



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 22, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>543-547 Grove Street aka 444 Ivy Street</b>	Case No.:	<b>2011.1231V</b>
Cross Street(s):	<b>Octavia Blvd, Laguna Street</b>	Building Permit:	<b>2011 1121 9392</b>
Block / Lot No.:	<b>0807/022</b>	Applicant/Agent:	<b>Reza Khoshnevisan</b>
Zoning District(s):	<b>RTO/40-X</b>	Telephone:	<b>(415) 922-0200 x 108</b>
Area Plan:	<b>Market and Octavia</b>	E-Mail:	<b>reza@siaconsult.com</b>

### PROJECT DESCRIPTION

The subject lot is a through lot (between Grove and Ivy Streets). The proposal is to construct a new four-story, single-family dwelling at the rear of the lot (Ivy Street). A four-story, three-family dwelling is currently under construction on the front of the lot (Grove Street) under a separate permit. The project will have a rear yard of 14 feet measured between the rear wall of the proposed Ivy Street building and the rear deck on the Grove Street building (22.6 feet measured between the rear walls of the buildings).

**PER SECTION 134 OF THE PLANNING CODE**, the subject property is required to maintain a rear yard equal to 45% of the depth of the lot, equal to 54 feet for the subject lot. The rear yard proposed between the Grove Street building on the lot and the proposed Ivy Street building is approximately 14 feet; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **rick crawford**

Telephone: **415-558-6358** Mail: [rick.crawford@sfgov.org](mailto:rick.crawford@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: [Click here to enter text.](#)

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On December 21, 2011, the Department issued the required Section 311 notification for this project (expires January 19, 2012).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

## A



B



D

# Cover Sheet

E

SHEET NO. **A-0.1**

**B**

C

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## E

## F

**ELECTRICAL NOTES:**

ELECTRICAL SUBPANEL(S) ON FLOOR PLAN(S). PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS. PANELS IN FIREWALL SHALL BE RELOCATED OR PROPERLY PROTECTED TO MAINTAIN FIREWALL SEPARATION.

GFCI PROTECTED OUTLETS AT THE FOLLOWING LOCATIONS.

- (A) GARAGE  
(B) UNFINISHED BASEMENT, CRAWL AND STORAGE SPACES.  
(C) WITHIN 6' OF SINK OR BASIN  
(D) EXTERIOR (WATERPROOF)

RECEPTABLE OUTLETS AT THE FOLLOWING LOCATIONS.

- (A) 12' O.C. MAX, AND WITHIN 6' OF THE END OF WALLS.  
(B) ANY WALL SPACE 2 OR MORE FEET WIDE.  
(C) AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12'. SO THAT NO POINT IN ANY HALLWAY 10 FEET OR MORE IN LENGTH.

LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES AND EXTERIOR LIGHT FIXTURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

APPLIANCES FASTENED IN PLACE, SUCH AS DISHWASHERS, GARBAGE DISPOSALS, TRASH COMPACTORS, MICROWAVE OVENS, ETC., SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE OR LOAD SERVED.

RECEPTACLES FOR FIXED APPLIANCES SHALL BE ACCESSIBLE, NOT BEHIND APPLIANCE.

A CIRCUIT SUITABLE FOR THE LOAD WITH A MINIMUM OF 30 AMPERES IS REQUIRED FOR AN ELECTRIC CLOTHES DRYER.

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATION(S)."

**ENERGY NOTES:**

PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINAIRES . UP TO 50% OF WATTAGE, AS DETERMINED IN SECTION 130(C), OF PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS MAY BE IN LUMINAIRES THAT ARE NOT HIGH EFFICACY LUMINAIRES, PROVIDED THAT THESE LUMINAIRES ARE CONTROLLED BY SWITCHES SEPERATE FROM THOSE CONTROLLING THE HIGH EFFICACY LUMINAIRES.

EACH ROOM CONTAINING A WATER CLOSET SHALL HAVE AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICACY OF NOT LESS THAN 40 LUMENS PER WATT FOR 15 WATT OR SMALLER, 50 LUMENS PER WATT FOR 16 WATT-40WATT, & 60 LUMENS PER WATT FOR 40 WATT OR HIGHER. IF THERE IS MORE THAN ONE LUMINAIRE IN THE ROOM, THE HEIGHT EFFICACY LUMINAIRE SHALL BE SWITCHED AT AN ENTRANCE TO THE ROOM.

LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) BY UNDERWRITERS LABORATORIES OR OTHER APPROVED LABORATORIES.

FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: INSTALLATION OF FACTORY-BUILT AND MASONRY FIREPLACES SHALL INCLUDE:

- (A) CLOSABLE METAL OR GLASS DOORS.
- (B) COMBUSTION AIR INTAKE (6 SQ. IN. MINIMUM) TO DRAW AIR FROM OUTSIDE OF THE BUILDING DIRECTLY INTO FIRE BOX. THE COMBUSTION AIR INTAKE MUST BE EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE AND LIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE.
- EXCEPTION: AN OUTSIDE COMBUSTION AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE IS NOT LOCATED ON AN EXTERIOR WALL.
- (C) A FLUE DAMPER WITH AN READILY ACCESSIBLE CONTROL...
- EXCEPTION: WHEN A GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN IF REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR THE STATE MECHANICAL CODE.

**PLUMBING AND MECHANICAL NOTES:**

AIR DUCTS SHALL BE NO.26 GA. GALVANIZED SHEET METAL OR A FIRE DAMPER PROVIDED WHEN THE DUCTS PENETRATE THE OCCUPANCY SEPARATION BETWEEN THE GARAGE AND THE HOUSE.

SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE.

NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS.

SIZE OF WATER CLOSETS. MAXIMUM ALLOWABLE 1.6 GALLONS PER FLUSH.

SHOWER & TUB/SHOWERS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION, U.P.C. 4107.

DOORS & PANELS OF SHOWERS AND BATHTUBS ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED. LAMINATED SAFETY GLASS OR APPROVED PLASTIC.

TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.

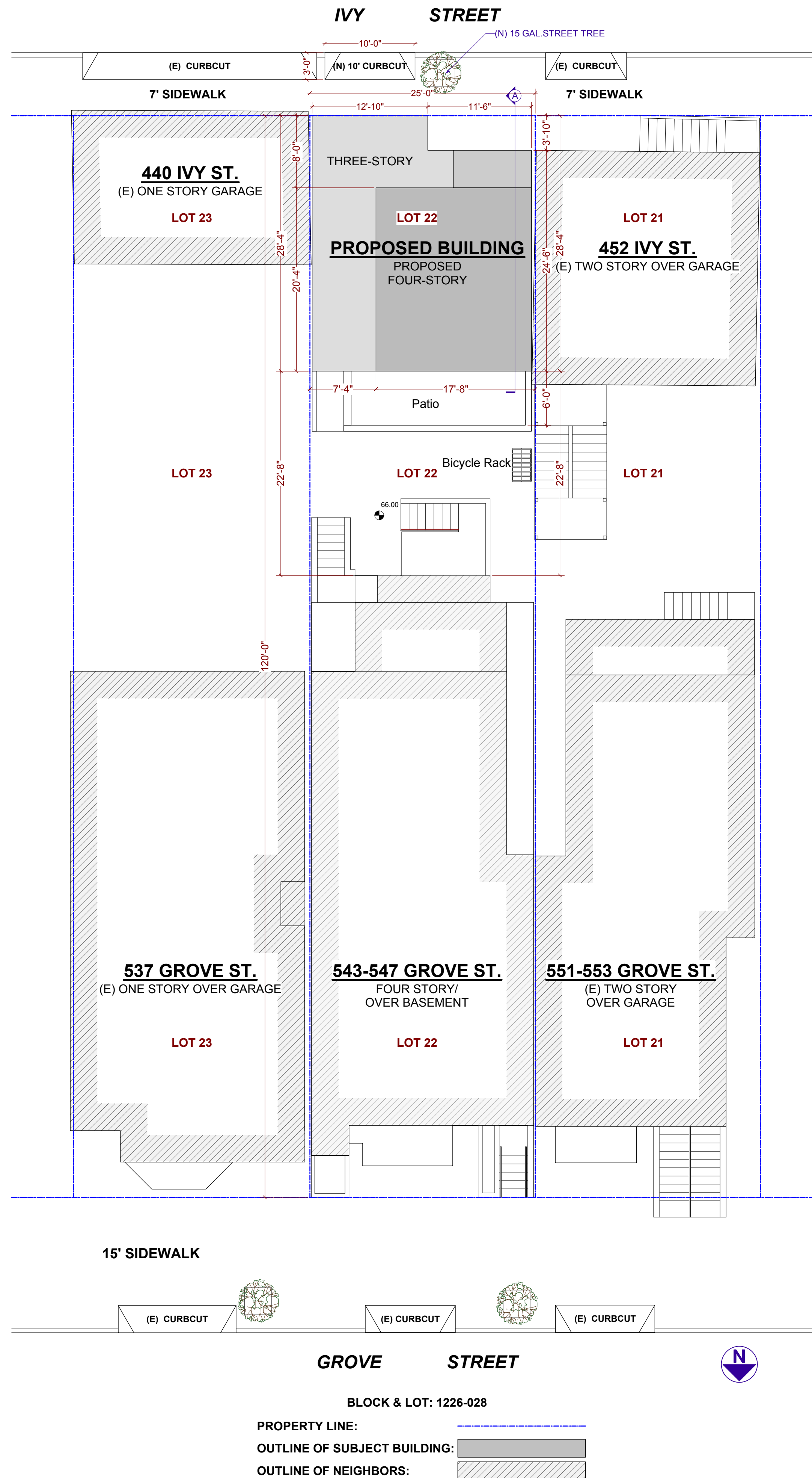
**SANITATION NOTES:**

SHOWER STALL FINISH SHALL BE CERAMIC TILE EXTENDING 70 INCHES ABOVE THE DRAIN INLET

MOISTURE RESISTANT UNDERLAYMENT (e.g. WATER RESISTANT GYP. BD.) TO A HEIGHT OF 70 INCHES ABOVE THE DRAIN INLET U.B.C. 8067.1.3.

**BEDROOM WINDOWS:**

MIN. OPENABLE AREA TO BE 5.7 S.F., MIN WIDTH: 20" MIN HEIGHT: 24" AND  
MAX SILL HT: 44"



PROJECT NAME

**543 Grove St.-Rear Building**  
**SAN FRANCISCO, CA**



**SIA CONSULTING CORPORATION**  
1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
TEL: (415) 922.0200  
FAX: (415) 922.0203  
WEBSITE: WWW. SIACONSULT.COM

**SHEET TITLE**

## Proposed Site Plan, & Notes

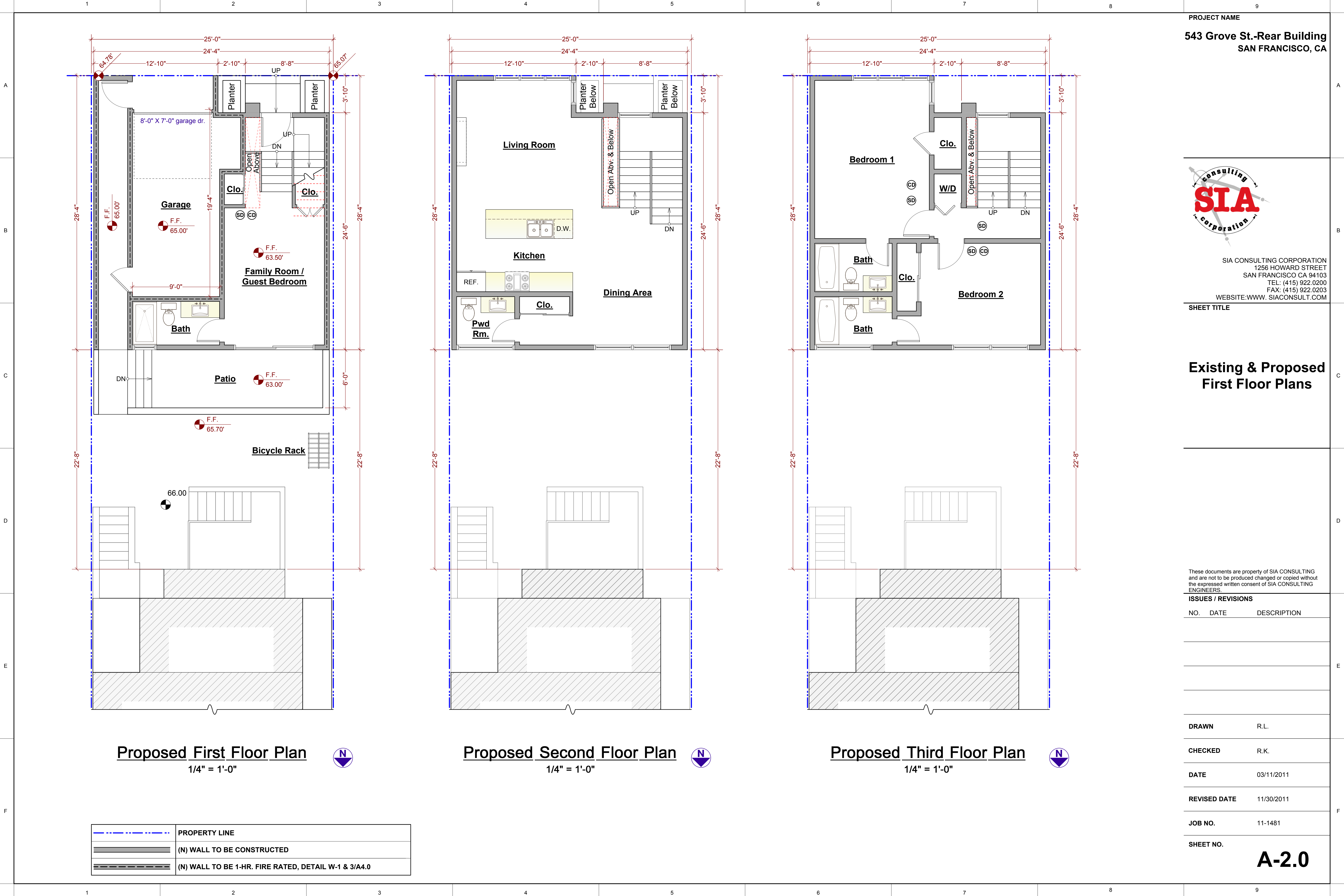
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## ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
<b>DRAWN</b>		R.L.
<b>CHECKED</b>		R.K.
<b>DATE</b>		03/11/2011
<b>REVISED DATE</b>		11/30/2011
<b>JOB NO.</b>		11-1481

**SHEET NO.**

## A-1.0



PROJECT NAME

543 Grove St.-Rear Building  
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION  
1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
TEL: (415) 922.0200  
FAX: (415) 922.0203  
WEBSITE:WWW.SIACONSULT.COM

SHEET TITLE

Existing & Proposed  
First Floor Plans

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ISSUES / REVISIONS

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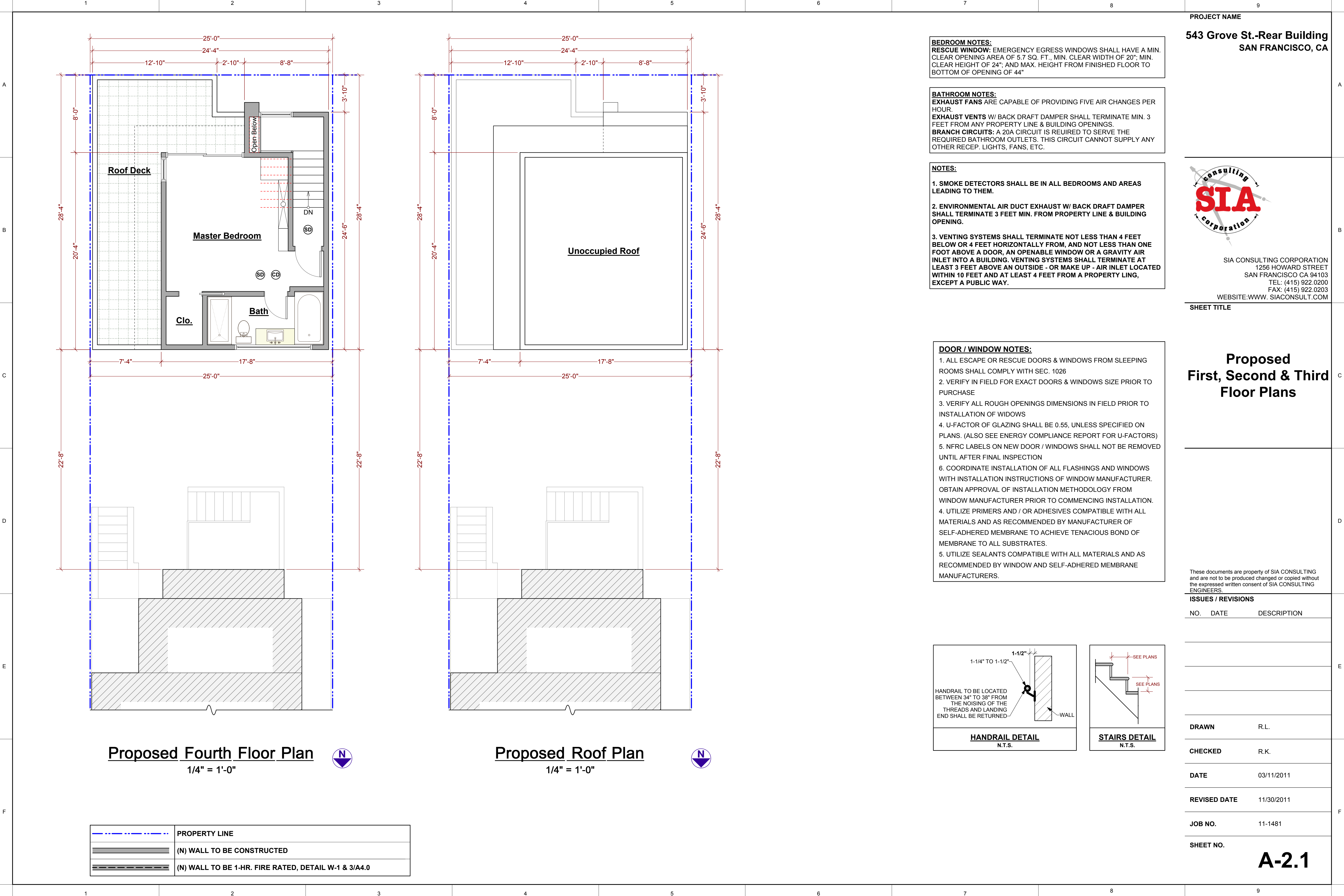
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REVISED DATE	11/30/2011
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JOB NO.	11-1481
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SHEET NO.

A-2.0



PROJECT NAME

543 Grove St.-Rear Building  
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION  
1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
TEL: (415) 922.0200  
FAX: (415) 922.0203  
WEBSITE:WWW. SIACONSULT.COM

SHEET TITLE

Proposed  
First, Second & Third  
Floor Plans

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SHEET NO.

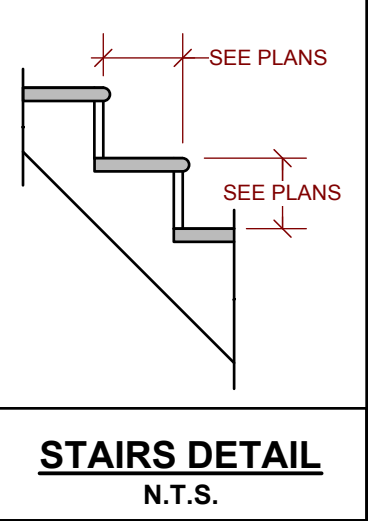
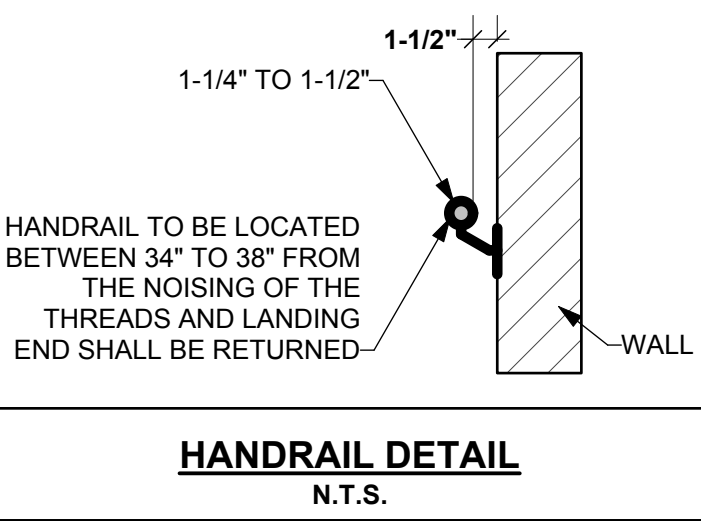
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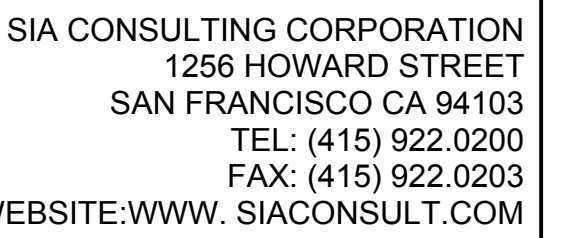
**BEDROOM NOTES:**  
**RESCUE WINDOW:** EMERGENCY EGRESS WINDOWS SHALL HAVE A MIN. CLEAR OPENING AREA OF 5.7 SQ. FT., MIN. CLEAR WIDTH OF 20"; MIN. CLEAR HEIGHT OF 24"; AND MAX. HEIGHT FROM FINISHED FLOOR TO BOTTOM OF OPENING OF 44"

**BATHROOM NOTES:**  
**EXHAUST FANS** ARE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR.  
**EXHAUST VENTS** W/ BACK DRAFT DAMPER SHALL TERMINATE MIN. 3 FEET FROM ANY PROPERTY LINE & BUILDING OPENINGS.  
**BRANCH CIRCUITS:** A 20A CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEP. LIGHTS, FANS, ETC.

**NOTES:**  
**1. SMOKE DETECTORS** SHALL BE IN ALL BEDROOMS AND AREAS LEADING TO THEM.  
**2. ENVIRONMENTAL AIR DUCT EXHAUST** W/ BACK DRAFT DAMPER SHALL TERMINATE 3 FEET MIN. FROM PROPERTY LINE & BUILDING OPENING.  
**3. VENTING SYSTEMS** SHALL TERMINATE NOT LESS THAN 4 FEET BELOW OR 4 FEET HORIZONTALLY FROM, AND NOT LESS THAN ONE FOOT ABOVE A DOOR, AN OPENABLE WINDOW OR A GRAVITY AIR INLET INTO A BUILDING. VENTING SYSTEMS SHALL TERMINATE AT LEAST 3 FEET ABOVE AN OUTSIDE - OR MAKE UP - AIR INLET LOCATED WITHIN 10 FEET AND AT LEAST 4 FEET FROM A PROPERTY LING, EXCEPT A PUBLIC WAY.

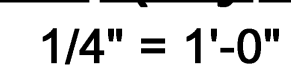
**DOOR / WINDOW NOTES:**  
**1.** ALL ESCAPE OR RESCUE DOORS & WINDOWS FROM SLEEPING ROOMS SHALL COMPLY WITH SEC. 1026  
**2.** VERIFY IN FIELD FOR EXACT DOORS & WINDOWS SIZE PRIOR TO PURCHASE  
**3.** VERIFY ALL ROUGH OPENINGS DIMENSIONS IN FIELD PRIOR TO INSTALLATION OF WIDOWS  
**4.** U-FACTOR OF GLAZING SHALL BE 0.55, UNLESS SPECIFIED ON PLANS. (ALSO SEE ENERGY COMPLIANCE REPORT FOR U-FACTORS)  
**5.** NFRC LABELS ON NEW DOOR / WINDOWS SHALL NOT BE REMOVED UNTIL AFTER FINAL INSPECTION  
**6.** COORDINATE INSTALLATION OF ALL FLASHINGS AND WINDOWS WITH INSTALLATION INSTRUCTIONS OF WINDOW MANUFACTURER. OBTAIN APPROVAL OF INSTALLATION METHODOLOGY FROM WINDOW MANUFACTURER PRIOR TO COMMENCING INSTALLATION.  
**4.** UTILIZE PRIMERS AND / OR ADHESIVES COMPATIBLE WITH ALL MATERIALS AND AS RECOMMENDED BY MANUFACTURER OF SELF-ADHERED MEMBRANE TO ACHIEVE TENACIOUS BOND OF MEMBRANE TO ALL SUBSTRATES.  
**5.** UTILIZE SEALANTS COMPATIBLE WITH ALL MATERIALS AND AS RECOMMENDED BY WINDOW AND SELF-ADHERED MEMBRANE MANUFACTURERS.

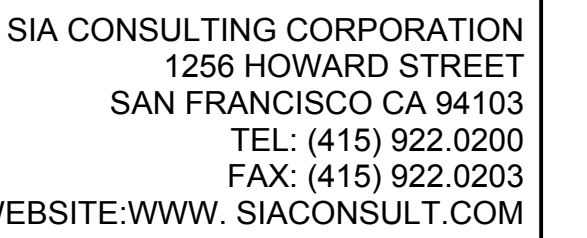




## Proposed Front Elevation

## A-3.0

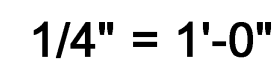


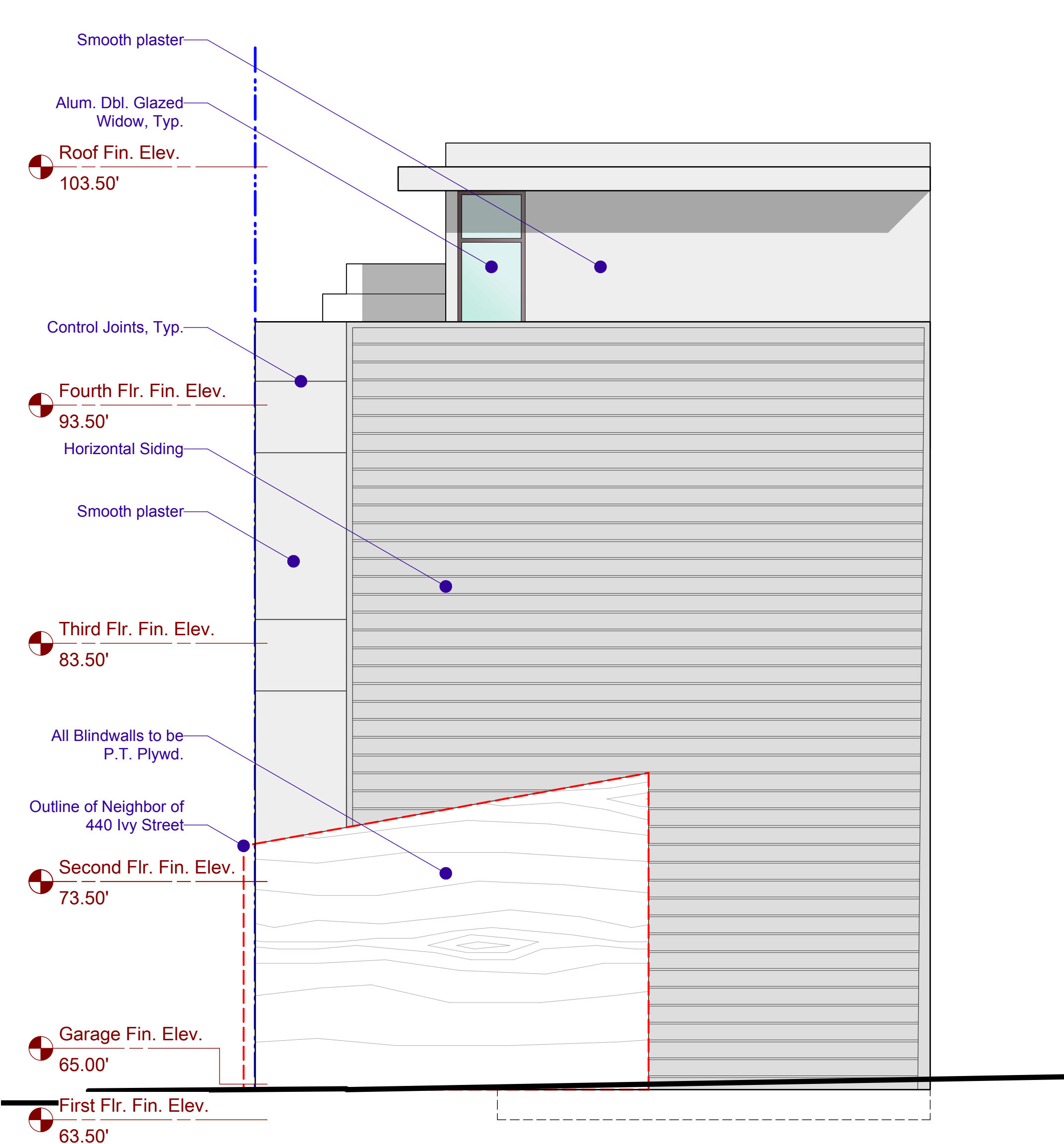


## Proposed Rear Elevation

NO.	DATE	DESCRIPTION
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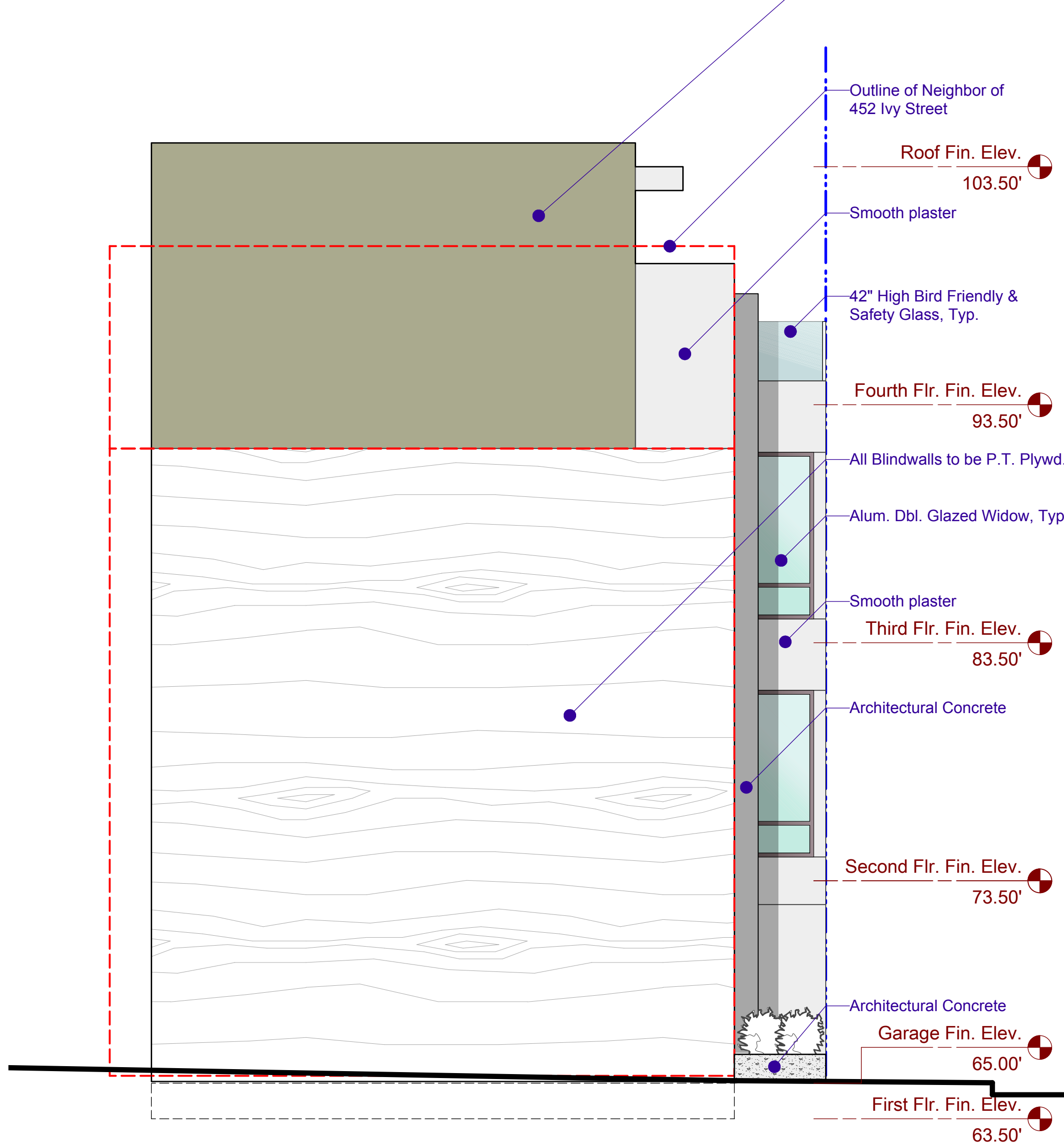
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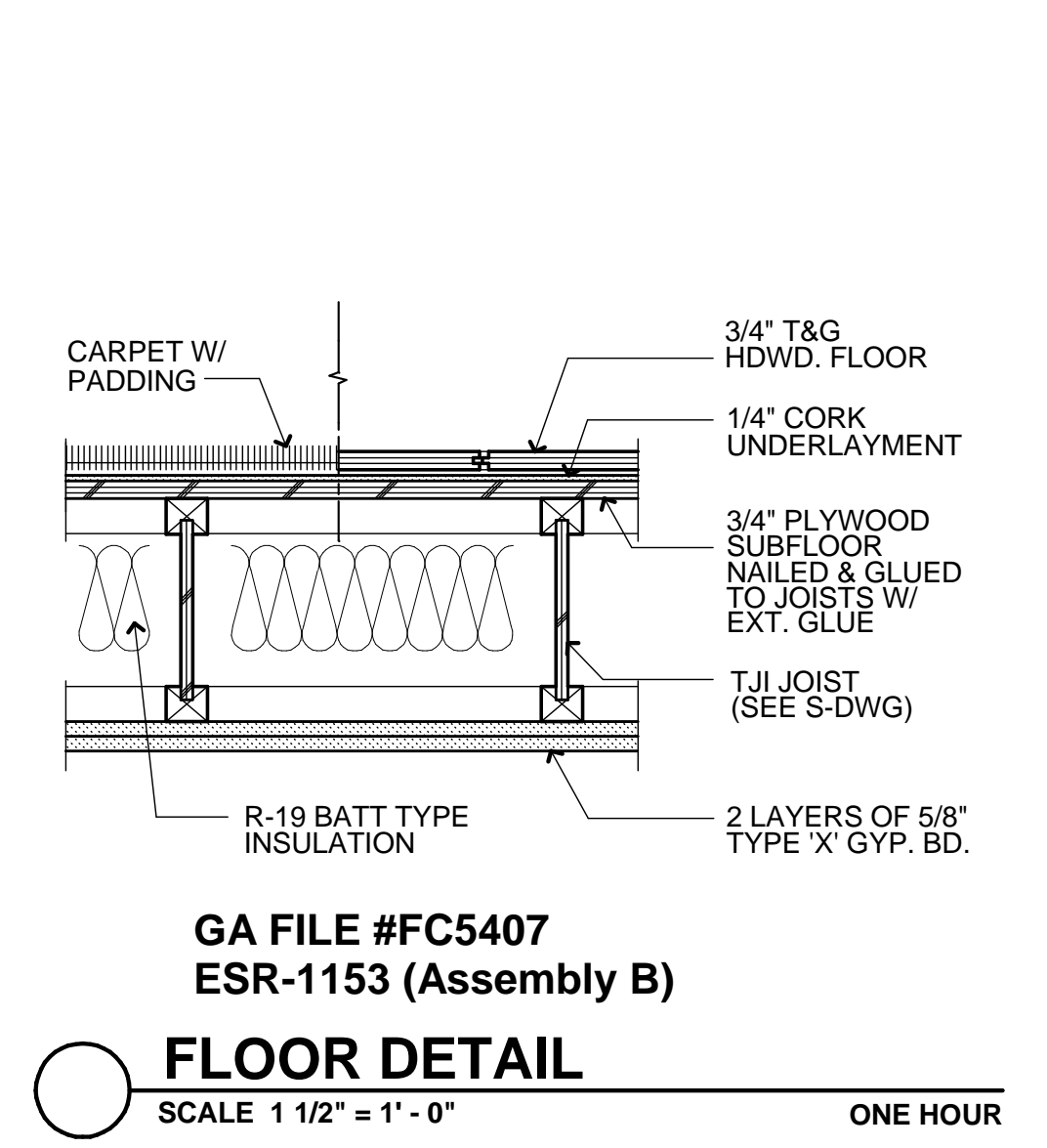
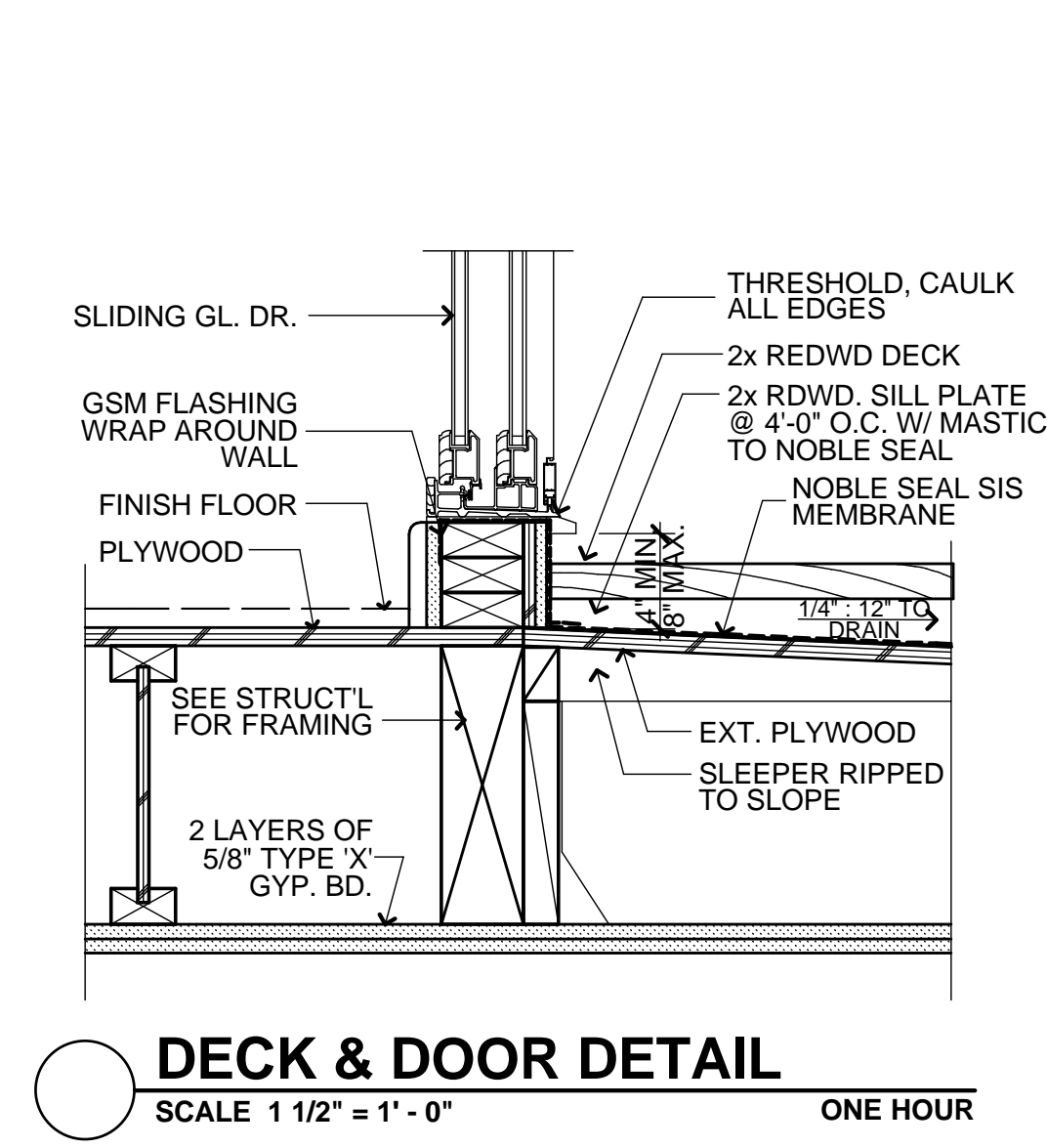
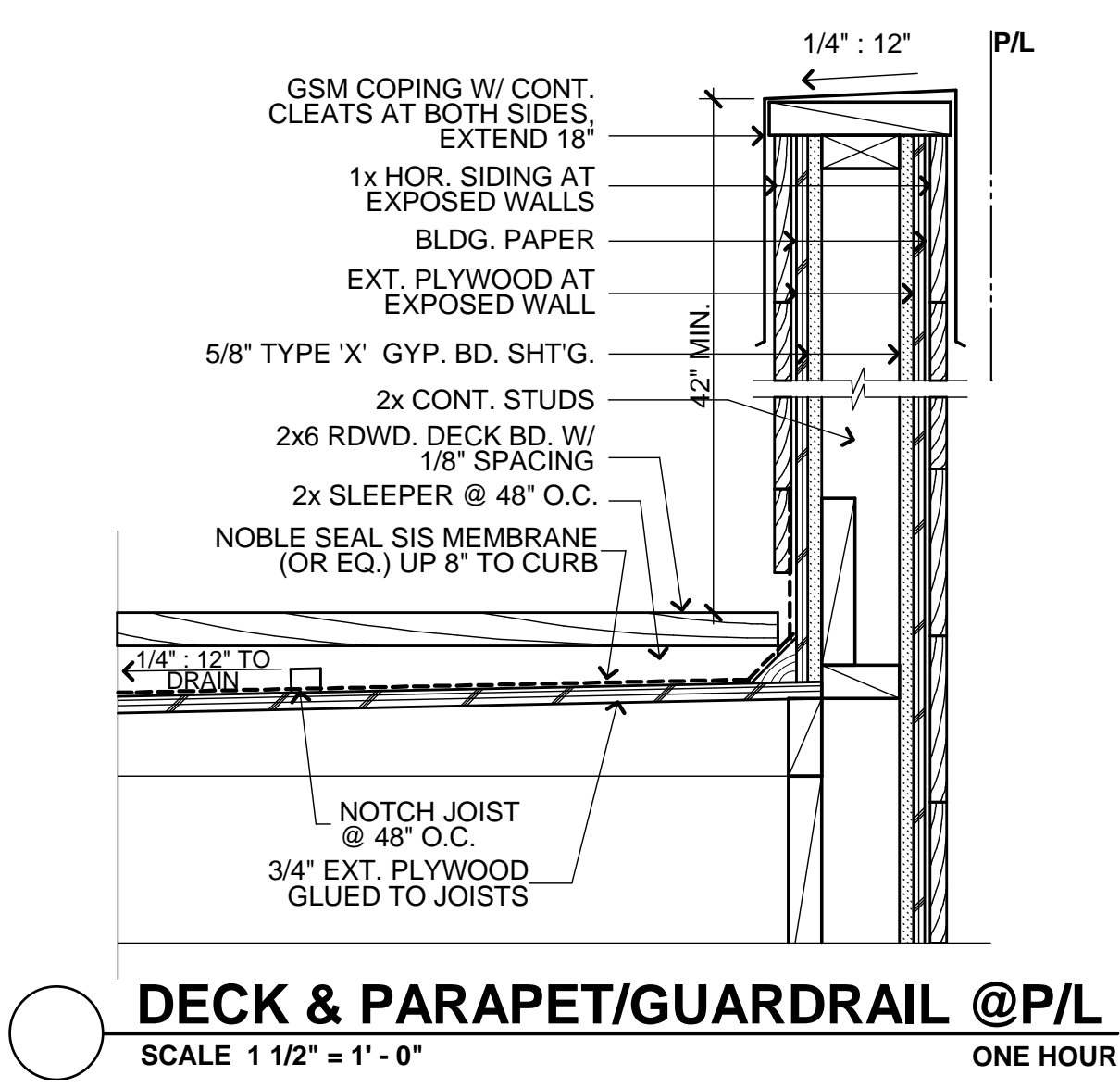
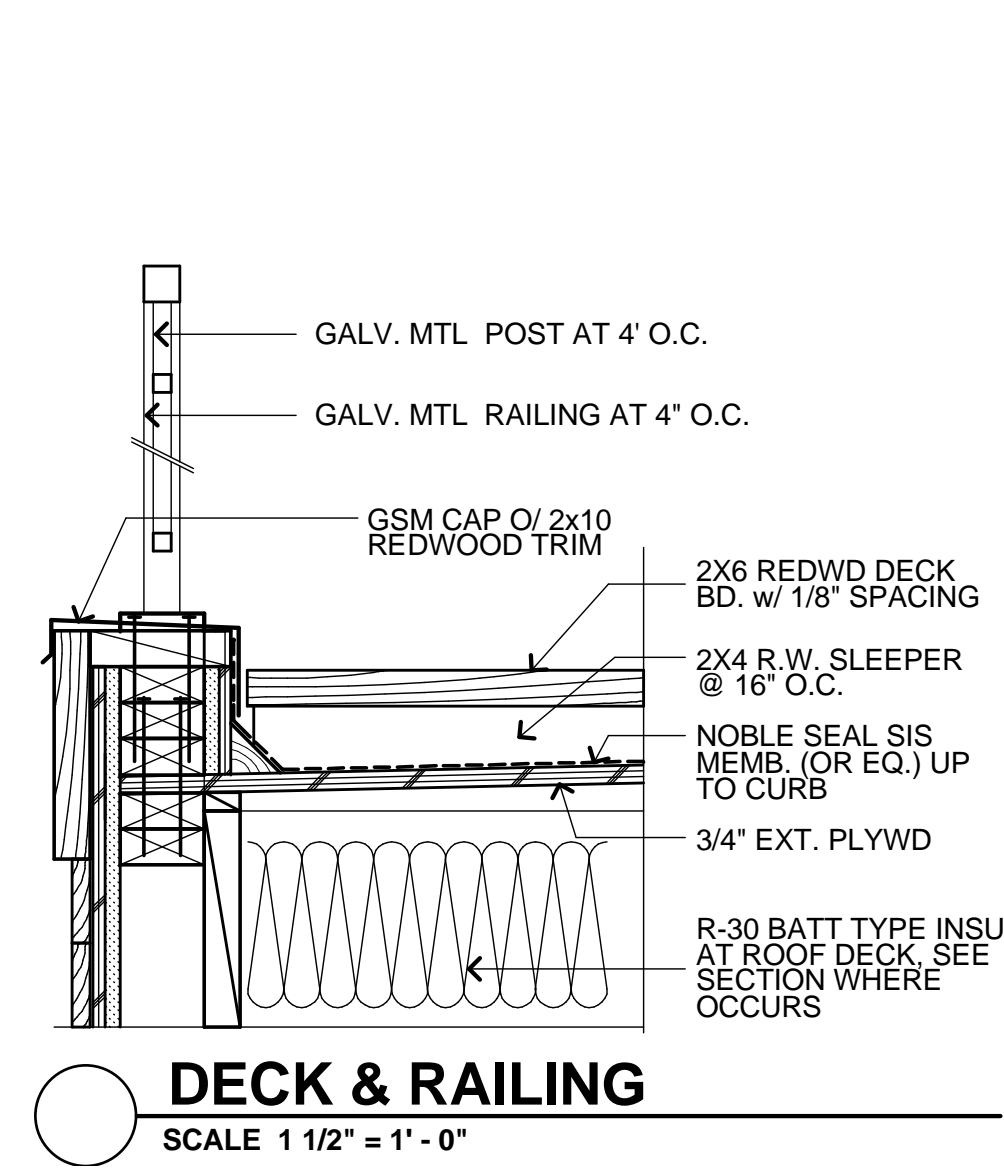
Proposed Left Elevation

1/4" = 1'-0"



Proposed Right Elevation

1/4" = 1'-0"



PROJECT NAME  
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SAN FRANCISCO, CA

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SHEET TITLE  
  
**Proposed  
Left & Right Elevation**

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ISSUES / REVISIONS	
NO.	DESCRIPTION

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CHECKED	R.K.
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SHEET NO.  
**A-3.2**

543 Grove St.-Rear Building  
SAN FRANCISCO, CA



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1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
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SHEET TITLE

Proposed  
Section A-A

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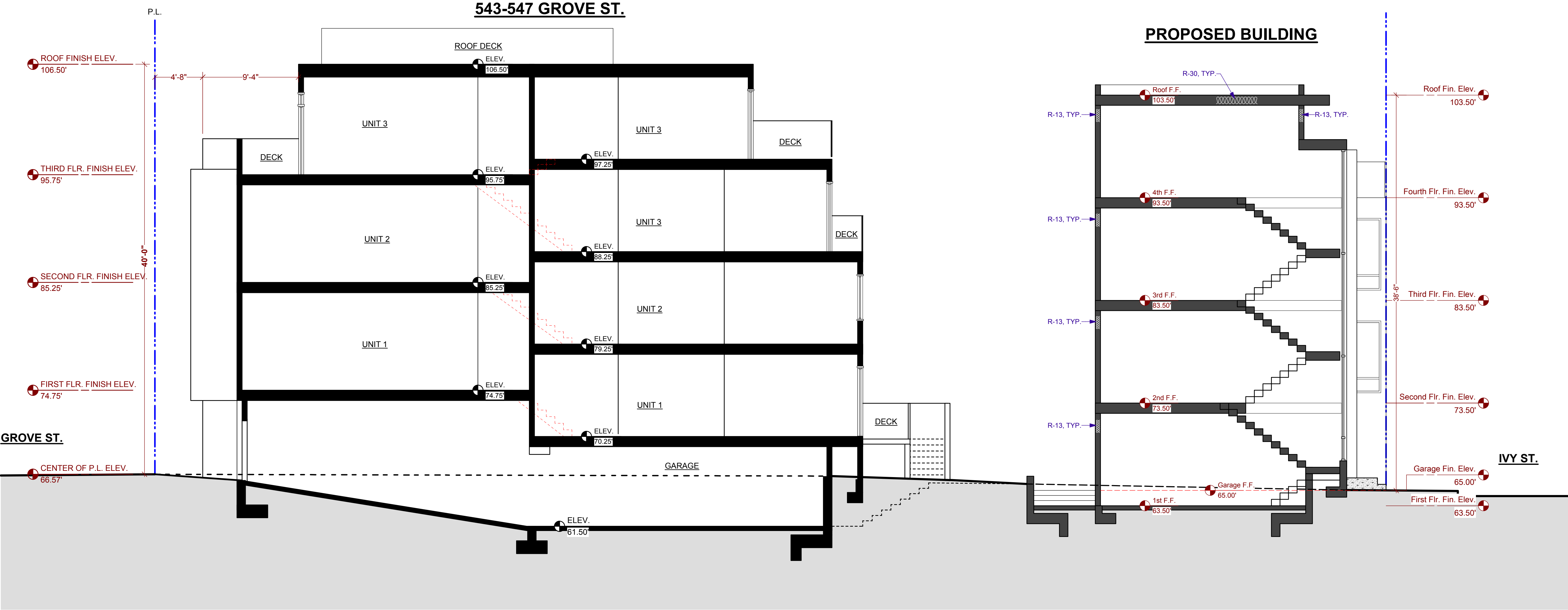
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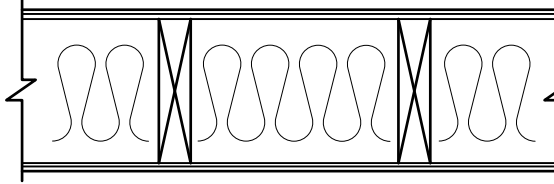
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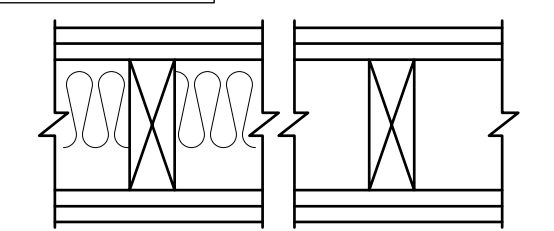
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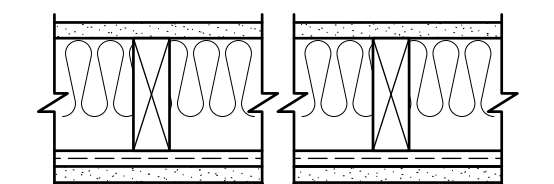
A-4.0



Proposed Section A-A  
3/16" = 1'-0"

C-1	FLOOR-CEILING SYSTEMS, WOOD-FRAMED
SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. FCF 5406	1 HOUR FIRE50 to 54 STC SOUND
<b>GYPSUM WALL BOARD, WOOD JOISTS</b> Base layer 5/8" type "x" gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/4" type W or S drywall screws 24" o.c. Face layer 5/8" type "x" gypsum wallboard or gypsum veneer base applied at right angles to joists with 1 7/8" type W or S drywall screws 12" o.c. at joints and intermediate joists and 1 1/2". Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" plywood with exterior glue applied at right angles to joists with 8d nails. <b>Ceiling provides one hour fire resistance protection for framing, including trusses.</b>	 <b>Approx. Ceiling Weight:</b> 2psf <b>Fire Test:</b> FM FC 181, 8-31-72 <b>SOUND TEST:</b> G&H OC-3MT, 10-13-71 <b>IIC &amp; TEST:</b> (73C&P) G & H OC-3MT, 10-13-71

W-2	EXTERIOR WALLS, WOOD-FRAMED
SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. WP 8105	1 HOUR FIRE
<b>GYPSUM WALLBOARD, WOOD STUDS</b> EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1-3/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs. INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)	 <b>Thickness:</b> Varies <b>Approx. Weight:</b> 7 psf <b>Fire Test:</b> See SWR 3510 (UL R3510-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)

W-3	WALLS & INTERIOR PARTITIONS, WOOD-FRAMED
SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. WP 3243	1 HOUR FIRE50 TO 54 STC SOUND
<b>GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS</b> Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" or 24" o.c. with 1-1/4" Type S drywall screws. One Layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. End joints backblocked with resilient channels. 3" mineral or glass fiber insulation in stud space. OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at parallel or at right angles to studs with 6d cement coated nails, 1-7/8" long, 0.0915" shank, 15/16" heads, 7" o.c. Vertical joints staggered 24" on opposite sides. Sound tested with studs spaced 24" o.c. (STC=50). Also sound tested with studs spaced 16" o.c. and with two layers of 5/8" type X gypsum board on the resilient channel side (STC=53). (LOAD-BEARING)	 <b>Thickness:</b> 5 3/8" <b>Approx. Weight:</b> 7psf <b>Fire Test:</b> Based on UL R14196, 05NK05371, 2-15-05, UL Design U305 <b>SOUND TEST:</b> NRCC TL93-103, 3-98 NRCC TL93-118, 3-98