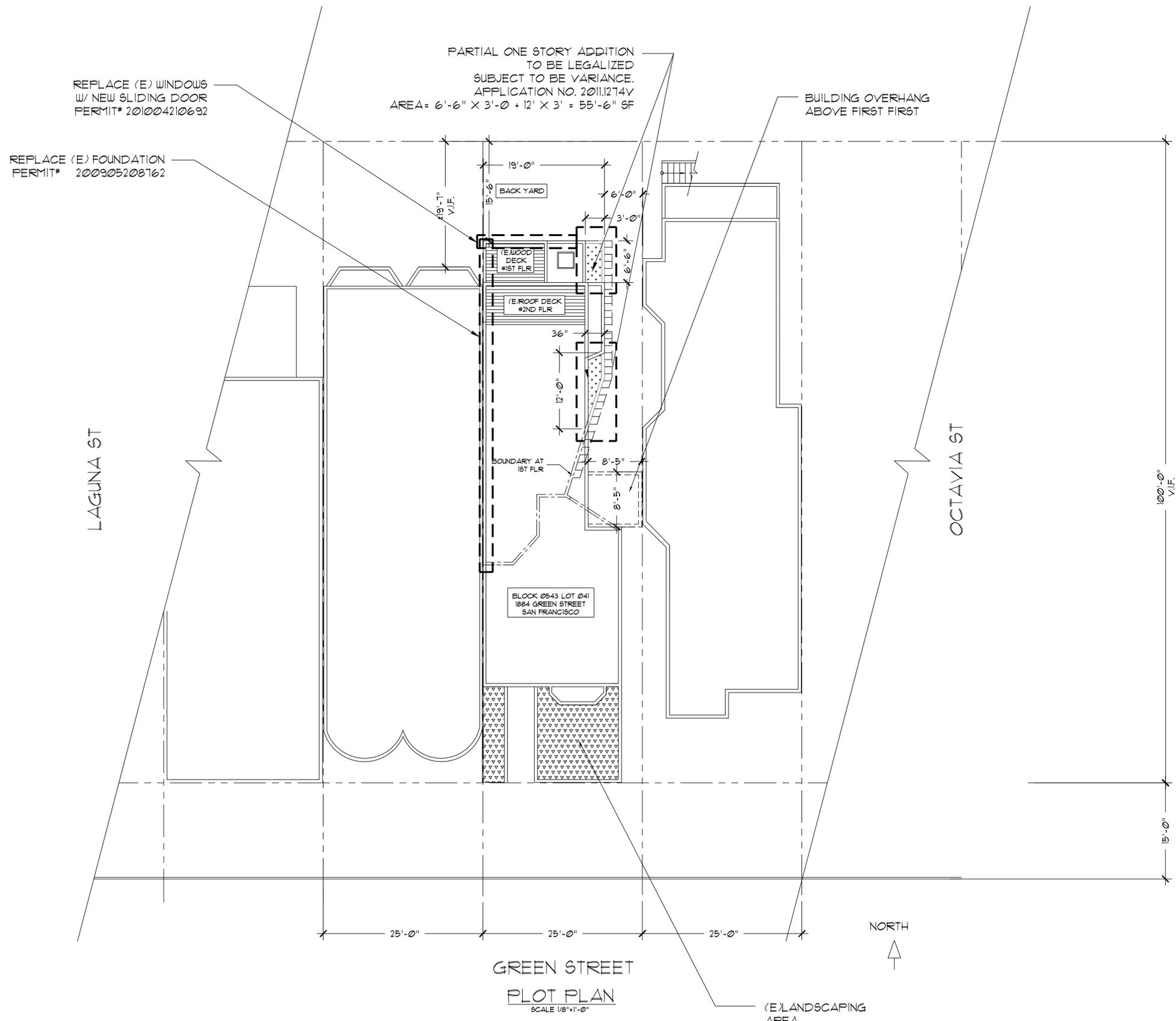
Scale: A.N.

GENERAL NOTES

SHEET

A-1

OF 1 SHEET



MERCURY ENGINEERING
1041A Folger St., Berkeley CA 94710
510.549.0440 fax: 510.704.1975



BLOCK 0543 LOT 041
1884 GREEN STREET
SAN FRANCISCO, CA

Date: Feb. 2012
Dwg Size: 24x36
Scale: A.N.

PLOT PLAN

SHEET

A-2

OF 2 SHEET



BLOCK 0543 LOT 041
 1884 GREEN STREET
 SAN FRANCISCO, CA

Date: Feb. 2012
 Dwg Size: 24x36
 Scale: A.N.

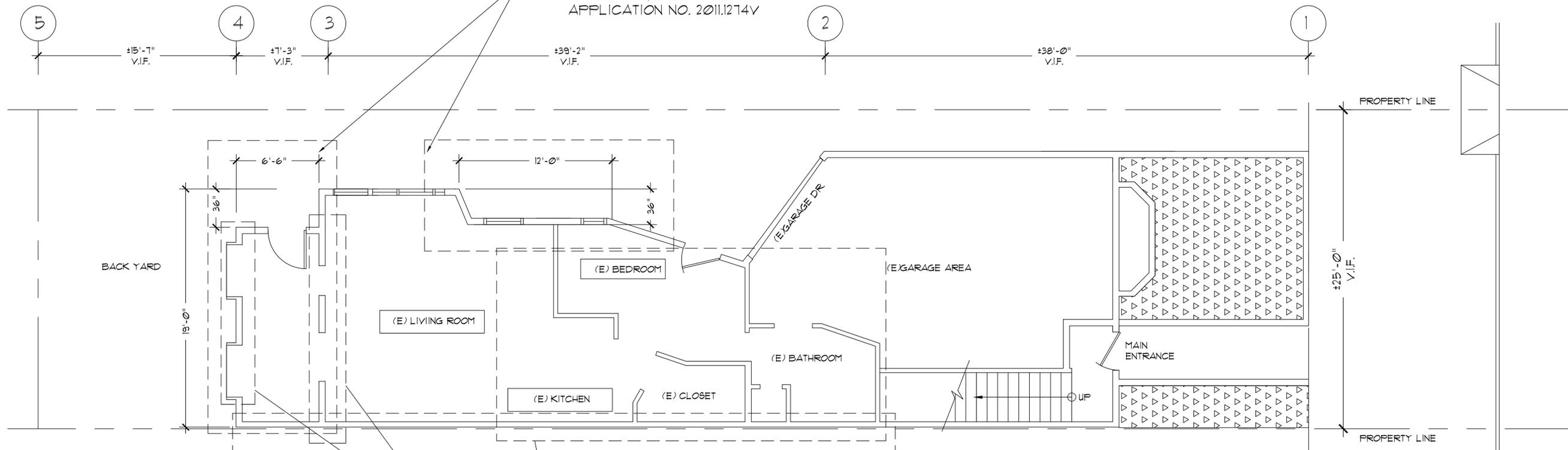
FLOOR PLAN

SHEET

A-3

OF 3 SHEET

PARTIAL ONE STORY ADDITION TO BE LEGALIZED, SUBJECT TO VARIANCE APPLICATION NO. 2011.1214V

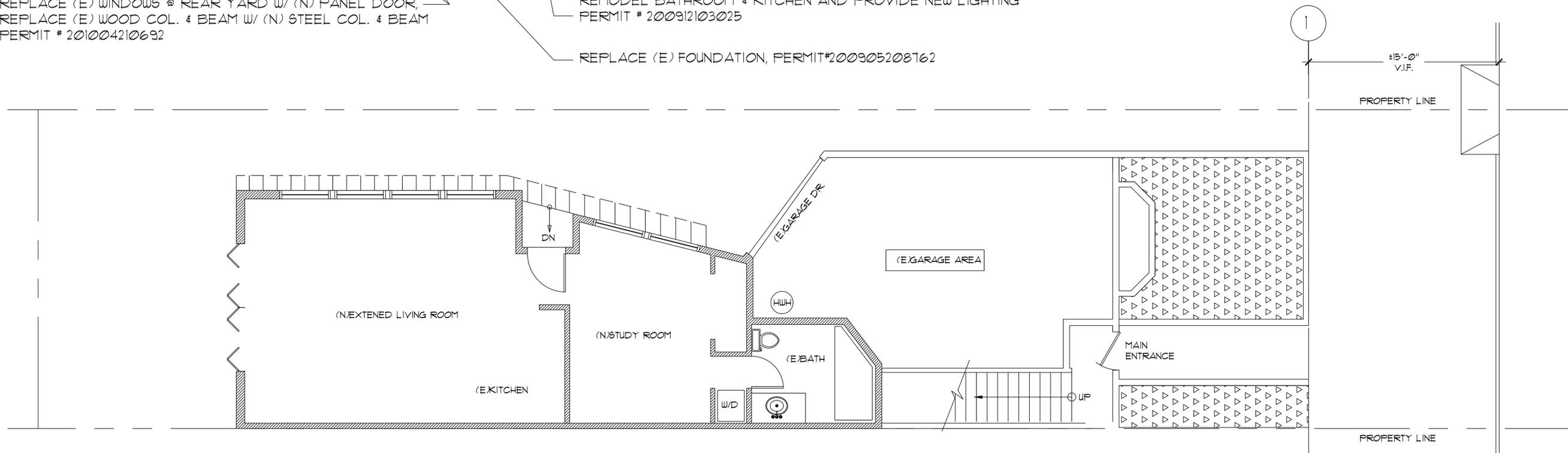


PRE-EXISTING FIRST FLOOR PLAN
 SCALE 1/8"=1'-0"

REPLACE (E) WINDOWS @ REAR YARD W/ (N) PANEL DOOR,
 REPLACE (E) WOOD COL. & BEAM W/ (N) STEEL COL. & BEAM
 PERMIT # 201004210692

REMODEL BATHROOM & KITCHEN AND PROVIDE NEW LIGHTING
 PERMIT # 200912103025

REPLACE (E) FOUNDATION, PERMIT#200905208762



(N) PROPOSED FIRST FLOOR PLAN (TO BE LEGALIZED)
 SCALE 1/8"=1'-0"

NEW WALL



BLOCK 0543 LOT 041
 1884 GREEN STREET
 SAN FRANCISCO, CA

Date: Feb. 2012
 Dwg Size: 24x36
 Scale: A.N.

ELEVATION VIEW

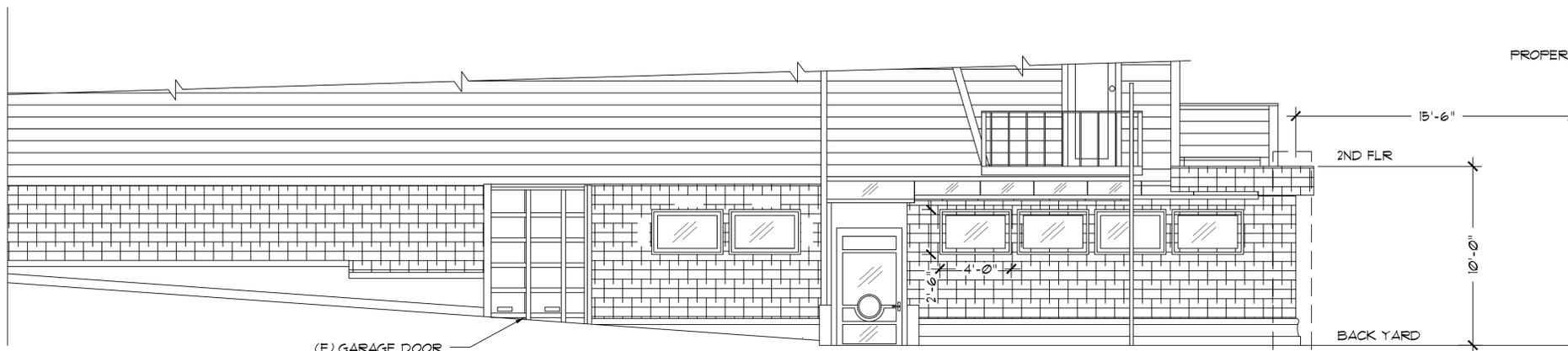
SHEET

A-4

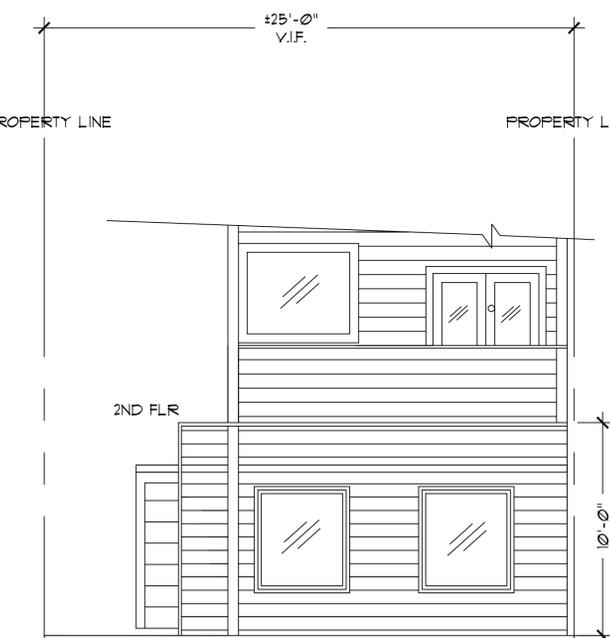
OF 3 SHEET



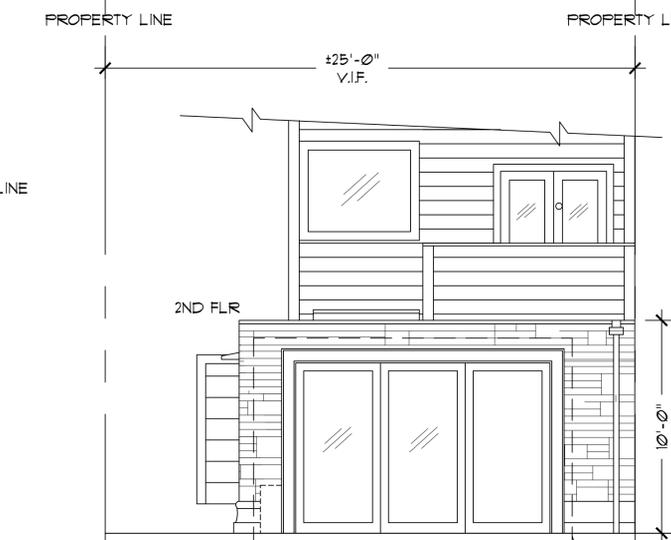
(E) EAST SIDES ELEVATION
 SCALE 1/4"=1'-0"



(N) PROPOSED EAST SIDES ELEVATION
 SCALE 1/4"=1'-0"



(E) NORTH ELEVATION
 SCALE 1/8"=1'-0"



(N) NORTH ELEVATION
 SCALE 1/8"=1'-0"

PARTIAL ONE STORY ADDITION TO BE
 LEGALIZED, SUBJECT TO VARIANCE
 APPLICATION NO. 2011.1274Y

REPLACE (E) WINDOWS @ REAR YARD W/ (N) PANEL DOOR,
 REPLACE (E) WOOD COL. & BEAM W/ (N) STEEL COL. & BEAM
 PERMIT # 201004210692