



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Information:
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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 7, 2011**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard and Noncomplying Structure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3939-3941 17th Street	Case No.: 2011.1066V
Cross Street(s): Noe St./Hartford St.	Building Permit: 2011.09.07.4041
Block /Lot No.: 3582/107-108	Applicant/Agent: Denise Montgomery
Zoning District(s): RH-3 / 40-X	Telephone: (510) 549-3040
Area Plan: N/A	E-Mail: dhm@dhmarchitecture.com

PROJECT DESCRIPTION

The proposal includes the demolition of a rear addition and the construction of a replacement addition to the existing noncomplying two-family dwelling. The replacement addition is located within the required rear yard and will change the roofline and increase the height at the rear of the building, necessitating the granting of rear yard and noncomplying structure variances.

PER SECTION 134 OF THE PLANNING CODE the last 10 feet of building depth permitted on the subject lot is limited to a height of 30 feet. Therefore, the proposal to raise the rear of the building 2 feet 10 inches to a new height of 34 feet 9 ½ inches requires a variance from the rear yard requirement (Section 134) of the Planning Code.

PER SECTION 188 OF THE PLANNING CODE a noncomplying structure cannot be altered to result in any new or additional discrepancy between the existing conditions on the lot and the required standards for new construction. Therefore, the proposal to rebuild the rear addition 4 feet and 3 feet 6 inches closer to the west and east property lines, respectively, requires a variance from the noncomplying structures requirement (Section 188) of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Douglas Vu** Telephone: **(415) 575-9120** E-Mail: doug.vu@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.1066V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

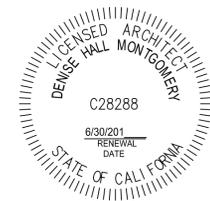
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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PROJECT

Fire Repair, Remodel & Addition
for the
17th Street HOA
3939 & 3941 17th Street
San Francisco, CA 94114

DIRECTORY

OWNERS

Steven Tamm & Susan Kimberlin
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t 408.390.7864

Todd Suchevis
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DATE:	10.26.11	DRAWN BY:	dhm
JOB:	11001		

SHEET

PLAN & HEIGHT
DIAGRAMS

A0.1

LEGEND

- PROJECT AREA - REMODEL
- PROJECT AREA - REBUILD/ADDITION
- (E) FOOTPRINT OUTLINE
- NO FIRE RATING REQUIRED
- 1-HR FIRE RATED



2 PLAN DIAGRAMS
FOR FIRE RATING



A "Basement" is defined as:
CBC 502.1: BASEMENT. A story that is not a story above grade plane (see "Story above grade plane" in CBC 202).

Where "Story above grade plane" is defined as:
CBC 202: STORY ABOVE GRADE PLANE. Any story having its finished floor surface entirely above grade plane, or in which the finished surface of the floor next above is:
1. More than 6 feet (1829 mm) above grade plane; or
2. More than 12 feet (3658 mm) above the finished ground level at any point.

Where "Grade Plane" is defined as:
CBC 502.1: GRADE PLANE. A reference plane representing the average of finished ground level adjoining the building at exterior walls.

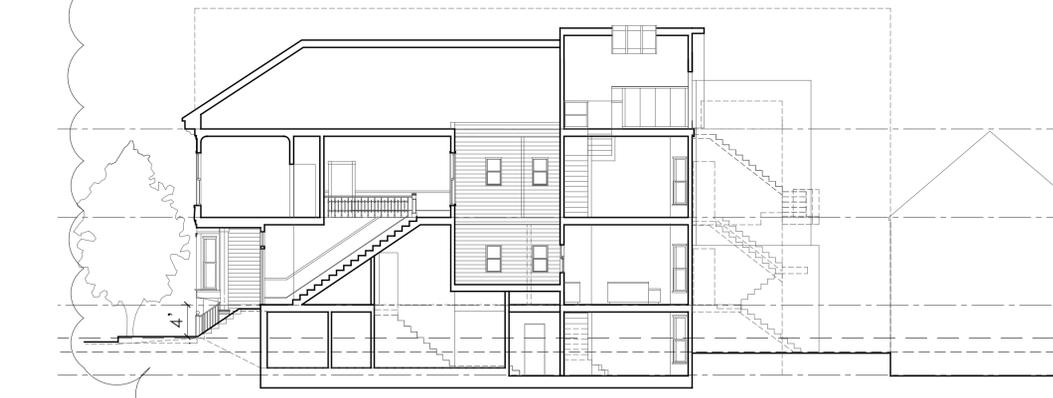
DISTANCE BETWEEN GRADE PLANE & FIRST FLOOR CALCULATIONS:
AVERAGE GRADE PLANE =
$$= (100'0" + 102'3" + 102'8" + 103'6" + 104'6" + 104'9") / 6$$

$$= 617'6" / 6$$

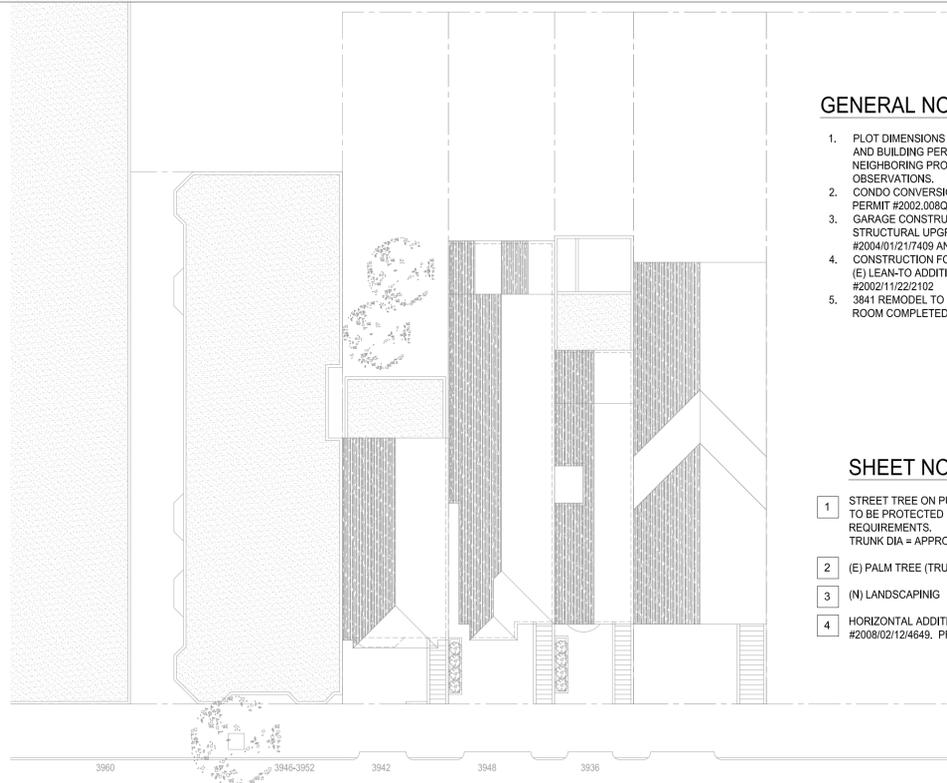
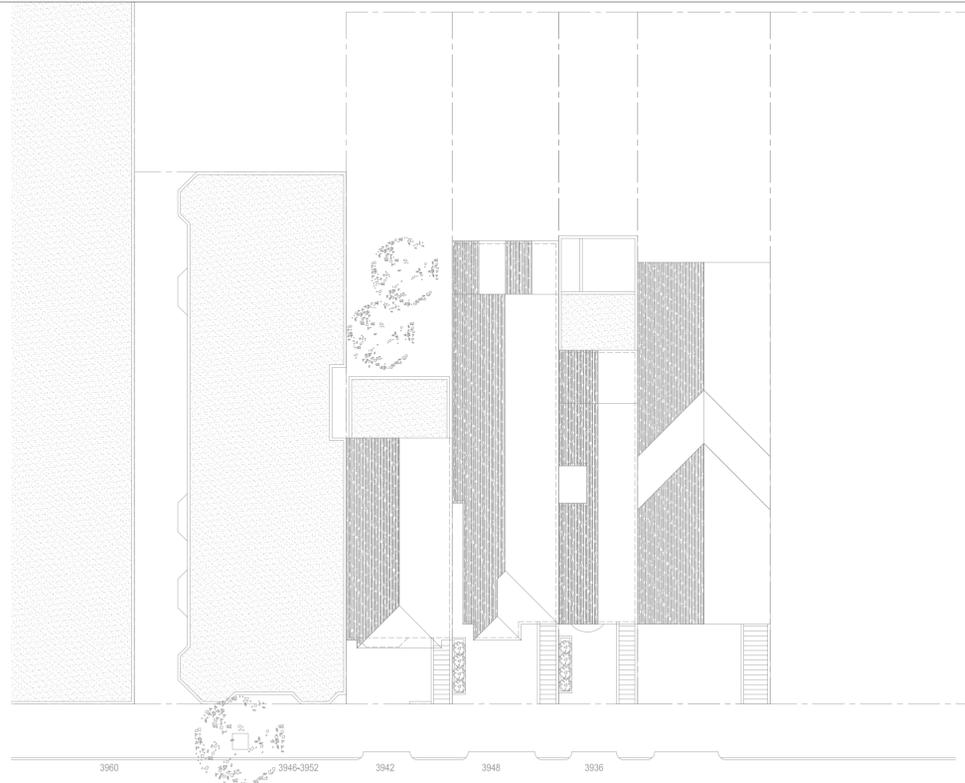
$$= 102'11"$$

DISTANCE BETWEEN FIRST STORY AND GRADE PLANE =
FIRST STORY = 108'9"
$$108'9" - 102'11" = 5'10"$$

DISTANCE BETWEEN FIRST STORY AND GRADE PLANE = 5'10"
$$5'10" < 6'0"$$



1 SECTION & HEIGHT DIAGRAMS
3/32"=1'0" @ 24x36 3/64"=1'0" @ 11x17

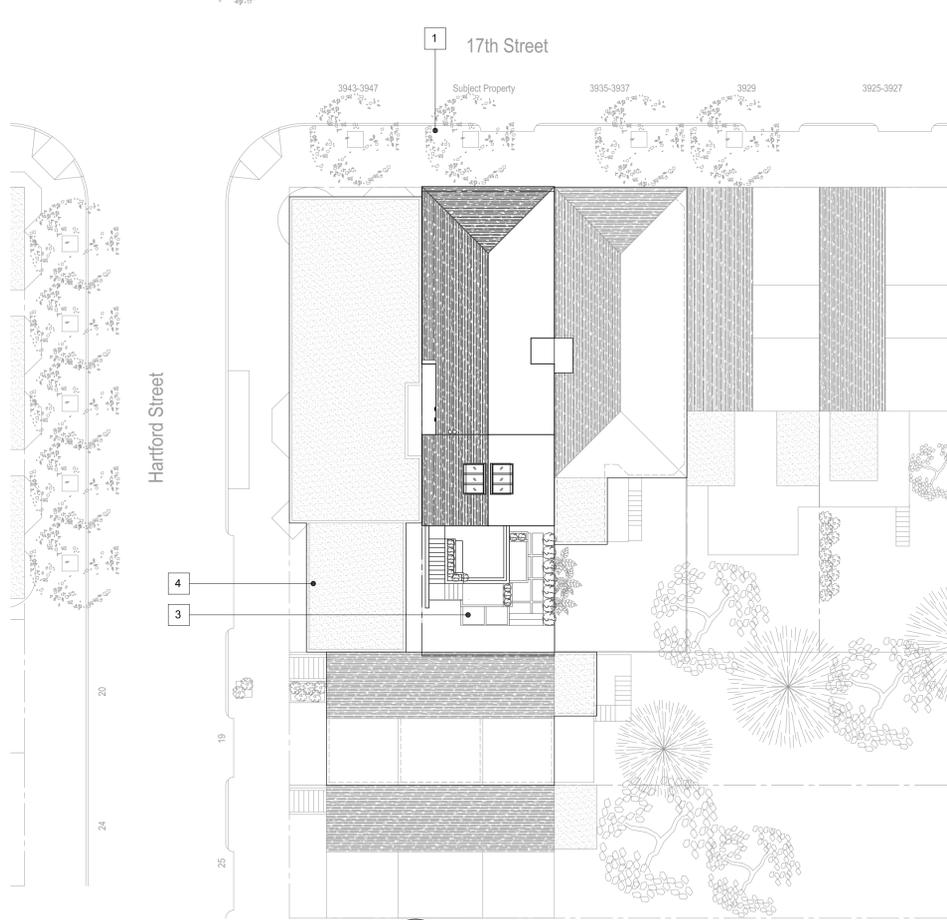
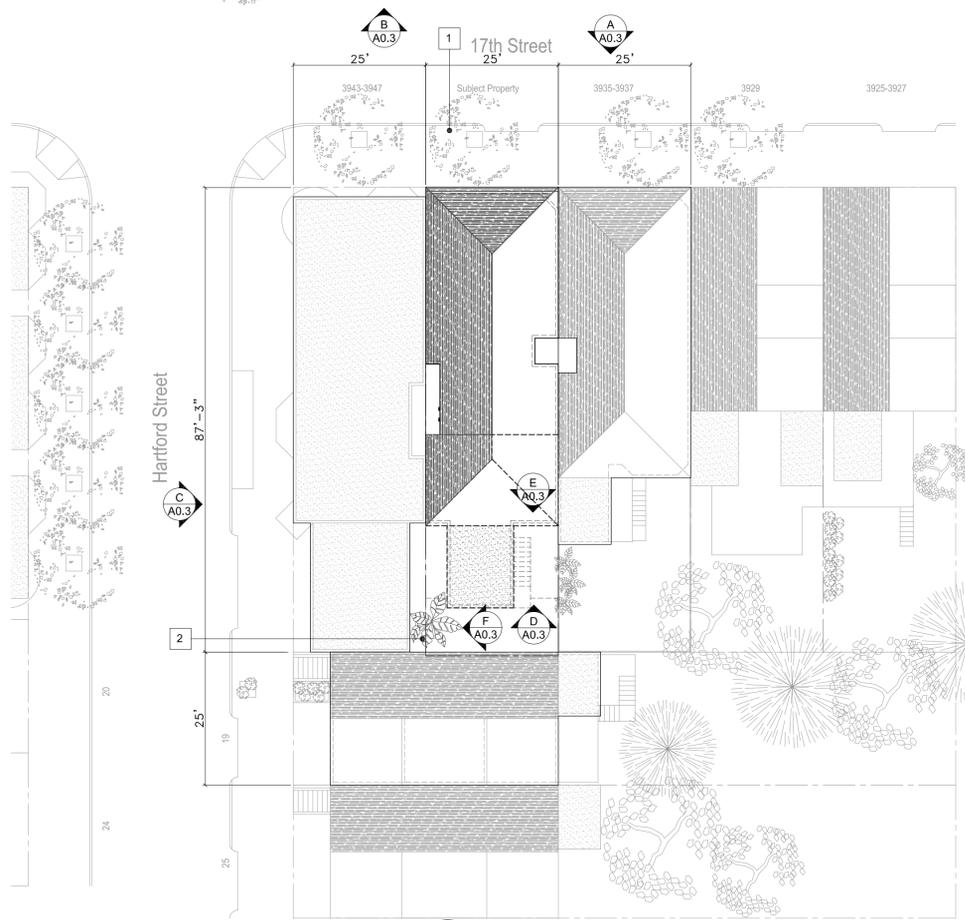


GENERAL NOTES

1. PLOT DIMENSIONS FROM SANBORNE MAPS, PUBLIC WORKS MAPS, AND BUILDING PERMIT DRAWINGS. SITE TOPOGRAPHY FOR NEIGHBORING PROPERTIES FROM ARIAL PHOTOGRAPHS AND SITE OBSERVATIONS.
2. CONDO CONVERSION TO SUBJECT PROPERTY COMPLETED UNDER PERMIT #2002.008Q2.
3. GARAGE CONSTRUCTION TO (E) BASEMENT, AND VOLUNTARY STRUCTURAL UPGRADE COMPLETED UNDER PERMITS #2000/04/27/845, #2004/01/21/7409 AND #2005/12/15/0395.
4. CONSTRUCTION FOR CONDO CONVERSION, INCLUDING A REMODEL TO (E) LEAN-TO ADDITION, COMPLETED UNDER BUILDING PERMIT #2002/11/22/2102.
5. 3841 REMODEL TO KITCHEN, BATHROOM DINING ROOM AND LIVING ROOM COMPLETED UNDER BUILDING PERMIT #2008/03/03/6131.

SHEET NOTES

- 1 STREET TREE ON PUBLIC RIGHT OF WAY IN FRONT OF SUBJECT PROPERTY TO BE PROTECTED DURING CONSTRUCTION PER CITY OF SAN FRANCISCO REQUIREMENTS. TRUNK DIA = APPROX 10", HEIGHT = APPROX 32', CANOPY DIA = APPROX. 15'
- 2 (E) PALM TREE (TRUNK IS LESS THAN 12" IN DIAMETER) TO BE REMOVED
- 3 (N) LANDSCAPING
- 4 HORIZONTAL ADDITION AT 3943-3947 APPROVED UNDER BUILDING PERMIT #2008/02/12/4649. PROPERTY IS CURRENTLY UNDER CONSTRUCTION.



2 EXISTING SITE PLAN IN CONTEXT
 1/16"=1'0" @ 24x36 1/32"=1'0" @ 11x17
 0 8 16 32

1 PROPOSED SITE PLAN IN CONTEXT
 1/16"=1'0" @ 24x36 1/32"=1'0" @ 11x17
 0 8 16 32

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DATE:	09.06.11	DRAWN BY:	dhm
JOB:	11001		

SHEET

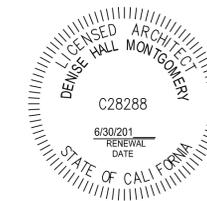
**SITE PLAN
 IN CONTEXT
 EXISTING &
 PROPOSED**

A0.2

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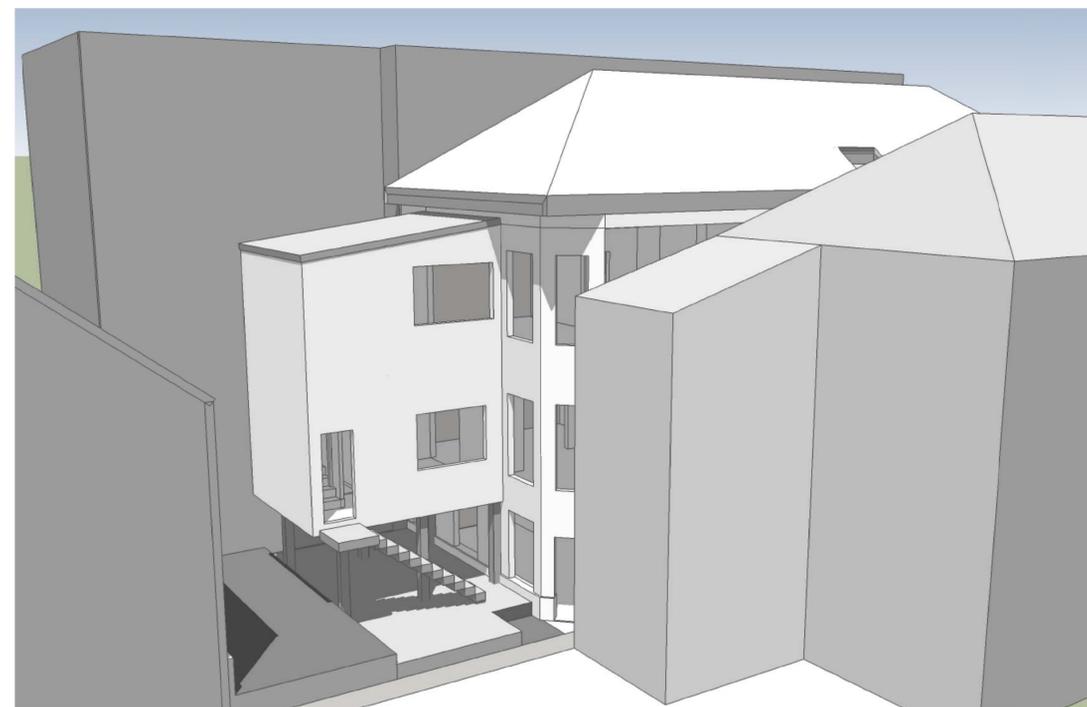
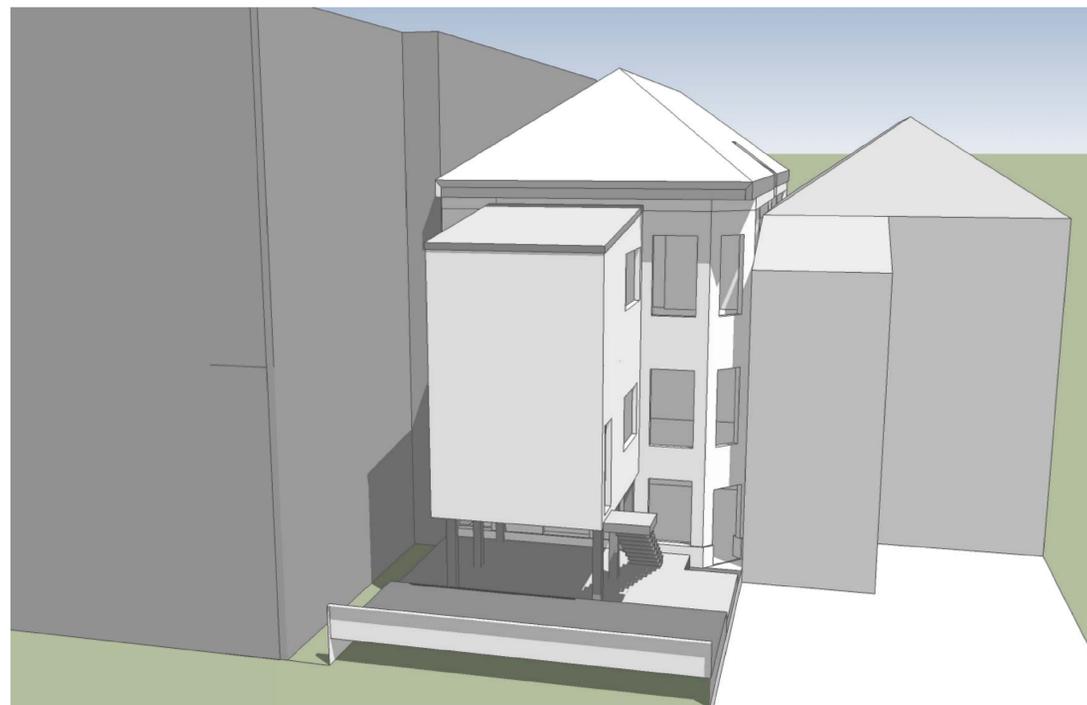
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DATE: 10.26.11
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SHEET

3D RENDERINGS

A0.4



2 3D RENDERINGS OF EXISTING STRUCTURE
NTS

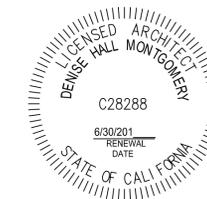


1 3D RENDERINGS OF PROJECT PROPOSAL
NTS

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DATE: 10.26.11
JOB: 11001 DRAWN BY: dhm

SHEET

**SITE PLAN
EXISTING &
PROPOSED**

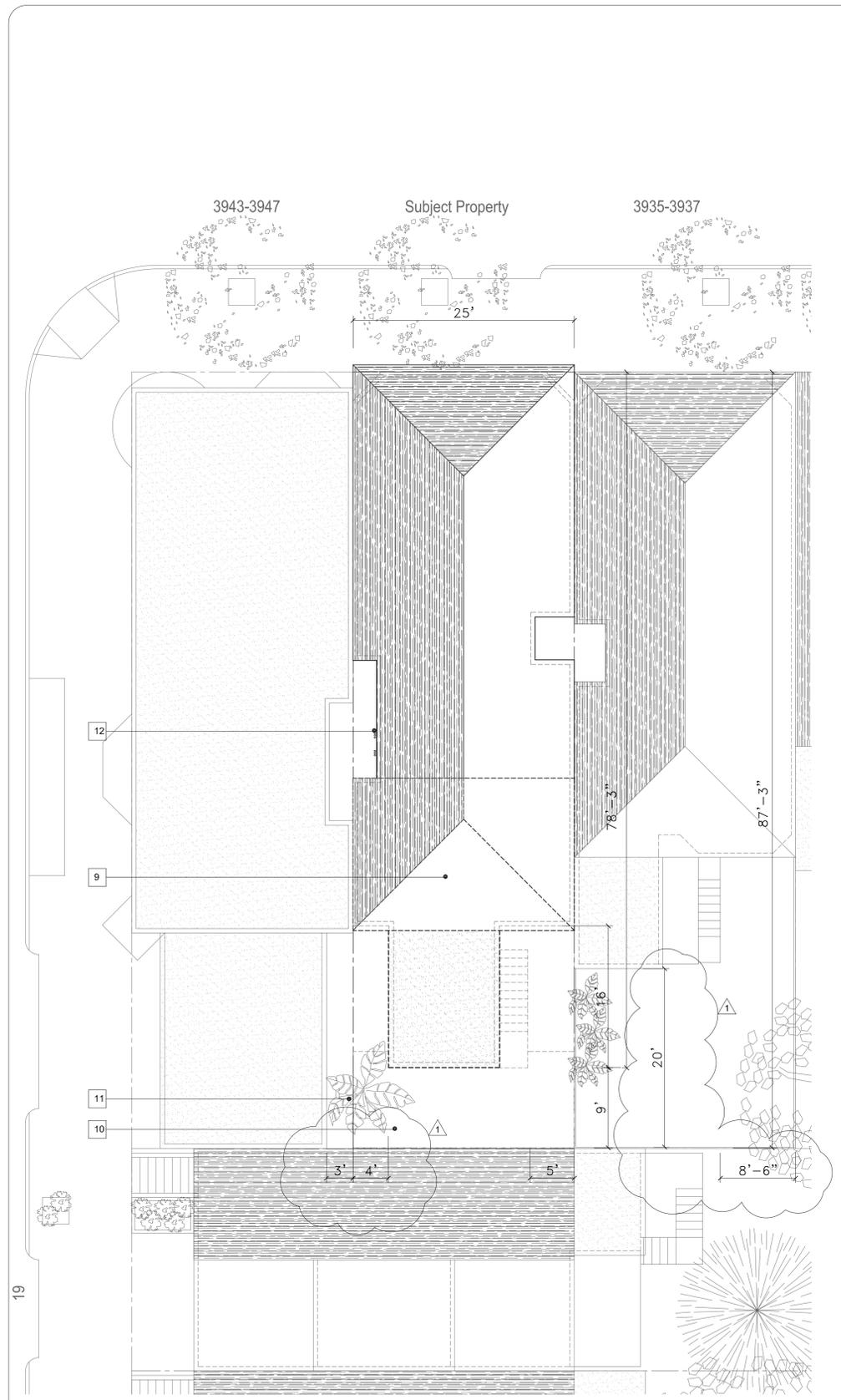
A1.1

GENERAL NOTES

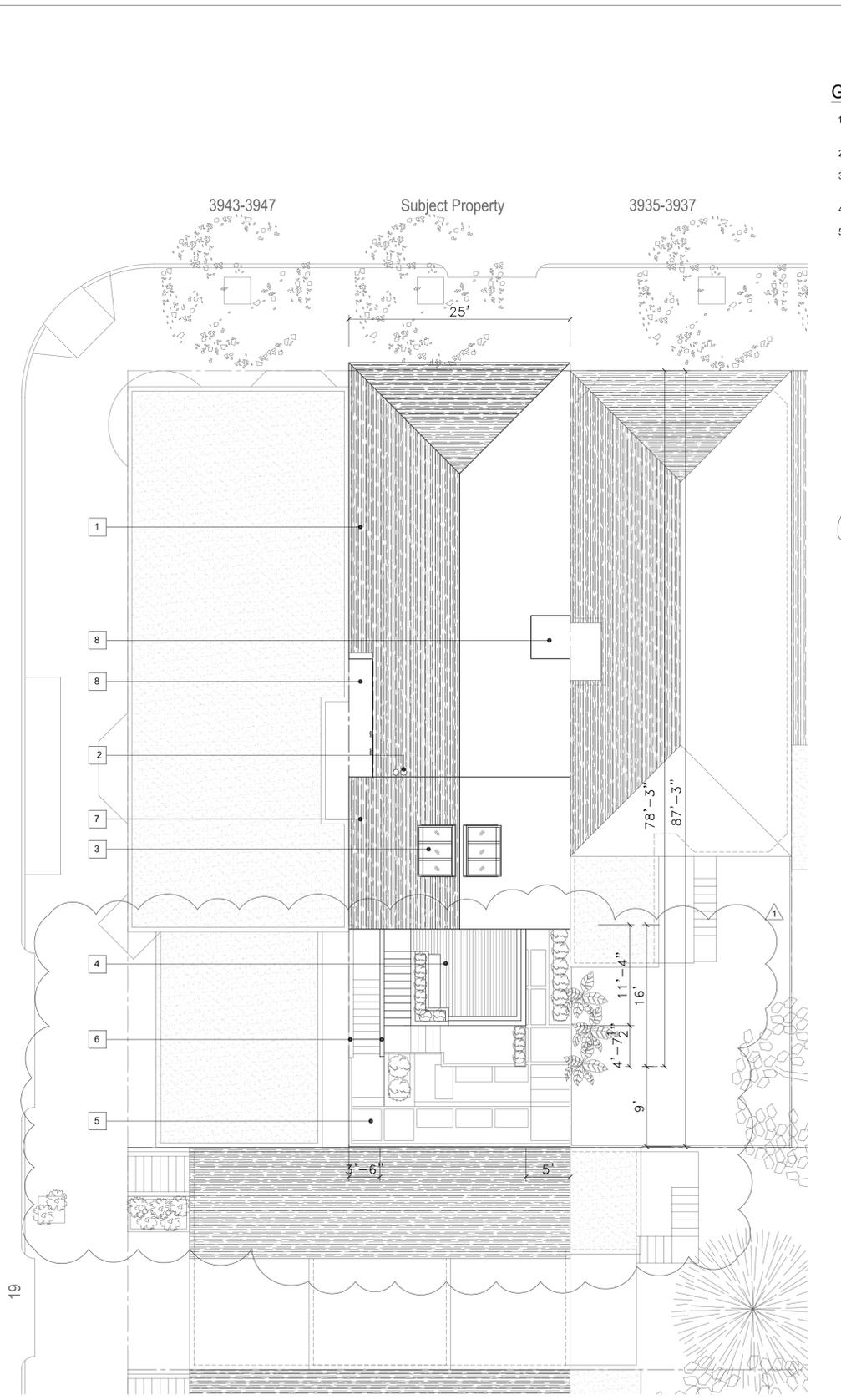
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SHEET NOTES

- 1 (N) CLASS A ROOF TO COVER ENTIRE STRUCTURE
- 2 (N) KITCHEN FAN ROOF VENT
- 3 (N) SKYLIGHTS
- 4 (N) ROOF DECK
- 5 (N) PATIO AND LANDSCAPING
- 6 (N) FIREWALL
- 7 AREA OF ALTERED ROOF LINE
- 8 (E) LIGHTWELL
- 9 (E) ROOF AND STRUCTURE TO BE REMOVED AND REPLACED WITH (N) STRUCTURE. SEE SHEET A2.5 FOR ROOF PLAN
- 10 (E) LANDSCAPING AND DECK TO BE REMOVED.
- 11 REMOVE (E) PALM TREE
- 12 (E) PLUMBING STACKS TO REMAIN



2 EXISTING SITE PLAN
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17
0 8 16 32



1 PROPOSED SITE PLAN
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17
0 8 16 32

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD FRAMING, U.O.N.
2. VERIFY ALL DIMENSIONS IN FIELD, CONTRACTOR TO BRING ALL DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION AND FABRICATION OR BEAR THE COST OF CORRECTION.
3. INSTALL R-13 FIBERGLASS BATT INSULATION @ ALL 2X4 EXTERIOR WALLS. INSTALL R-19 FIBERGLASS BATT INSULATION @ ALL 2X6 EXTERIOR WALLS.
4. INSTALL 5/8" GYP. BD. AT ALL WALLS AND CEILINGS.U.O.N. SEE PLAN AND WALL TYPE SCHEDULE.
5. SEE A0.1 FOR BUILDING HEIGHT CALCULATIONS.

KEY

- WALLS / COMPONENTS TO BE REMOVED
- WALLS TO REMAIN
- (N) AND/OR STRUCTURALLY STRENGTHENED WALLS

SHEET NOTES

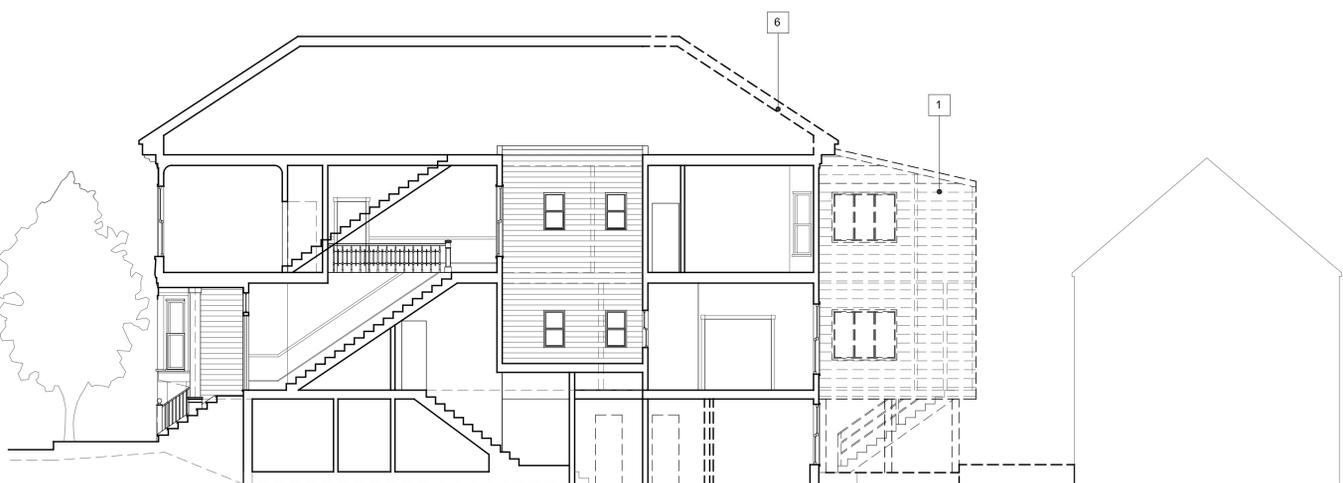
- 1 REMOVE (E) REAR STRUCTURE. SEE SHEETS A2.1-2.5 FOR DEMO NOTES.
- 2 REMOVE (E) WINDOWS.
- 3 ROOFLINE UNCHANGED AT STREET ELEVATION. REMOVE (E) ROOFING OVER ENTIRE STRUCTURE.
- 4 3943-3947 17TH STREET
- 5 3935 17TH STREET
- 6 REMOVE (E) ROOFING AND ROOF STRUCTURE WHERE SHOWN DASHED.
- 7 19 HARTFORD STREET
- 8 REMOVE (E) SIDING WHERE SHOWN DASHED.



4 BUILDING SECTION - EXISTING
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17



2 FRONT ELEVATION - EXISTING
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17



3 BUILDING SECTION - EXISTING
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17

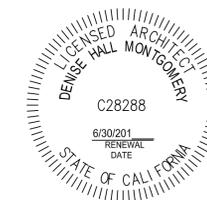


1 REAR ELEVATION - EXISTING
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17

ARCHITECT

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DATE: 09.06.11
JOB: 11001 DRAWN BY: dhm

SHEET

ELEVATIONS & SECTIONS
EXISTING/DEMO

A3.0

GENERAL NOTES

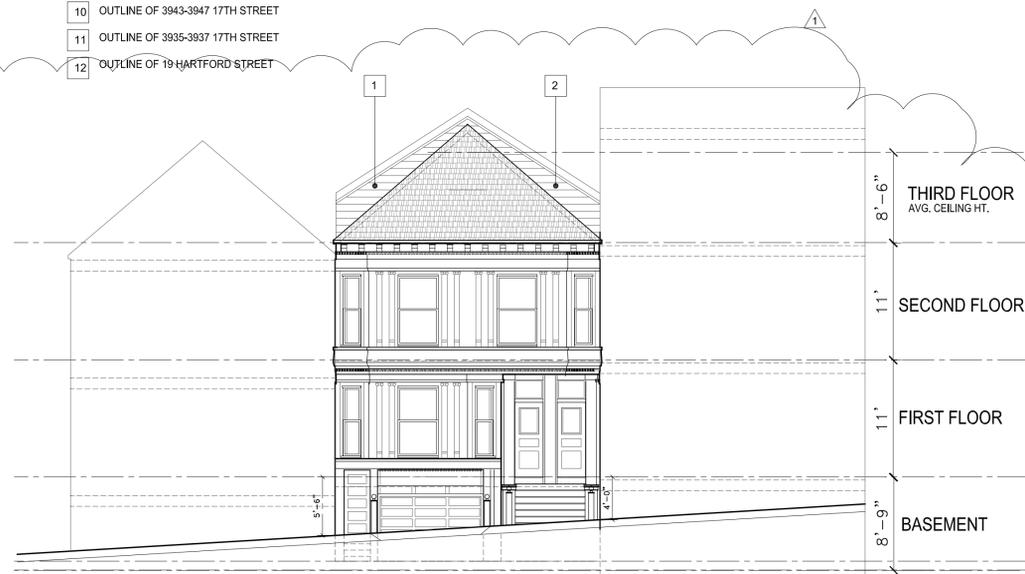
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- INSTALL 5/8" GYP. BD. AT ALL WALLS AND CEILINGS. U.O.N. SEE PLAN AND WALL TYPE SCHEDULE.
- SALVAGE & PROTECT (E) DOORS AND (E) WINDOWS FOR RE-USE IN REMODEL.

SHEET NOTES

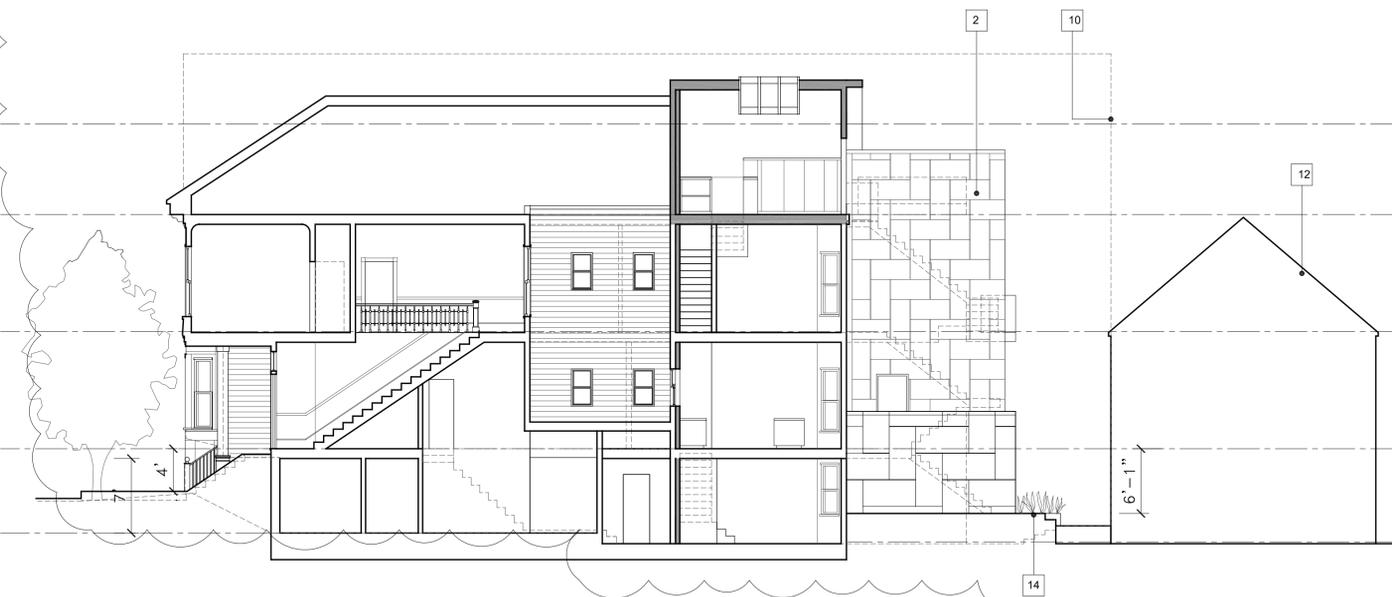
- | | |
|---|----------------------------|
| 1 ALTERED ROOFLINE BEYOND | 13 CONCRETE RETAINING WALL |
| 2 FIRE WALL CLAD IN CEMENT BOARD PANELS | 14 SITE PLANTER |
| 3 METAL RAILING WITH WD. CAP | 15 METAL PLANTER |
| 4 REPLACE (E) WINDOWS WITH (N) WOOD FRAME, DOUBLE PANED WINDOWS | 16 |
| 5 WOOD CLAD BI-FOLD DOORS | |
| 6 METAL FASCIA | |
| 7 CEMENT BOARD SIDING | |
| 8 METAL TRIM | |
| 9 WD CLAD BI-FOLD WINDOWS (TO MATCH DOORS) | |
| 10 OUTLINE OF 3943-3947 17TH STREET | |
| 11 OUTLINE OF 3935-3937 17TH STREET | |
| 12 OUTLINE OF 19 HARTFORD STREET | |



4 LATERAL SECTION / ELEVATION
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17



2 FRONT ELEVATION - PROPOSED
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17



3 LATERAL SECTION / ELEVATION
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17



1 REAR ELEVATION - PROPOSED
1/8"=1'0" @ 24x36 1/16"=1'0" @ 11x17

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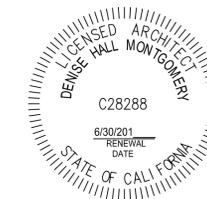
**BUILDING
ELEVATIONS &
SECTIONS
PROPOSED**

A3.1

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ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED
WORK OF THE ARCHITECT AND MAY NOT BE
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CONSENT OF DENISE HALL MONTGOMERY, ARCHITECT.

DATE: 10.26.11
JOB: 11001
DRAWN BY: dhm

SHEET

**BUILDING
PART. ELEVATIONS/
SECTIONS
PROPOSED**

A3.2

GENERAL NOTES

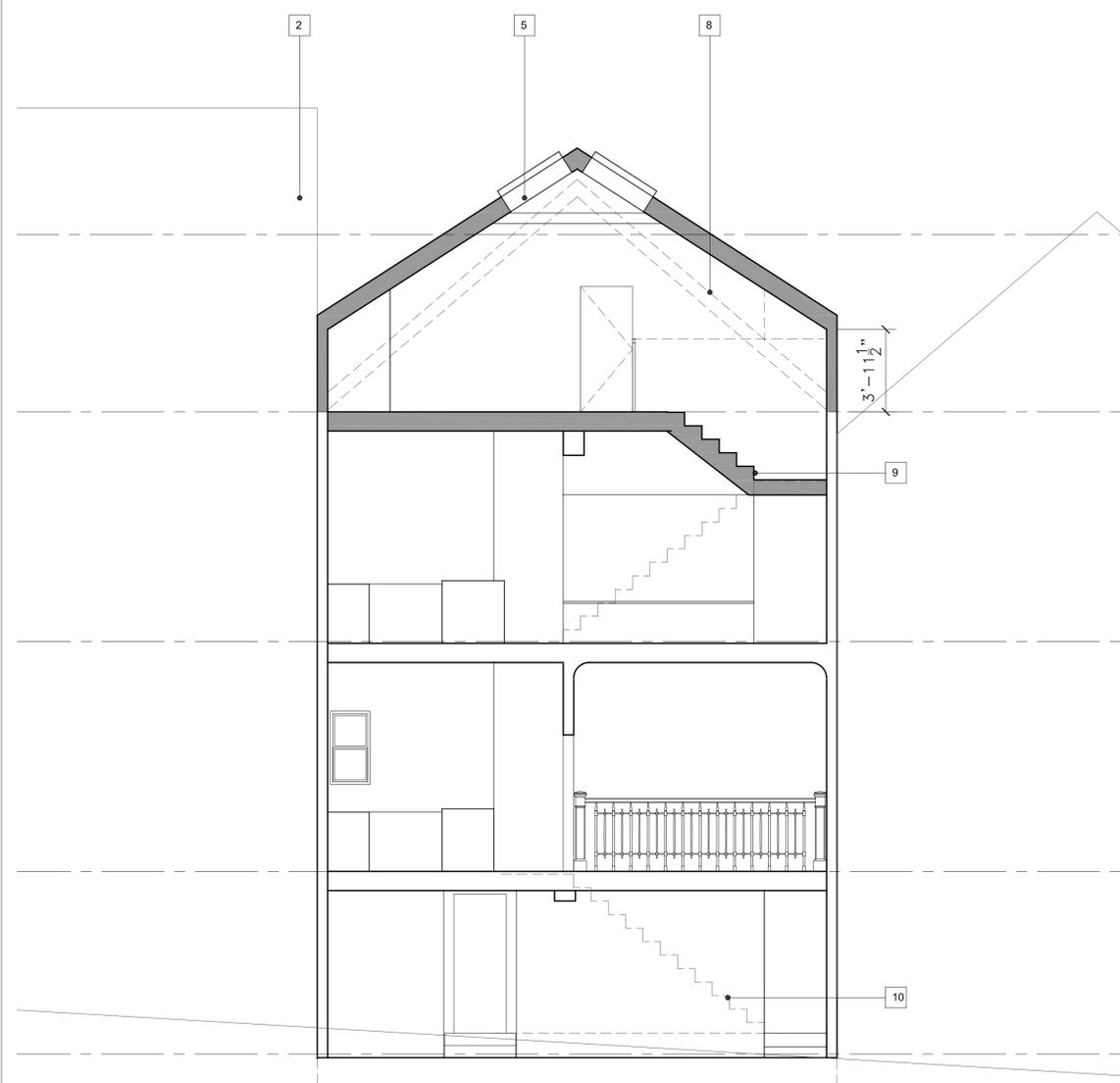
- ALL DIMENSIONS ARE TO FACE OF STUD FRAMING, U.O.N.
- VERIFY ALL DIMENSIONS IN FIELD. CONTRACTOR TO BRING ALL DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION AND FABRICATION OR BEAR THE COST OF CORRECTION.
- INSTALL R-13 FIBERGLASS BATT INSULATION @ ALL 2X4 EXTERIOR WALLS. INSTALL R-19 FIBERGLASS BATT INSULATION @ ALL 2X6 EXTERIOR WALLS.
- INSTALL 5/8" GYP. BD. AT ALL WALLS AND CEILINGS. U.O.N. SEE PLAN AND WALL TYPE SCHEDULE.

KEY

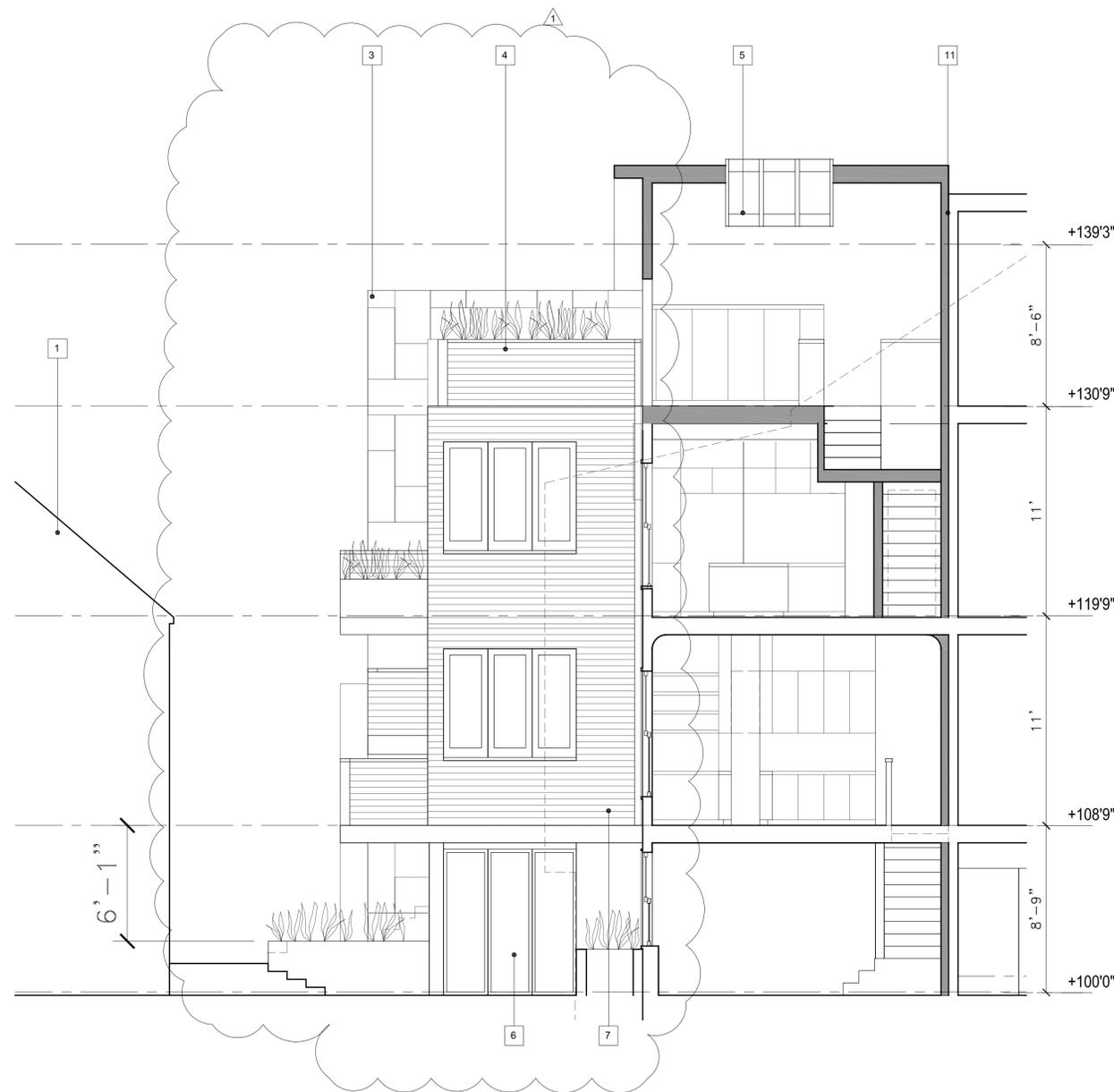
- WALLS / COMPONENTS TO BE REMOVED
- WALLS TO REMAIN
- (N) AND/OR STRUCTURALLY STRENGTHENED WALLS

SHEET NOTES

- 19 HARTFORD STREET
- 3943-3947 17TH STREET
- FIREWALL W/ CEMENT BOARD CLADDING
- METAL GUARDRAILS WITH WOOD CAP
- SKYLIGHT
- POCKET DOORS
- METAL PLANTER
- (E) ROOF LINE BEYOND
- (N) STAIR TO FINISHED ATTIC
- (N) STAIR TO FIRST FLOOR MEDIA RM
- DOUBLE WALL TO STRUCTURALLY BRACE NEW FINISHED ATTIC SPACE



2 SECTION
1/4"=1'0" @ 24x36 1/8"=1'0" @ 11x17
0 2 4 8



1 PARTIAL SECTION/ELEVATION
1/4"=1'0" @ 24x36 1/8"=1'0" @ 11x17
0 2 4 8