NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, February 22, 2012

Time: **9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance(Rear yard)
Hearing Body: Zoning Administrator

PORPERT	TY INFORMATION	APPLICAT	ION INFORMATION
Project Address:	543-547 Grove Street aka 444 Ivy Street	Case No.:	2011.1231V
Cross Street(s):	Octavia Blvd, Laguna Street	Building Permit:	2011 1121 9392
Block / Lot No.:	0807/022	Applicant/Agent:	Reza Khoshnevisan
Zoning District(s):	RTO/40-X	Telephone:	(415) 922-0200 x 108
Area Plan:	Market and Octavia	E-Mail:	reza@siaconsult.com

The subject lot is a through lot (between Grove and Ivy Streets). The proposal is to construct a new four-story, single-family dwelling at the rear of the lot (Ivy Street). A four-story, three-family dwelling is currently under construction on the front of the lot (Grove Street) under a separate permit. The project will have a rear yard of 14 feet measured between the rear wall of the proposed Ivy Street building and the rear deck on the Grove Street building (22.6 feet measured between the rear walls of

PROJECT DESCRIPTION

the buildings).

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard equal to 45% of the depth of the lot, equal to 54 feet for the subject lot. The rear yard proposed between the Grove Street building on the lot and the proposed Ivy Street building is approximately 14 feet; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: rick crawford Telephone: 415-558-6358 Mail: rick.crawford@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: Click here to enter text.

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. On December 21, 2011, the Department issued the required Section 311 notification for this project (expires January 19, 2012).

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

1. PROPOSED NEW CFAMILY HOME	CONSTRUCTION OF FOUR-STORY SINGLE	Muchilles St. Muchil	OCTAVIA OCT	SAN FRANCISCO, O
LOT AREA: GARAGE AREA: FIRST FLOOR GROSS AR SECOND FLOOR GROSS AR THIRD FLOOR GROSS AR FOURTH FLOOR GROSS FLO	AREA: 631 ± S.F. REA: 636 ± S.F. AREA: 363 ± S.F.	1. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF. 2. ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL. 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MEASUREMENTS AND CONDITIONS IN THE FIELD BEFORE BEGINNING WORK. ANY DISCREPANCIES, ERROR OR OMISSIONS SHALL BE BROUGHT TO THE ARCHITECT/ENGINEER'S ATTENTION IMMEDIATELY. 4. UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.	# POUND OR NUMBER H.C. HANDICAPPED & AND HI HIGH @ AT HM HOLLOW METAL ABV ABOVE HP HIGH POINT ACT ACOUSTIC CEILING TILE HR HOUR AD AREA DRAIN HVAC HEATING, VENTILATING, AFF ABOVE FINISHED FLOOR AND AIR CONDITIONING ALUM ALUMINUM IRGWB IMPACT RESISTANT APPROX APPROXIMATE GYPSUM WALLBOARD ANOD ANODIZED ILO IN LIEU OF ASPH ASPHALT INSUL INSULATED BD BOARD INT INTERIOR BLDG BUILDING LO LOW BLKG BLOCKING MAX MAXIMUM BOT BOTTOM MECH MECHANICAL BSMT BASEMENT MEMBR MEMBRANE BST BOTTOM OF STAIRS MIN MINIMUM BYND BEYOND MO MASONRY OPENING	SIA CONSULTING CORPORATI 1256 HOWARD STRE SAN FRANCISCO CA 94 TEL: (415) 922.02 FAX: (415) 922.02 WEBSITE:WWW. SIACONSULT.CO SHEET TITLE
# OF COVER PARKING SE # OF UNITS: NUMBER OF STORIES: BUILDING HEIGHT: CONSTRUCTION TYPE: OCCUPANCY GROUP: BLOCK & LOT: ZONING: APPLICABLE CODES:		5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND. 6. DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED. 7. ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.	CIP CAST IN PLACE MTL METAL CHNL CHANNEL CJ CONTROL JOINT NIC NOT IN CONTRACT CLG CEILING NO NUMBER CLO CLOSET NOM NOMINAL CLR CLEAR N.T.S. NOT TO SCALE CNTR COUNTER COL COLUMN CONCRETE MASONRY UNIT COMPR COMPRESSIBLE COL COLUMN COMPR COMPRESSIBLE CONC CONCRETE CONT CONTINUOUS CORR CORRIDOR CPT CARPET CT CARPET CT CERAMIC TILE CT CERAMIC TILE CTR CENTER CTYD COURTYARD DBL DOUBLE DEMO DEMOLISH DET DETAIL D.F. DRINKING FOUNTAIN DIM SIMILIAR DWG DRAWING DWG DRAWING DWG SPEC SPECIFIED OR SPECIFICATION EACH EACH EACH EACH EACH EACH STILL STAINLESS STEEL EL ELEVATION STILLSSTEEL STAINLESS STEEL EL ELEVATION STILLSSTEILE CSOUND IN CONTRACT ONT IN CONTRACT ON TIN CONTRACT NOT IN CONTRA	These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.
A-1.0 PF A-2.0 PF A-2.1 PF A-3.0 PF	APPENDIX AL OVER SHEET ROPOSED SITE PLAN & NOTES ROPOSED FIRST, SECOND & THIRD FLOOR PLANS ROPOSED FOURTH FLOOR PLAN & ROOF PLAN ROPOSED FRONT ELEVATION ROPOSED REAR ELEVATION		ELEC ELECTRICAL ELEV ELEVATOR/ELEVATION STD STANDARD EQ EQUAL STL STEEL EXT EXTERIOR STRUCT STRUCTURAL EXP JT EXPANSION JOINT SQ. SQUARE EXT EXTERIOR T&G TONGUE AND GROOVE F.D. FLOOR DRAIN TC TOP OF CURB FEC FIRE EXTINGUISHER TELE TELEPHONE CABINET FIXT FIXTURE TO TOP OF FLR FLOOR TOC TOP OF CONCRETE FLUOR FLUORESCENT TOS TOP OF STEEL FM FILLED METAL TP TOILET PAPER DISPENSER FND FOUNDATION T/D TELEPHONE/DATA FO FACE OF TST TOP OF STAIRS F.O.F. FACE OF FININSH TYP TYPICAL FURR FURRING U.N.O. UNLESS NOTED OTHERWISE GA GAUGE U/S UNDERSIDE GALV GALVANIZED V.I.F. VERIFY IN FIELD G.B. GRAB BAR VP VISION PANEL GYP GYPSUM	DRAWN R.L. CHECKED R.K. DATE 03/11/2011

ELECTRICAL NOTES:

(D) EXTERIOR (WATERPROOF)

ELECTRICAL SUBPANEL(S) ON FLOOR PLAN(S). PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS. PANELS IN FIREWALL SHALL BE RELOCATED OR PROPERLY PROTECTED TO MAINTAIN FIREWALL SEPARATION.

GFCI PROTECTED OUTLETS AT THE FOLLOWING LOCATIONS.
(A)GARAGE
(B)UNFINISHED BASEMENT, CRAWL AND STORAGE SPACES.
(C) WITHIN 6' OF SINK OR BASIN

RECEPTABLE OUTLETS AT THE FOLLOWING LOCATIONS.

(A)12' O.C. MAX, AND WITHIN 6' OF THE END OF WALLS.

(B)ANY WALL SPACE 2 OR MORE FEET WIDE.

(C) AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12'. SO THAT NO POINT IN ANY HALLWAY 10 FEET OR MORE IN LENGTH.

LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES AND EXTERIOR LIGHT FIXTURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

APPLIANCES FASTENED IN PLACE, SUCH AS DISHWASHERS, GARBAGE DISPOSALS, TRASH COMPACTORS, MICROWAVE OVENS, ETC., SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE OR LOAD SERVED.

RECEPTACLES FOR FIXED APPLIANCES SHALL BE ACCESSIBLE, NOT BEHIND APPLIANCE.

A CIRCUIT SUITABLE FOR THE LOAD WITH A MINIMUM OF 30 AMPERES IS REQUIRED FOR AN ELECTRIC CLOTHES DRYER.

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATION(S)."

ENERGY NOTES:

PERMANENETLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINAIRES. UP TO 50% OF WATTAGE, AS DETERMINED IN SECTION 130(C), OF PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS MAY BE IN LUMINAIRES THAT ARE NOT HIGH EFFICACY LUMINAIRES, PROVIDED THAT THESE LUMINAIRES ARE CONTROLLED BY SWITCHES SEPERATE FROM THOSE CONTROLLING THE HIGH EFFICACY LUMINAIRES.

EACH ROOM CONTAINING A WATER CLOSET SHALL HAVE AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICACY OF NOT LESS THAN 40 LUMENS PER WATT FOR 15 WATT OR SMALLER, 50 LUMENS PER WATT FOR 16 WATT-40WATT, & 60 LUMENS PER WATT FOR 40 WATT OR HIGHER. IF THERE IS MORE THAN ONE LUMINAIRE IN THE ROOM, THE HEIGHT EFFICACY LUMINAIRE SHALL BE SWITCHED AT AN ENTRANCE TO THE ROOM.

LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) BY UNDERWRITERS LABORATORIES OR OTHER APPROVED LABORATORIES.

FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: INSTALLATION OF FACTORY-BUILT AND MASONRY FIREPLACES SHALL INCLUDE:

(A) CLOSABLE METAL OR GLASS DOORS.
(B) COMBUSTION AIR INTAKE (6 SQ. IN. MINIMUM) TO DRAW AIR FROM OUTSIDE OF THE BUILDING DIRECTLY INTO FIRE BOX. THE COMBUSTION AIR INTAKE MUST BE EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE AND LIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE.

EXCEPTION: AN OUTSIDE COMBUSTION AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE IS NOT LOCATED ON AN EXTERIOR WALL.

(C) A FLUE DAMPER WITH AN READILY ACCESSIBLE CONTROL..
EXCEPTION: WHEN A GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN IF REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR THE STATE MECHANICAL CODE.

PLUMBING AND MECHANICAL NOTES:

AIR DUCTS SHALL BE NO.26 GA. GALVANIZED SHEET METAL OR A FIRE DAMPER PROVIDED WHEN THE DUCTS PENETRATE THE OCCUPANCY SEPARATION BETWEEN THE GARAGE AND THE HOUSE.

SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE.

NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS.

SIZE OF WATER CLOSETS. MAXIMUM ALLOWABLE 1.6 GALLONS PER FLUSH.

SHOWER & TUB/SHOWERS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION, U.P.C. 4107.

DOORS & PANELS OF SHOWERS AND BATHTUBS ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED. LAMINATED SAFETY GLASS OR APPROVED PLASTIC.

TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.

SANITATION NOTES:

SHOWER STALL FINISH SHALL BE CERAMIC TILE EXTENDING 70 INCHES ABOVE THE DRAIN

MOISTURE RESISTANT UNDERLAYMENT (e.g. WATER RESISTANT GYP. BD.) TO A HEIGHT OF 70 INCHES ABOVE THE DRAIN INLET U.B.C. 8067.1.3.

BEDROOM WINDOWS:

MIN. OPENABLE AREA TO BE 5.7 S.F., MIN WIDTH: 20" MIN HEIGHT: 24" AND MAX SILL HT: 44"

STREET —(N) 15 GAL.STREET TREE 10'-0" (N) 10' CURBCUT (E) CURBCUT (E) CURBCUT 7' SIDEWALK 7' SIDEWALK THREE-STORY 440 IVY ST. (E) ONE STORY GARAGE LOT 22 **LOT 21 LOT 23** PROPOSED BUILDING 452 IVY ST. (E) TWO STORY OVER GARAGE PROPOSED **FOUR-STORY** Patio Bicycle Rack **LOT 23 LOT 21** 551-553 GROVE ST. 537 GROVE ST. 543-547 GROVE ST. (E) ONE STORY OVER GARAGE FOUR STORY/ (E) TWO STORY **OVER BASEMENT OVER GARAGE LOT 23 LOT 22 LOT 21** 15' SIDEWALK (E) CURBCUT (E) CURBCUT (E) CURBCUT **GROVE** STREET **BLOCK & LOT: 1226-028 PROPERTY LINE: OUTLINE OF SUBJECT BUILDING:**

Proposed Site Plan

OUTLINE OF NEIGHBORS:

1/8" = 1'-0"

PROJECT NAME

543 Grove St.-Rear Building SAN FRANCISCO, CA

SIA Corporation

SIA CONSULTING CORPORATION 1256 HOWARD STREET SAN FRANCISCO CA 94103 TEL: (415) 922.0200 FAX: (415) 922.0203 WEBSITE:WWW. SIACONSULT.COM

SHEET TITLE

Proposed Site Plan, & Notes

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DESCRIPTION

ISSUES / REVISIONS

NO. DATE

CHECKED R.K.

DRAWN

DATE 03/11/2011

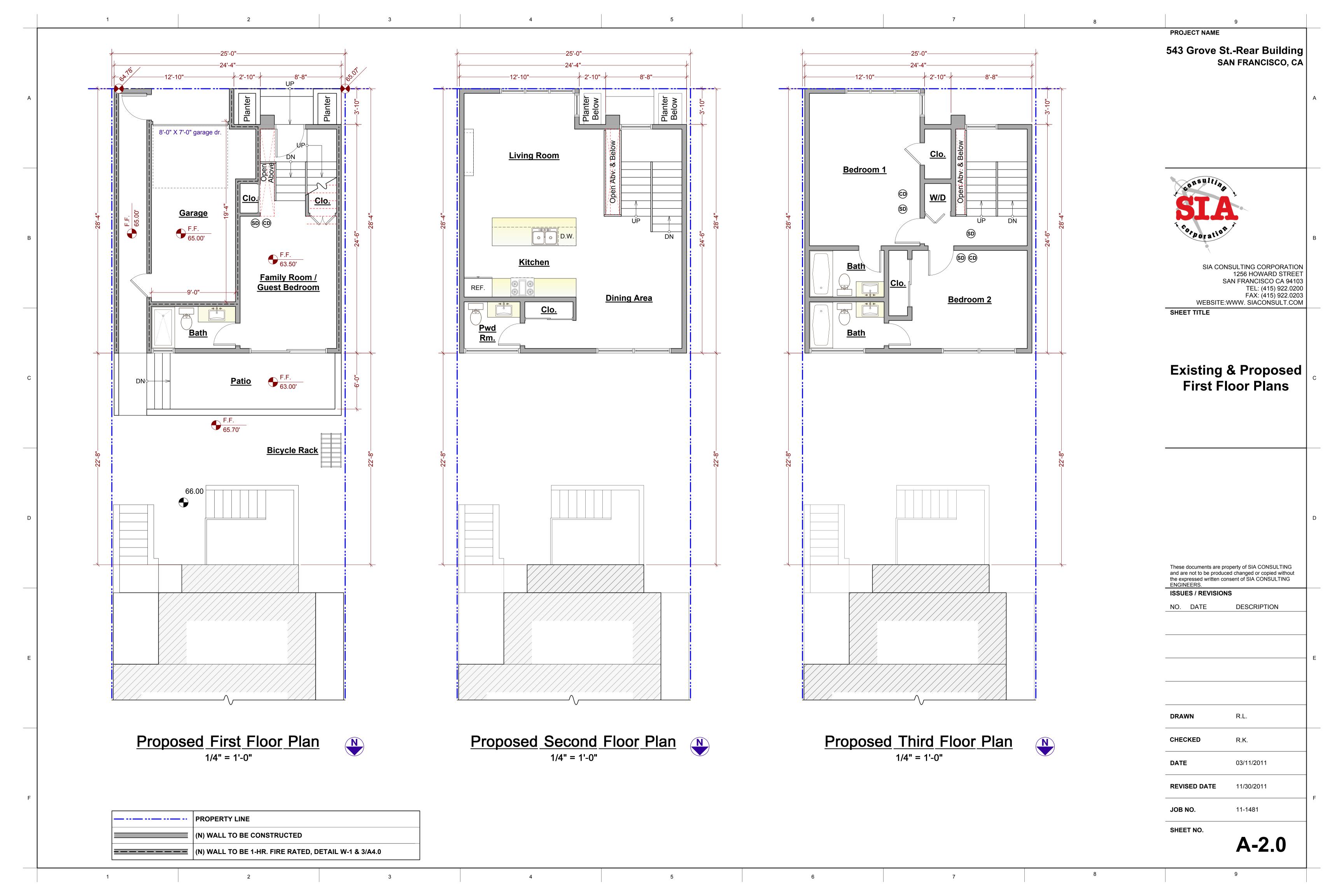
R.L.

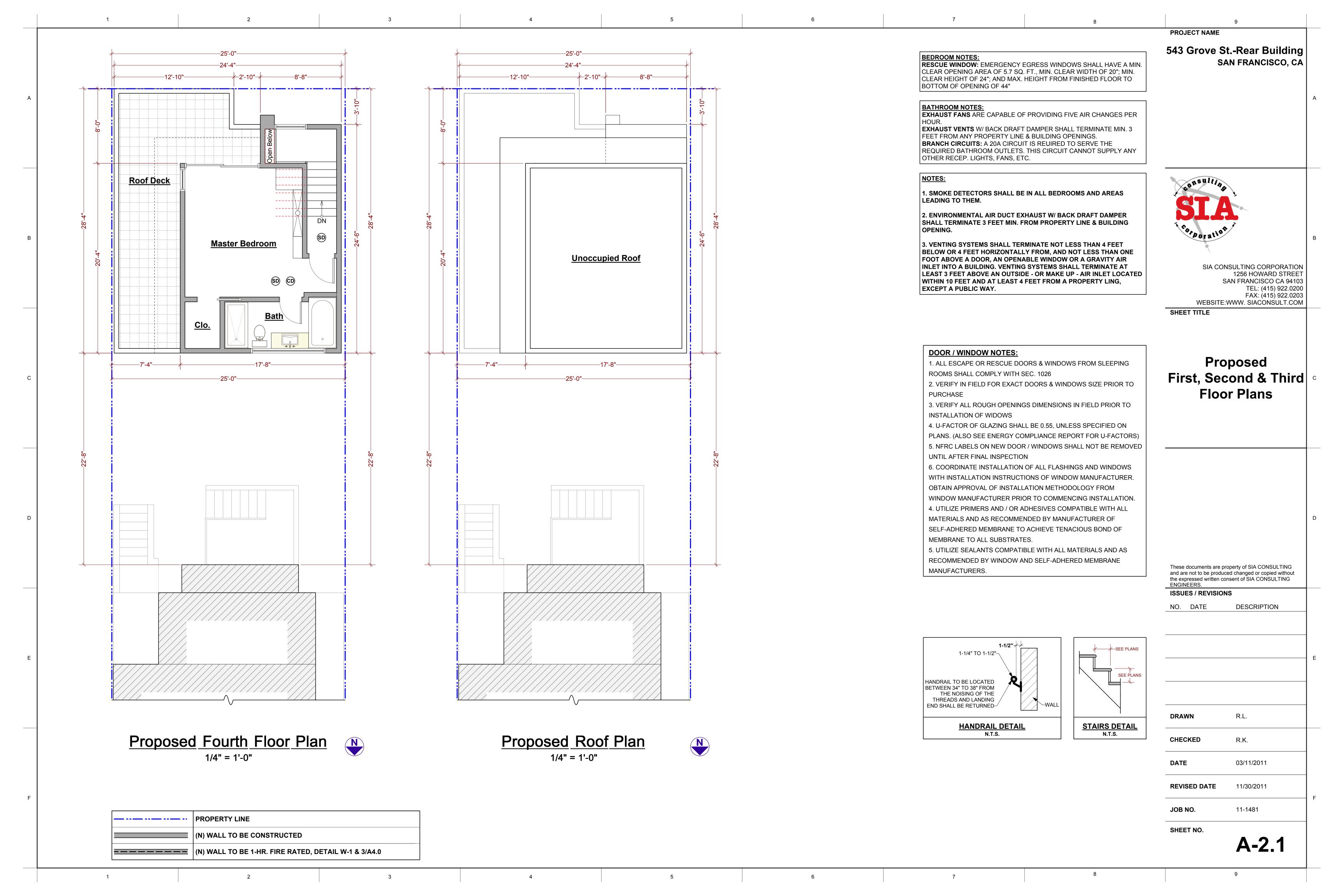
REVISED DATE 11/30/2011

JOB NO. 11-1481

SHEET NO.

A-1.0





452 IVY ST. PROPOSED BUILDING 440 IVY ST. 432 IVY ST. —Alum. Dbl. Glazed Patio Dr. Roof Fin. Elev. 103.50' Painted Wood-SIA CONSULTING CORPORATION 1256 HOWARD STREET SAN FRANCISCO CA 94103 TEL: (415) 922.0200 FAX: (415) 922.0203 WEBSITE:WWW. SIACONSULT.COM —42" High Bird Friendly & Safety Glass Guardrail, Typ. Alum. Dbl. Glazed— Widow, Typ. SHEET TITLE —Painted Wood Siding Fourth Flr. Fin. Elev. —Alum. Dbl. Glazed Widow, Typ. **Proposed Front Elevation** Control Joints, Typ.— —Control Joints, Typ. Third Flr. Fin. Elev. 83.50' Architectural Concrete— -Smooth plaster —Wood Overhead garage door Alum. Entry Door-Second Flr. Fin. Elev. 73.50' These documents are property of SIA CONSULTING Architectural Concrete and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS. Garage Fin. Elev. ISSUES / REVISIONS NO. DATE DESCRIPTION First Flr. Fin. Elev. 63.50' Proposed Front Elevation (Ivy Street Front Elevations) 1/4" = 1'-0" R.L. DRAWN CHECKED R.K. 03/11/2011 11/30/2011 **REVISED DATE** 11-1481 JOB NO. SHEET NO.

PROJECT NAME

543 Grove St.-Rear Building SAN FRANCISCO, CA

A-3.0

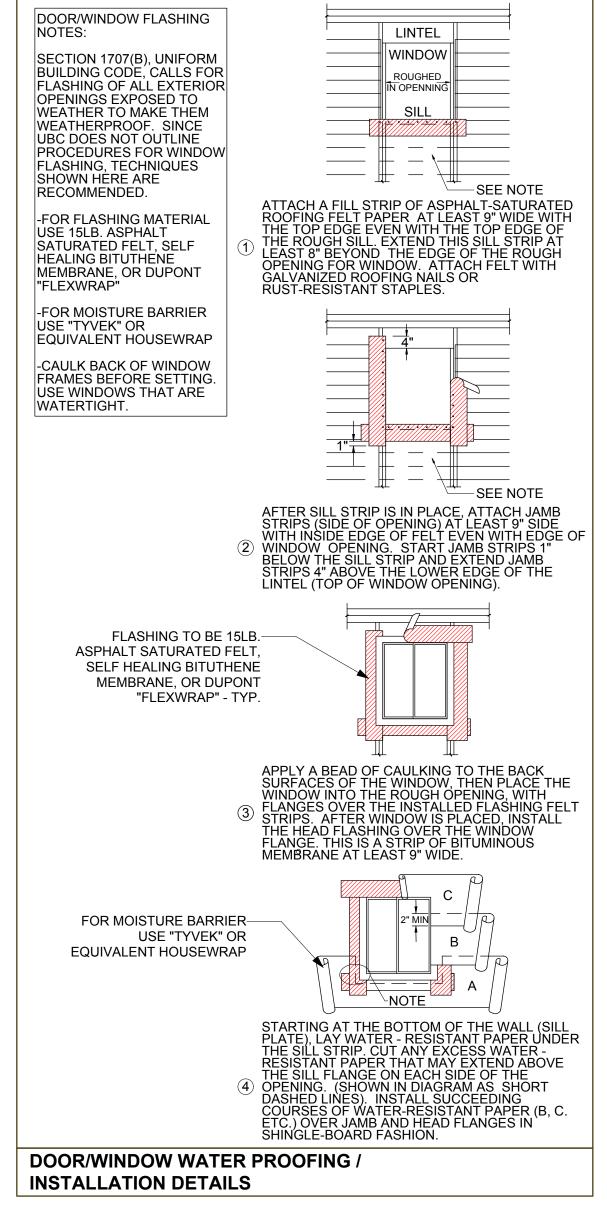
Dbl. Glazed Frosted Widow, Typ.— Roof Fin. Elev. 103.50' Dbl. Glazed Windows, Typ.-42" High Bird Friendly &-Safety Glass Guardrail, Typ. Fourth Flr. Fin. Elev. 93.50' Dbl. Glazed Frosted Widow, Typ.-Horizontal Siding-Third Flr. Fin. Elev. 83.50' Dbl. Glazed Frosted Widow, Typ.-Dbl. Glazed Patio, Typ.-Second Flr. Fin. Elev. 73.50' Dbl. Glazed Frosted Widow, Typ.-Garage Fin. Elev. 65.00' First Flr. Fin. Elev.

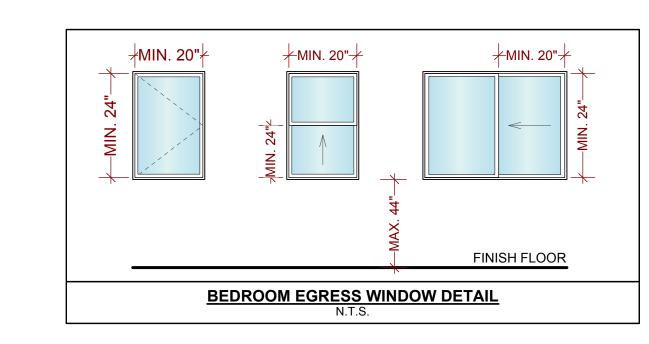
Proposed Rear Elevation

1/4" = 1'-0"

PROJECT NAME

543 Grove St.-Rear Building SAN FRANCISCO, CA







SHEET TITLE

SIA CONSULTING CORPORATION 1256 HOWARD STREET SAN FRANCISCO CA 94103 TEL: (415) 922.0200 FAX: (415) 922.0203 WEBSITE: WWW. SIACONSULT.COM

Proposed

Rear Elevation

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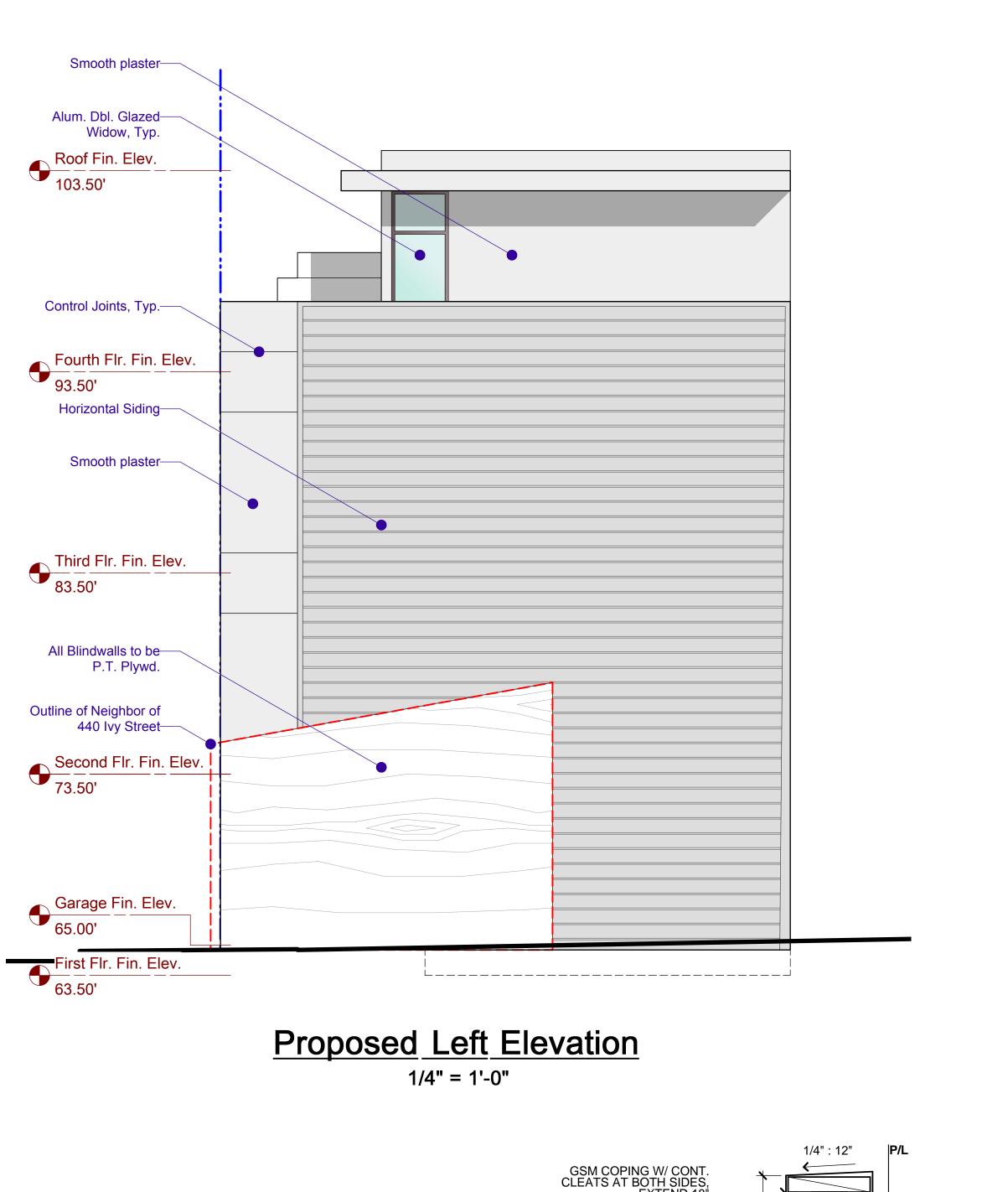
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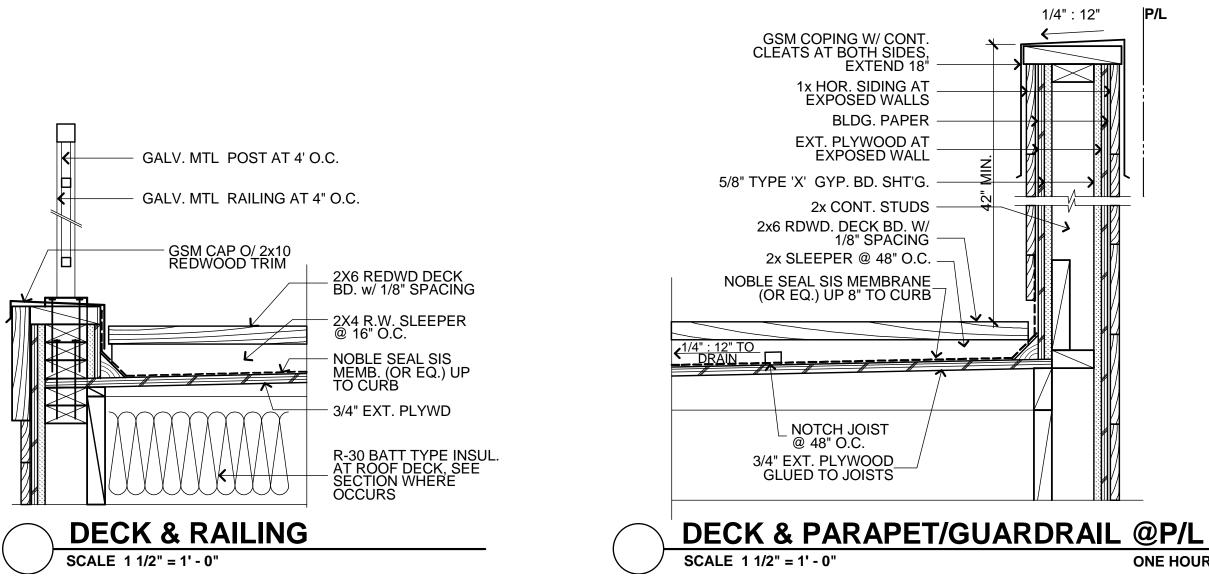
ISSUES / REVISIONS

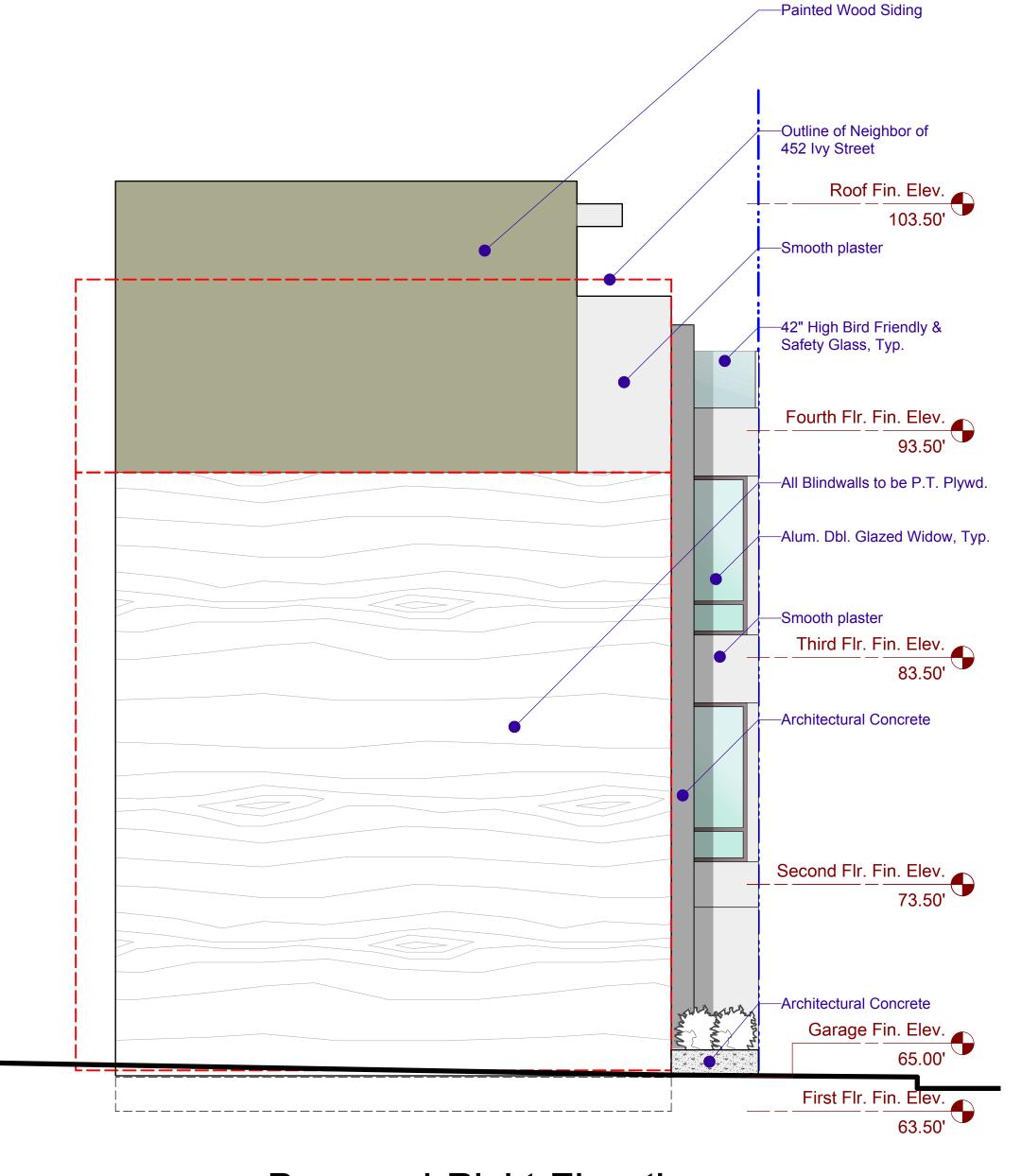
NO. DATE

R.L. DRAWN CHECKED R.K. DATE 03/11/2011 11/30/2011 **REVISED DATE** JOB NO. 11-1481 SHEET NO.

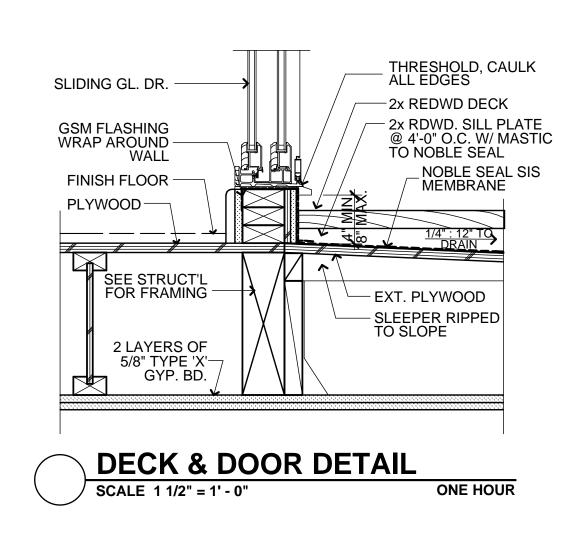
A-3.1

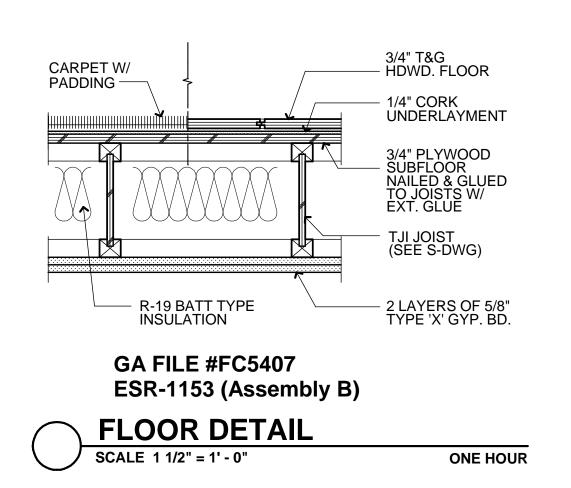






Proposed Right Elevation 1/4" = 1'-0"





543 Grove St.-Rear Building SAN FRANCISCO, CA

PROJECT NAME



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Proposed
Left & Right Elevation

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DRAWN	R.L.	
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REVISED DATE	11/30/2011	F
JOB NO.	11-1481	
SHEET NO.		

A-3.2

543-547 GROVE ST. PROPOSED BUILDING ROOF DECK ROOF FINISH ELEV. 106.50' ELEV. 106.50' Roof Fin. Elev. 103.50' UNIT 3 UNIT 3 <u>DECK</u> <u>DECK</u> THIRD FLR. FINISH ELEV. 95.75' Fourth Flr. Fin. Elev. 93.50' R-13, TYP.— UNIT 3 UNIT 2 SECOND FLR. FINISH ELEV. 85.25' Third Flr. Fin. Elev. 83.50' UNIT 2 R-13, TYP.—▶ <u>UNIT 1</u> FIRST FLR. FINISH ELEV. 74.75' Second Flr. Fin. Elev. <u>UNIT 1</u> <u>DECK</u> R-13, TYP.--**GROVE ST.** IVY ST. Garage Fin. Elev. First Flr. Fin. Elev. 63.50

<u>Proposed Section A-A</u>
3/16" = 1'-0"

FLOOR-CEILING SYSTEMS, WOOD-FRAMED SYSTEM DESCRIPTION SKETCH AND DESIGN DATA 50 to 54 STC SOUND GA FILE NO. FCF 5406 1 HOUR FIRE GYPSUM WALL BOARD, WOOD JOISTS Base layer 5/8" type "x" gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 11/4" type W or S drywall screws 24" o.c. Face layer 5/8" type "x" gypsum wallboard or gypsum veneer base applied at right angles to joists with 1 7/8" type W or S drywall screws 12" o.c. at joints and intermediate joists and 1½". Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting ½" plywood Approx. Ceiling 2psf FM FC 181, 8-31-72 with exterior glue applied at right angles to joists with 8d nails. Ceiling provides one hour fire resistance protection for framing, including trusses. G&H OC-3MT, Fire Test: SOUND TEST: 10-13-71 IIC & TEST: (73C&P) G & H OC-3MT, 10-13-71

W-2 EXTERIOR W SYSTEM DESCRIPTION		SKETCH AND DESIGN DATA
GA FILE NO. WP 8105		1 HOUR FIRE
EXTERIOR SIDE: One layer parallel to 2 x 4 wood studs 2 at vertical joints and 7" o.c. a Joints of gypsum sheathing that attached through sheathing that INTERIOR SIDE: One layer gypsum backing board, or gypsum backing board, or gypsum backing students.	48" wide 5/8" type X gypsum sheathing applied 24" o.c. with 1-3/4" galvanized roofing nails 4" o.c. at intermediate studs and top and bottom plates. may be left untreated. Exterior cladding to be studs. 5/8" type X gypsum wallboard, water-resistant ypsum veneer base applied parallel or at right ed nails, 1-7/8" long, 0.0915" shank, 1/4" heads,	Thickness: Varies Approx. Weight: 7 psf Fire Test: See SWR 3510 (UL R3510-47, -48, 9-17-6) UL Design U309; UL R1319-129, 7-22-70, UL Design U314)

SYSTEM DESCRIPTION		SKETCH AND	SKETCH AND DESIGN DATA		
GA FILE NO. WP 3243		1 HOUR FIRE	50 TO 54 STO SOUND		
Resilient channels 24" o.c. a studs 16" or 24" o.c. with 1-gypsum wallboard or gypsu 1" Type S drywall screws 8' End joints backblocked with in stud space. OPPOSITE SIDE: One layer base applied at parallel or a 1-7/8" long, 0.0915" shank, Vertical joints staggered 24' 24" o.c. (STC=50). Also sou	VALLBOARD, RESILIENT CHANNELS, LASS FIBER INSULATION, WOOD STUDS attached at right angles to ONE SIDE of 2 x 4 wood 1/4" Type S drywall screws. One Layer 5/8" type X m veneer base applied at right angles to channels with o.c. with vertical joints located midway between studs resilient channels. 3" mineral or glass fiber insulation of 5/8" type X gypsum wallboard or gypsum veneer tright angles to studs with 6d cement coated nails, 15/16" heads, 7" o.c. on opposite sides. Sound tested with studs spaced not tested with studs spaced 16" o.c. and with two in board on the resilient channel side (STC=53).		5 3/8" 7psf Based on UL R14196, 05NK05371, 2-15-05, UL Design U305 NRCC TL93-103, 3-98 NRCC TL93-118, 3-98		

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543 Grove St.-Rear Building SAN FRANCISCO, CA

SIA Corporation

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SIA CONSULTING CORPORATION 1256 HOWARD STREET SAN FRANCISCO CA 94103 TEL: (415) 922.0200 FAX: (415) 922.0203 WEBSITE:WWW. SIACONSULT.COM

Proposed Section A-A

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DESCRIPTION

ISSUES / REVISIONS

NO. DATE

DRAWN R.L.

CHECKED R.K.

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REVISED DATE 11/30/2011

SHEET NO.

JOB NO.

A-4.0

11-1481