



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 26, 2011**  
Time: **9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance(Rear Yard & Noncomplying Structure)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>1921 Vallejo St</b>	Case No.: <b>2011.0944V</b>
Cross Street(s): <b>Laguna &amp; Octavia</b>	Building Permit: <b>2011.06.01.7223</b>
Block / Lot No.: <b>0567/021</b>	Applicant/Agent: <b>Javier Solorzano</b>
Zoning District(s): <b>RH-2 / 105-D</b>	Telephone: <b>415-724-5240</b>
Area Plan: <b>n/a</b>	E-Mail: <b>javier131064@yahoo.com</b>

### PROJECT DESCRIPTION

The proposal is to construct a one-story horizontal addition, approximately 9 feet wide by 5 feet deep at the rear of the four-story over garage two-family building.

**PER SECTION 134 OF THE PLANNING CODE** the subject property requires a rear yard area to be equivalent to 45 percent of the total lot depth. The subject property, with a lot depth of approximately 108 feet, has a required rear yard of approximately 49 feet. The proposed rear addition would encroach approximately 8 feet into the required rear yard.

**PER SECTION 188 OF THE PLANNING CODE** a noncomplying structure may be altered provided no new discrepancy is created. The rear portion of the existing building is a noncomplying structure as it was constructed within the required rear yard area. The proposed horizontal addition would enlarge the non-complying structure, and thus would be contrary to Section 188.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Christine Lamorena** Telephone: **415-575-9085** Mail: [christine.lamorena@sfgov.org](mailto:christine.lamorena@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0944V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On October 12, 2011, the Department issued the required Section 311 notification for this project (expires November 10, 2011).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

# Peters Residence Remodel

## Construction Set / 15 SEP 2011

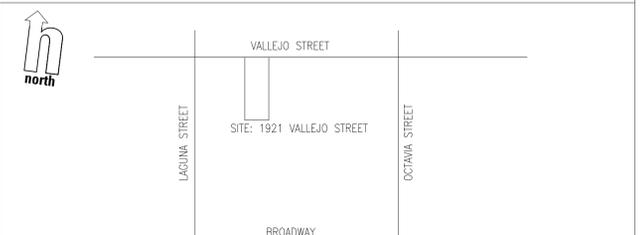
### ABBREVIATIONS

AFF. Acoustical	AB. Anchor Bolt	A.D. Area Drain	A.C.P. Asbestos Cement Pipe	ACS. Accessible	AC. TILE Acoustical Tile	AD.J. Adjustable	AGGR. Aggregate	ALUM. Aluminum	A.P. Acoustical Panel	ARCH. Architectural	ASB. Asbestos	ASPH. Asphalt	BM. Beam	BLKG. Blocking	BLDG. Building	BD. Board	BITUM. Bituminous	BOT. Bottom	CAB. Cabinet	C.P.T. Carpet	C.A.H. Clear All Heart	C.B. Catch Basin	CEM. Cement	C.T. Ceramic Tile	C.I. Cast Iron	CLG. Coiling	C.L. Centerline	CLO. Closet	CLR. Clear	CONC. Concrete	CONN. Connection	CONT. Continuous	CORR. Corridor	C.P. Concrete Pipe	CTSK. Countersunk	CNTR. Counter	C.H. Construction Heart	DBL. Double	DEPT. Department	DTL. Detail	D.F. Douglas Fir or Drinking Fountain	DIA. Diameter	DIM. Dimension	DISP. Dispenser	DO. Ditto	DN. Down	DR. Downspout	D.S. Downspout	DRW. Drawer	DWG. Drawing	DW. Dishwasher	EA. Existing	EF. Exhaust Fan	E.J. Expansion Joint	ELEC. Electric	ELEV. Elevation	EMER. Emergency	ENCL. Enclosure	E.P.B. Electric Panel Board	EQ. Equipment	E.W. Each Way	E.W.C. Electric Watercooler	EX. Expansion	EXP. Exposed	EXT. Exterior	F.A. Fire Alarm	F.D. Floor Drain	F.H.W.S. Flat Head Wood Screw	FIN. Finish	FLASH. Flashing	FL. Floor	F.O.C. Face of Concrete	F.O.F. Face of Finish	F.O.M. Face of Masonry	F.O.S. Face of Stud	F.F. Fire Extinguisher	FND. Foundation	FEC. Fire Extinguisher Cabinet	FHC. Fire Hose Cabinet	FT. Foot	FTG. Footing	FURR. Furring	GA. Gauge	GALV. Galvanized	G.I. Galvanized Iron or Steel	GL. Glass	GND. Ground	GYP.BD. Gypsum Board	GRD. Grade	G.V. Gravity Vent	HDWD. Hardwood	HDWE. Hardware	HR. Hour	HB. Hose Bibb	H.C. Hollow Core	HM. Hollow Metal	HORIZ. Horizontal	H.P. House Panel	HT. Height	LD. Interior Drawing	INSUL. Insulation	INV. Invert	INT. Interior	JAN. Janitor	KIT. Kitchen	K.D. Kiln Dried	LAV. Lavatory	LAM. Laminate	LN. Linoleum	LT. Light	MAT. Material	MAX. Maximum	M.B. Machine Bolt	M.C. Medicine Cabinet	MDF. Main Distribution Frame	MECH. Mechanical	MTL. Metal	MEMB. Membrane	MFG. Manufacturer	M.H. Man Hole	MIC. Microwave	MIR. Mirror	MIN. Minimum	M.O. Masonry Opening	MTD. Mounted	MISC. Miscellaneous	MULL. Mullion	(N) New	NO. Not in Contract	NO. Not to Scale	O. Over	OBS. Obscure	OC. On Center	OD. Overflow Drain	O.F.C.I. Owner Furnished, Contractor Installed	OPNG. Opening	O.H. Opposite Hand	PART. Partition	P.D. Plumbing Drawing	PL. Plate	PLAS. Plaster	PLAM. Plastic Laminate	POL. Polished	PR. Pair	PA. Paint	RA. Rafter	RC. Reflected Ceiling Plan or Reinf. Conc. Pipe	REIN. Reinforced	REFG. Refrigerator	REQD. Required	RESIL. Resilient	RM. Room	R.O. Rough Opening	R.D. Roof Drain	RDWD. Rain Water Leader	R.W.L. Round Head Machine Screw	R.H.M.S. See Architectural Drawings	S.A.D. Solid Core Schedule	S.C. Sheathing	SHT. Sheet	SH. Shelf	SHWR. Shower	SMA. Similar	S.M.S. Sheet Metal Screw	S.O.V. Shut Off Valve	SPEC. Specification	SQ. Square	S.S. Stainless Steel	S.S.D. See Structural Dvgs. Standard	STD. Standard	STL. Steel	S.T.S.M.S. Self Tapping Sheet Metal Screw	STOR. Storage	STR. Structural	STRUCT. Structure	SUSP. Suspended	T&G. Tongue and Groove	T.O.C. Top of Curb	TEL. Telephone	TEMP. Temporarily	TERRAZO. Terrazzo	T.B. Top of Beam	T.O.P. Top of Plate	T.O.S. Top of Sheathing or Steel	TRD. Tread	T.B. Towel Bar	T.T.B. Tel. Terminal Board	T.T.W. Top of Wall	T.S. Tube Steel	TYP. Typical	UNF. Unfinished	U.O.N. Unless Otherwise Noted	VAR. Varies	VERT. Vertical	V.G. Vertical Grain	V.I.F. Verify In Field	V.T.R. Vent Through Roof	W. With	W/O. Without	W.C. Water Closet	WVST. Wainscot	WD. Wood	WH. Water Heater	WP. Waterproof
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### GENERAL NOTES

- THE CONTRACTOR SHALL PERFORM ALL WORK WITH PROPER PERMITS ISSUED BY THE PROPER REGULATORY AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL LAWS, CODES, ORDINANCES, RULES, AND REGULATIONS OF ALL GOVERNING AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND FOR CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH THE CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM, IN WRITING, TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO COMPLETE THE PROJECT UNLESS SPECIFIED OTHERWISE.
- THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SCHEDULE AND PERFORM THE WORK DURING WORKING HOURS AGREED TO WITH THE OWNER UNLESS OTHERWISE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL KEEP SITE CLEAN, INSIDE AND OUT, AND FREE OF DEBRIS AND GARBAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING WORK AREAS AND MATERIALS FROM THEFT, VANDALISM, FIRE AND OTHER LOSSES.
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO OBTAIN AUTHORIZATION WILL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.
- CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL KNOWN UTILITY LINES AND STUBS TO THE BUILDING PRIOR TO THE COMMENCEMENT OF THE WORK.
- CONTRACTOR SHALL ENSURE THAT THE ARCHITECT RECEIVES COPIES OF ALL CHANGES TO BUILDING DESIGN WHICH ARE MADE IN THE COURSE OF CONSTRUCTION. ALL CHANGES AND REVISIONS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE EXECUTION OF SAID WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, STRUCTURAL AND MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING), SECURITY, PLUMBING, AND SPRINKLER WORK SO AS TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED. WHERE CONFLICTS OCCUR, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ANY AND ALL INSPECTIONS REQUIRED FOR THE COMPLETION AND OCCUPANCY OF THE WORK.
- CONTRACTOR TO BE RESPONSIBLE FOR PROTECTING ALL SURFACES NOT TO RECEIVE PAINT. THESE SURFACES SHALL INCLUDE BUT ARE NOT LIMITED TO FLOORS, DOOR HARDWARE, OUTLETS, SWITCHES, FRAMES AND GLASS. CONTRACTOR SHALL CLEAN OR REPLACE AT HIS OWN EXPENSE ANY SURFACE DEFACED OR DAMAGED.
- INSTALLED WORK THAT IS SUBJECT TO DAMAGE BECAUSE OF OPERATIONS ADJACENT THERETO, SHALL BE COVERED, BOARDED UP AND PROTECTED.
- REPAIR ALL DAMAGED SURFACES TO MATCH ADJACENT SURFACES TO A/E SATISFACTION AND INSURE CLEAN TIGHT JOINTS ALL AROUND.
- CONTRACTOR SHALL PREPARE AND SUBMIT A CONSTRUCTION SCHEDULE FOR THE WORK GIVING APPROXIMATE ON-SITE DELIVERY DATES FOR CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF SPECIFIED PRODUCTS.
- SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST, ESTABLISHED PRACTICE OF THE INDUSTRY STANDARD FOR THE TRADES INVOLVED.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- CONTRACTOR SHALL INSTALL PRODUCTS AND APPLY FINISHES IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND SPECIFICATIONS, UNLESS DIRECTED OTHERWISE BY ARCHITECT.
- ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY AND FREE OF VIBRATION. SEE MANUFACTURERS' RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONSTRUCTION METHODS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MISCELLANEOUS CLEANING OF WALLS, FIXTURES, SWEEPING OF FLOORS AND WASHING OF FLOORS, PATCHING AND PAINTING TOUCHUP, DEBRIS REMOVAL, AND ANY OTHER WORK REQUIRED TO LEAVE ALL WORK, INCLUDING WORK PERFORMED UNDER SEPARATE CONTRACTS, CLEAN AND READY FOR OCCUPANCY. ALL CLEANING WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER.
- ALL DIMENSIONS ARE TO FACE OF WALLBOARD, TYPICAL. FOR MINIMUM ACCESSIBLE CLEARANCES, DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- SEAL TIGHT AND PROTECT WITH FIRE SAFING SLEEVES AT OPENINGS THROUGH FIRE RATED PARTITIONS.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKBOARDS, ELECTRICAL OUTLETS, CONDUITS, ETC. AS REQUIRED BY THE OWNER'S TELEPHONE COMPANY, TO ACCOMMODATE THEIR INSTALLATION.

### VICINITY MAP



### PROJECT SCOPE OF WORK

- DEMOLITION PER PLANS (INCLUDING BUT NOT LIMITED TO REMOVAL OF CASEWORK, WALLS, ROOF, ELECTRICAL AND PLUMBING CONNECTIONS TO EXISTING APPLIANCES OR FIXTURES, COLLAPSIBLE EGRESS LADDER)
- PROVIDE INTERIM SUPPORT AND PROTECTION OF EXISTING STRUCTURE AND FINISHES ADJACENT TO DEMOLISHED AREAS
- CONSTRUCT NEW CONTINUOUS FOOTING AT KITCHEN EXTENSION
- NEW CONSTRUCTION PER PLANS (INCLUDING BUT NOT LIMITED TO FRAMING, WALL, PARTITION, FLOOR AND ROOF CONSTRUCTION)
- INSTALLATION AND CONNECTION OF APPLIANCES AND SINK INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS
- INSTALLATION OF CAESERSTONE COUNTERTOPS PER MFG SPECIFICATIONS AND RECOMMENDATIONS
- EXTENSION OF HEATING DUCT TO REGISTER IN BASEBOARD OF NEW CASEWORK (CASEWORK NIC)
- INSTALLATION OF NANAWALL BIFOLD DOOR PER MFG SPECIFICATIONS AND RECOMMENDATIONS
- REVERSE SWING OF DOOR TO POWDER ROOM. INSTALL NEW DOOR TO MATCH EXISTING.
- INSTALLATION OF NEW PRECAST CONCRETE PIERS, PRESSURE TREATED FRAMING AS NECESSARY AND IPE DECKING
- INSTALLATION OF NEW DECK RAIL NEAR BBQ AREA
- INSTALLATION OF NEW ELECTRICAL OUTLETS PER DRAWINGS AND CODES. COORDINATE LOCATIONS WITH ARCHITECT
- INSTALLATION OF NEW OAK FLOORING TO MATCH EXISTING PRIOR TO CASEWORK INSTALLATION (CASEWORK INSTALLATION BY OTHERS)
- REFINISH ALL WOOD FLOORS ON 1ST LEVEL SO THAT NEW FLOOR AND EXISTING FLOOR HAVE SAME FINISH. TEST FIRST SO THAT A UNIFORM FINISH IS ACHIEVED THROUGHOUT FIRST FLOOR
- PAINT ALL NEW GYPSUM BOARD WALLS AND REPAIR AFFECTED EXISTING WALLS IN KITCHEN, POWDER ROOM AND DINING ROOMS. SEE FINISH SCHEDULES.

### FINISHES COORDINATE WITH SCHEDULES

<b>PAINT</b>	- PVA PRIMER AND 2 COAT ACRYLIC - MFG TO BE BENJAMIN MOORE - COLORS TO BE SELECTED - SEMI-GLOSS FINISH AT KITCHEN - EGGSHELL/SATIN FINISH AT POWDER ROOM AND DINING ROOM
<b>WOOD TRIM AND BASE</b>	- MATCH PROFILE AND THICKNESS OF EXISTING TRIM - PAINT WITH GLOSS ENAMEL - COLOR TO BE SELECTED
<b>COUNTERTOP</b>	- 1 INCH THICK CAESERSTONE AS SHOWN ON DRAWINGS
<b>BACKSPLASH</b>	- CAESERSTONE TO MATCH COUNTERTOPS
<b>DECK</b>	- 2X6 IPE (IRONWOOD) BOARDS - ALL FRAMING TO BE PRESSURE TREATED
<b>HARDWARE</b>	- MATCH FINISH OF EXISTING HARDWARE
<b>NANAWALL</b>	- INSTALL PER DRAWINGS AND NANAWALL SPECIFICATIONS - COLOR/FINISH TO BE SELECTED
<b>EXTERIOR CLADDING</b>	- EXTERIOR WOOD SHINGLES TO MATCH EXISTING
<b>ROOF</b>	- COMPOSITION SHINGLES - COLOR TO BE SELECTED - MFG BY CERTAINTED, GAF OR ARMSTRONG
<b>GLASS CANOPY</b>	- 5/8" TEMPERED GLASS

### LEGENDS & SYMBOLS

COLUMN OR GRID LINES	1	DOOR NO.	000-0
INTERIOR ELEVATION	A, B, C, D	KEY NOTE	X
EXTERIOR ELEVATION	NO. SHEET	ELEVATION DATUM	EL. +X'-X"
BUILDING SECTION	NO. SHEET	ROOM NAME/NO.	ROOM NAME ROOM NO.
SECTION	NO. SHEET	EQUIPMENT	X-X X
DETAIL REFERENCE	NO. SHEET	WALL TYPE	X SEE DRAWING A8.01
		FINISH TYPE	XXX
		WINDOW TYPE	X
		DETAIL REFERENCE	0 A0.00

### CODE SUMMARY

APPLICABLE CODES:  
CALIFORNIA BUILDING CODE - 2010 EDITION  
CALIFORNIA GREEN BUILDING CODE - 2008 EDITION  
BUILDING OCCUPANCY: R-3 (PRIMARILY RESIDENTIAL, 2 DWELLING UNITS)

CONSTRUCTION TYPE: TYPE 5B

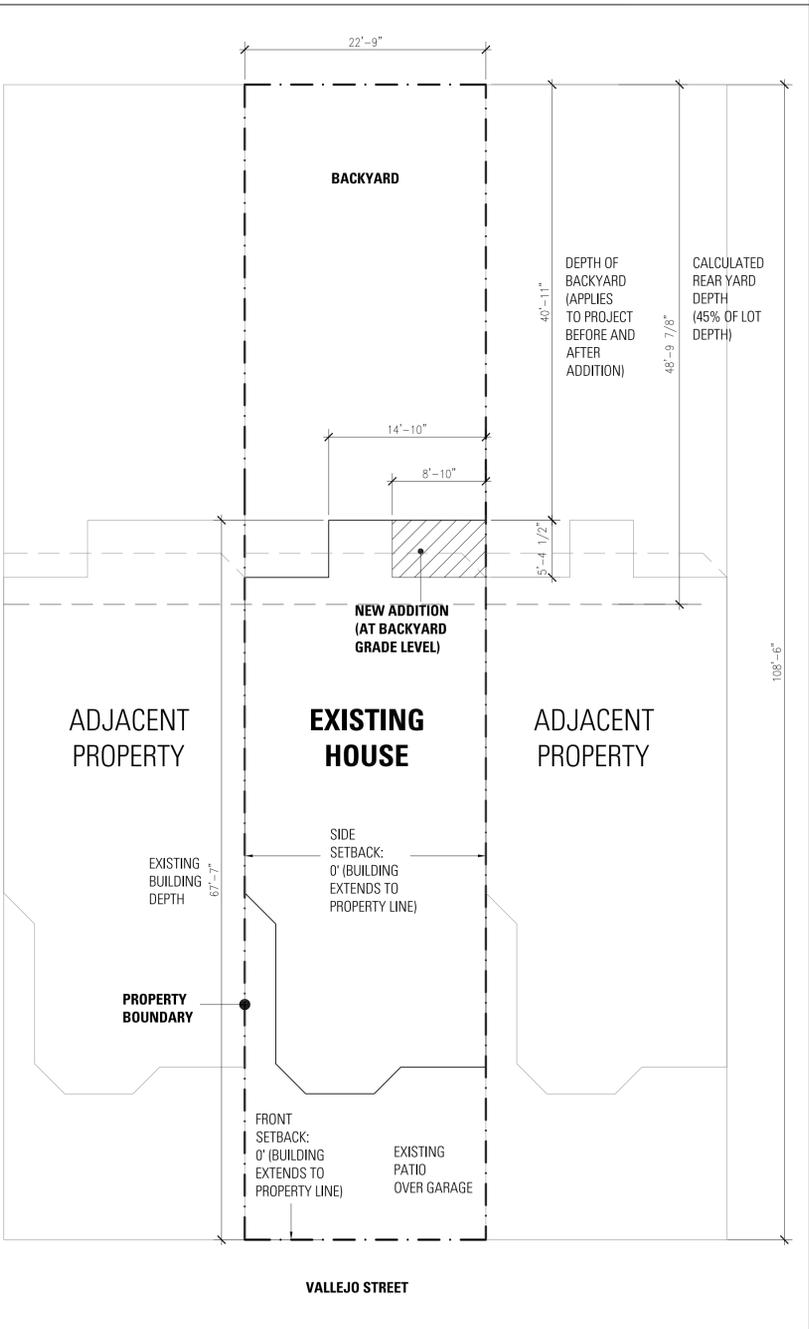
PROJECT ADDRESS: 1921 VALLEJO STREET, SAN FRANCISCO, CA

LOT SQUARE FOOTAGE: 2,446  
STORIES: 4  
YEAR BUILT: 1900

### SHEET INDEX

- A0.01 - Notes, Information
- D2.01 - Floor Plan and RCP (Demolition)
- A2.01 - Floor Plan and RCP (New), Finish Schedule
- A3.01 - Exterior Elevations and Existing Building Documentation
- ~~A6.01 - Interior Elevations~~ NOT INCLUDED IN THIS SET
- A6.01 - Framing and Foundation Plans
- A8.01 - Details
- A8.02 - Details
- A8.01 - Details
- E2.01 - Electrical Plan and Schedules

### SITE PLAN SCALE: 1/8" = 1'-0"



### BLOCK AND PARCEL

0567 - 021

### ZONING

ZONE:  
RH-2 RESIDENTIAL HOUSE, TWO FAMILY HEIGHT AND BULK DISTRICT:  
105-D  
NOT IN A SPECIAL USE DISTRICT  
NOT IN A SPECIAL SIGN DISTRICT

### REQUIRED REAR YARD

THE PROPOSED ADDITION EXTENDS INTO THE REAR YARD TO AN EQUAL EXTENT AS ADJACENT PROPERTIES. THE PROPOSED ADDITION ALSO EXTENDS NO FURTHER THAN A PREVIOUS ADDITION TO THE SUBJECT BUILDING.



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## Peters Residence

### Kitchen Remodel and Extension

### San Francisco, CA

NOTE: If this drawing is not 36"x24" it has been revised from its original size. Scale noted on drawing/details are no longer applicable.

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Rev.	Date	Remarks
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### - CONSTRUCTION SET -

Date: **15 SEP 2011**

Scale: **NTS**

KH Project Name: **Peters Residence San Francisco, CA**

KH Project No. **10011.00**

### Notes, Information

Sheet No.

# A0.01

# EXISTING BUILDING DOCUMENTATION



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

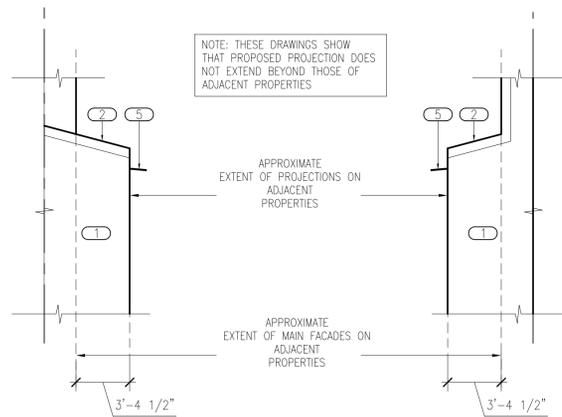


REAR ELEVATION - ADJACENT BLDG (WEST SIDE)



REAR ELEVATION - ADJACENT BLDG (EAST SIDE)

NOTE: PHOTOS OF ADJACENT BUILDINGS SHOW SIMILAR PROJECTIONS TO THAT PROPOSED FOR SUBJECT PROPERTY

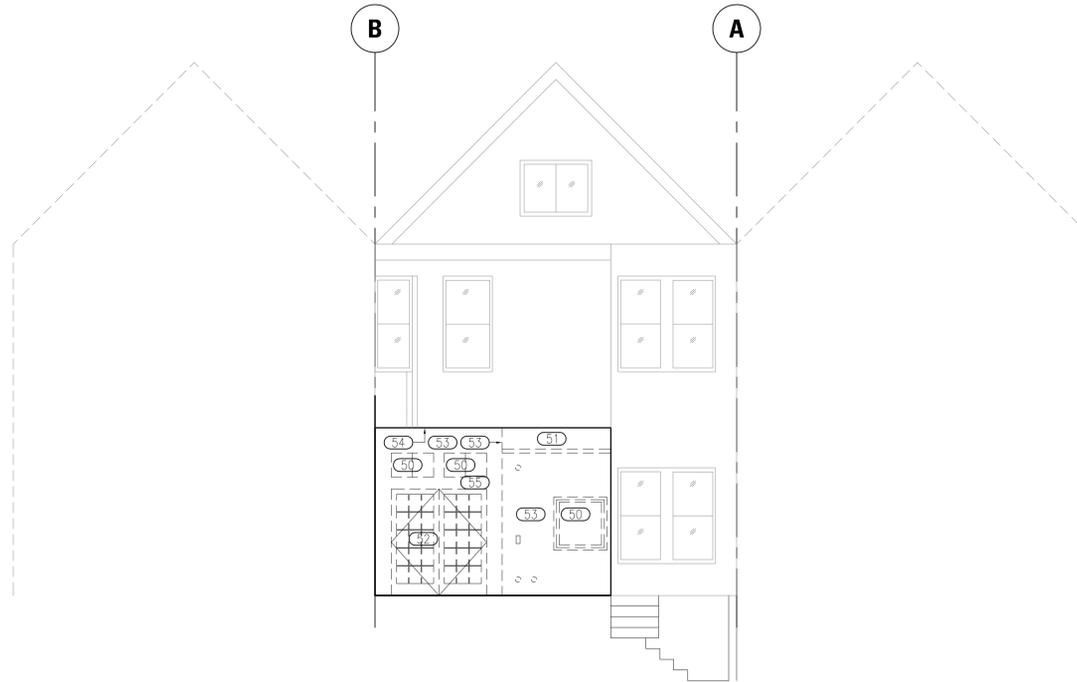


NOTE: THESE DRAWINGS SHOW THAT PROPOSED PROJECTION DOES NOT EXTEND BEYOND THOSE OF ADJACENT PROPERTIES

**4**  
**A3.01** Ext West Elevation (New)  
SCALE: 3/16" = 1'-0"

**3**  
**A3.01** Ext East Elevation (New)  
SCALE: 3/16" = 1'-0"

**2**  
**A3.01** Ext South Elevation (New)  
SCALE: 3/16" = 1'-0"



**1**  
**A3.01** Exterior Elevation (Demo)  
SCALE: 3/16" = 1'-0"



## GENERAL NOTES

- WHERE WALLS OR SOFFITS ARE BEING DEMOLISHED CONTRACTOR SHALL ALSO REMOVE ANY HOSE BIBS, LIGHTS OR ELECTRICAL CONNECTIONS

## SHEET NOTES (NEW)

- (N1) NEW WALLS - SEE WALL TYPES
- (N2) NEW ROOF - SEE A8.02
- (N3) NEW BIFOLD DOOR PAIR
- (N4) LIGHTING FIXTURE
- (N5) GLAZED CANOPY - SEE A8.02

## SHEET NOTES (DEMO)

- (S1) DEMOLISH WINDOW
- (S2) DEMOLISH EXISTING ROOF
- (S3) DEMOLISH EXISTING DOORS
- (S4) DEMOLISH WALL
- (S5) DEMOLISH SOFFIT
- (S6) DEMOLISH EXISTING COLLAPSIBLE LADDER

## LEGEND

- DEMOLISH



**Owner**  
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## Peters Residence

### Kitchen Remodel and Extension

### San Francisco, CA

NOTE: If this drawing is not 36"x24" it has been revised from its original size. Scale noted on drawing/details are no longer applicable.

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Rev. Date Remarks

## - CONSTRUCTION SET -

Date: 15 SEP 2011

Scale: VARIES

KH Project Name: Peters Residence  
San Francisco, CA

KH Project No. 10011.00

Drawing Title:

## Exterior Elevations (E) Building Documentation

Sheet No.

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