



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 26, 2011**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard, Streetface, & Non-Complying Structure)**
 Hearing Body: **Zoning Administrator**

PORPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2329 Castro Street	Case No.: 2011.1052V
Cross Street(s): Day Street	Building Permit: 2011.06.21.8537
Block / Lot No.: 6630/025	Applicant/Agent: Mark English
Zoning District(s): RH-1 / 40-X	Telephone: 391-0186
Area Plan: N/A	E-Mail: mark@markenglisharchitects.com

PROJECT DESCRIPTION

The proposed project is to convert the existing crawl space at the ground level by raising the existing building 4' and reconfiguring the interior. The existing structure is a non-complying structure, and the proposed project will increase the size of the structure.

Section 134 of the Planning Code requires a rear yard that measures 25% of the depth of the lot or not less than 15' in length. The existing building does not have a rear yard. The existing front yard seves as the usable open space, and measures 13'6" in length. The proposed project will not impact the existing open space.

Section 144 of the Planning Code requires that no less than one-third of the width of the ground story along the front lot line shall be devoted to windows, entrances for dwelling units, landscaping, and other architectural features that provide visual relief and interest for the street frontage. The existing solid fence along the front property line does not provide the required features to provide relief.

Section 188 of the Planning Code allows noncomplying structures to be enlarged only if there is no increase in any discrepancy, at any level of the structure, between existing conditions on the lot and the required standards for new construction.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sophie Middlebrook** Telephone: **415-558-6372** Mail: sophie.hayward@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.1052V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

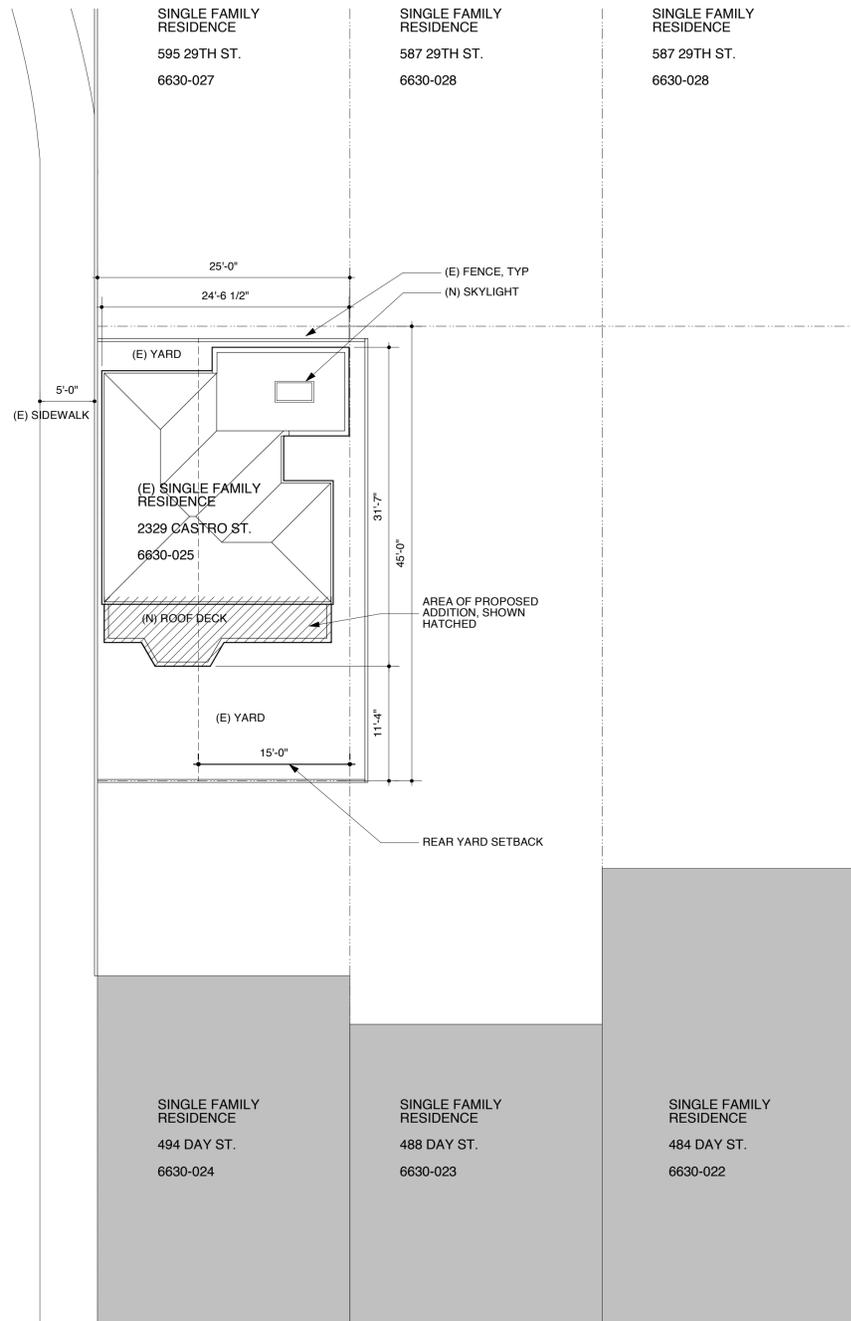
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

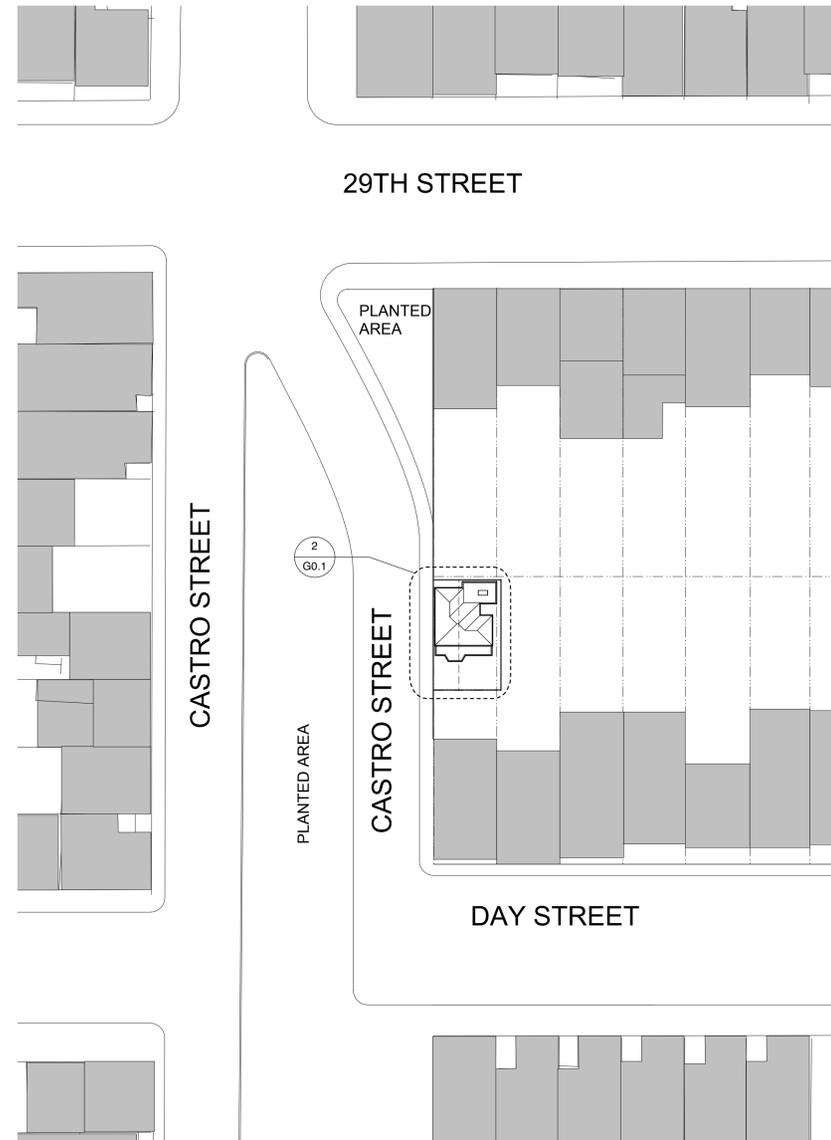
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

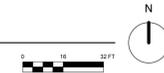
CASTRO STREET



2 ENLARGED SITE PLAN
1/8" = 1'-0"



1 SITE PLAN
1/32" = 1'-0"



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CASTRO STREET RESIDENCE

2329 CASTRO STREET
 SAN FRANCISCO, CA 94131

PROJECT NUMBER: R-10



SITE PLAN

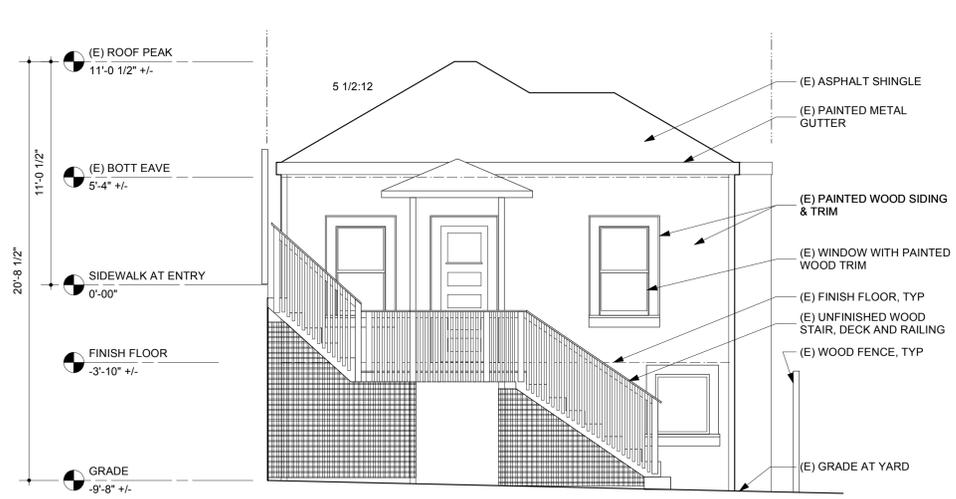
CLIENT APPROVAL SIGNATURE:

REVISIONS:

NO.	DATE	DESCRIPTION
09.09.2011		VARIANCE APP

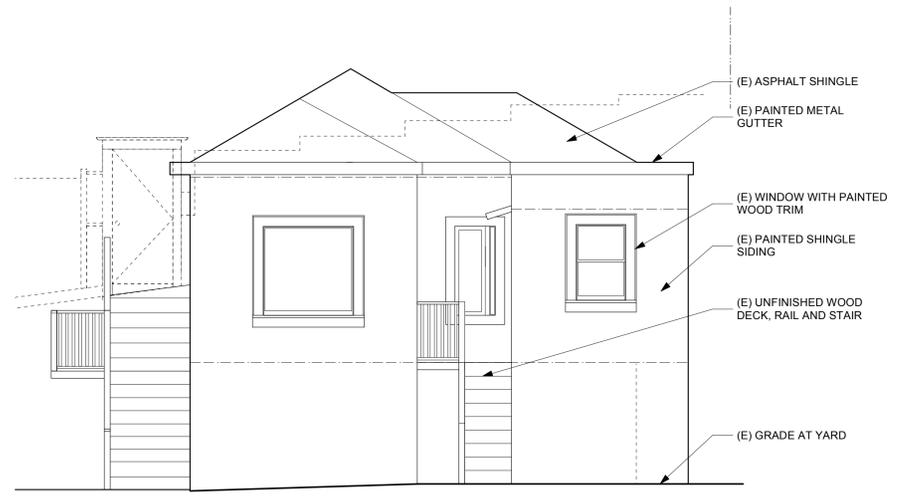
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PRINT DATE: 09.09.2011	
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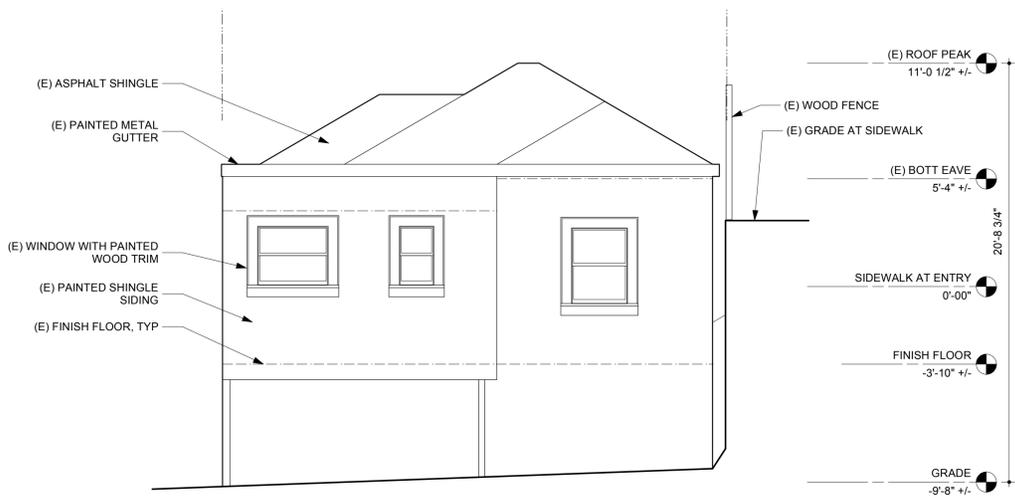
1 (E) SOUTH ELEVATION

1/4" = 1'-0"



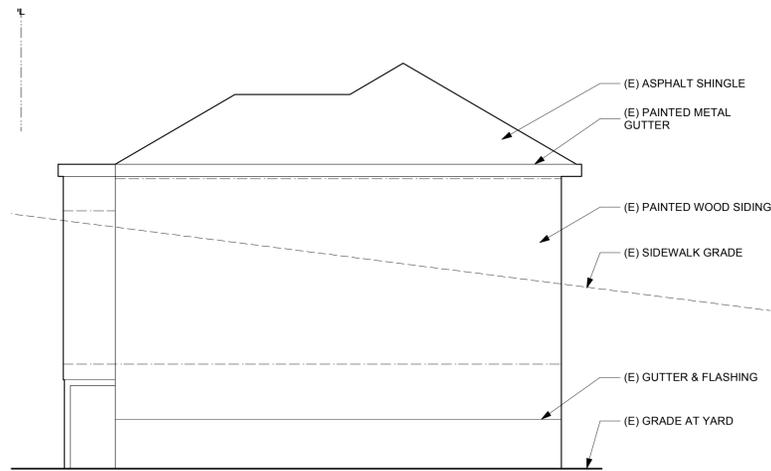
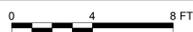
2 (E) EAST ELEVATION

1/4" = 1'-0"



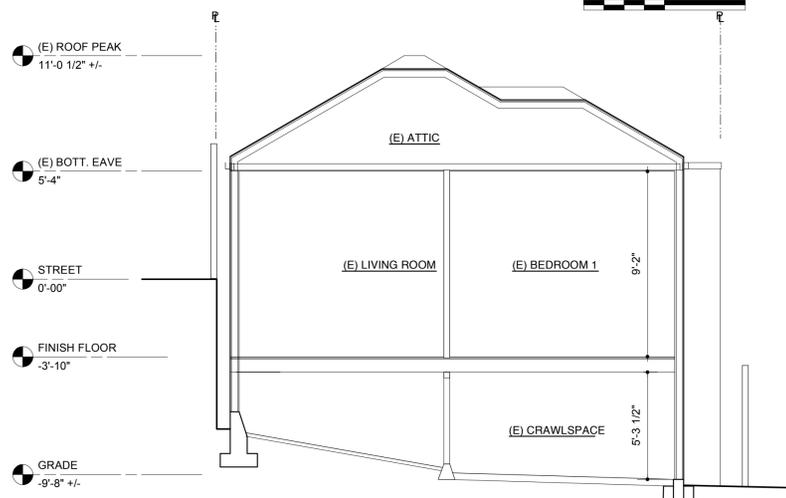
3 (E) NORTH ELEVATION

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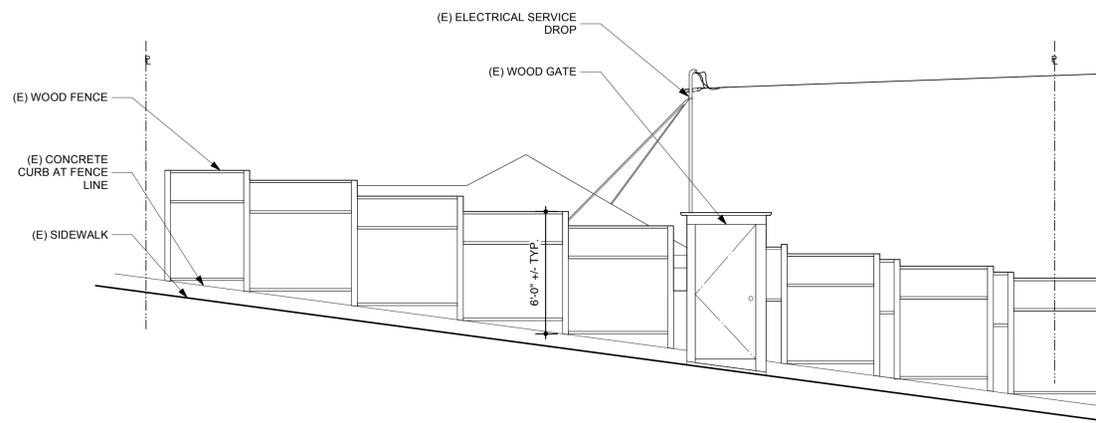
4 (E) WEST (STREET) ELEVATION

1/4" = 1'-0"



5 (E) SECTION

1/4" = 1'-0"



6 (E) STREET (WEST) ELEVATION

1/4" = 1'-0"



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(E) ELEVATIONS

CLIENT APPROVAL SIGNATURE:

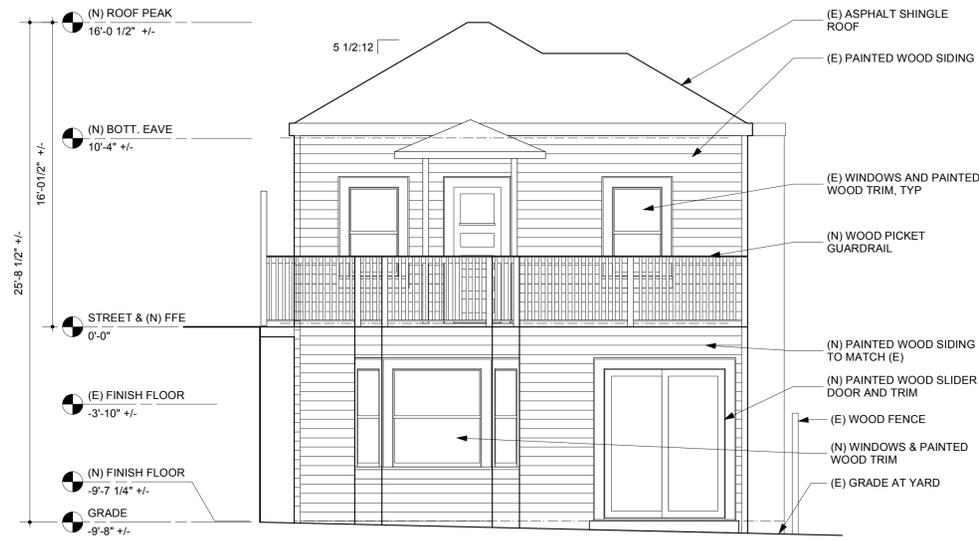
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NO.	DATE	DESCRIPTION
09.09.2011	09.09.2011	VARIANCE APP

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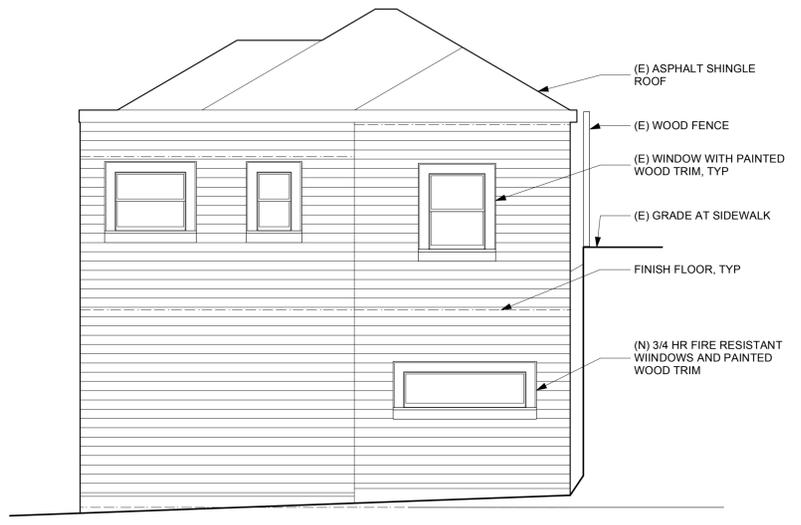
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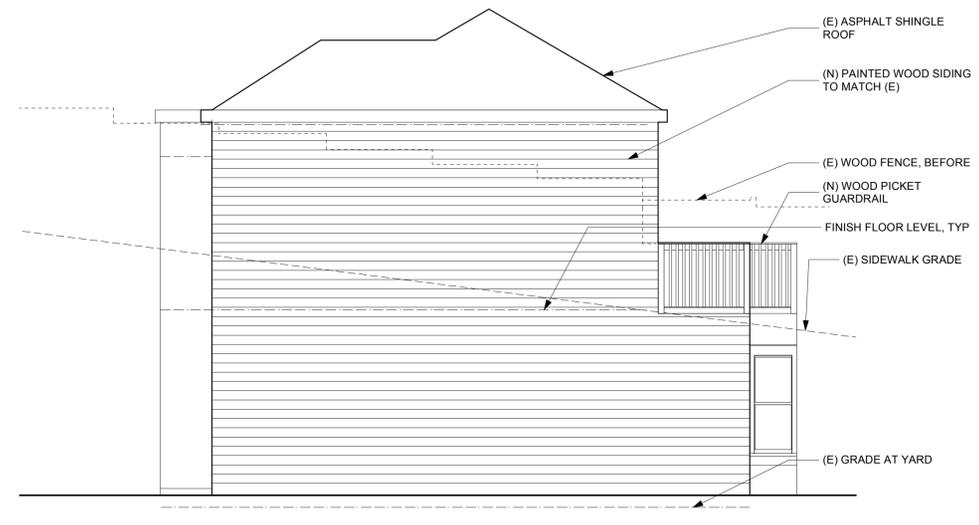
1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



4 PROPOSED WEST (STREET) ELEVATION
1/4" = 1'-0"



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PROPOSED ELEVATIONS

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A2.2