



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 07, 2011**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard and Noncomplying Structure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>2600 Pacific Av</b>	Case No.:	<b>2011.0915V</b>
Cross Street(s):	<b>At Pierce Street</b>	Building Permit:	<b>201109023793</b>
Block / Lot No.:	<b>0584/003</b>	Applicant/Agent:	<b>Reba Jones</b>
Zoning District(s):	<b>RH-1 / 40-X</b>	Telephone:	<b>415.203-6114</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>jones@butlerarmsden.com</b>

### PROJECT DESCRIPTION

The proposal includes the construction of a new dormer window along the northern (rear) slope of the existing noncomplying single-family dwelling. Although the new dormer will not extend above the existing roof's ridgeline, it will volumetrically expand a portion of the roof that is located within the required rear yard, necessitating the granting of rear yard and noncomplying structure variances.

**PER SECTIONS 134 AND 188 OF THE PLANNING CODE** the Subject Property is required to maintain a rear yard of approximately 32'-0", measured parallel to the rear property line. The existing single-family dwelling encroaches into the required rear yard by approximately 28'-0", extending to within approximately 4'-0" of the rear property line. The proposed dormer encroaches into the required rear yard by approximately 19'-0", extending to within approximately 13'-0" of the rear property line. This rear yard encroachment necessitates rear yard and noncomplying structure variances, pursuant to Planning Code Sections 134 and 188, respectively.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Elizabeth Watty** Telephone: **415-558-6620** Mail: [elizabeth.watty@sfgov.org](mailto:elizabeth.watty@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0915V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On October 18, 2011, the Department issued the required Section 311 notification for this project (expired November 16, 2011).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS

&

AND

ANGLE

AT

CENTERLINE

DIAMETER

NUMBER

DEMOLISH

(D)

EXISTING

(E)

NEW

(N)

REMOVE

A.B.

ANCHOR BOLT

ABV.

ABOVE

ADJ.

ADJACENT

A.F.F.

ABOVE FINISHED FLOOR

AGGR.

AGGREGATE

ALN.

ALIGN

ALUM.

ALUMINUM

APPROX.

APPROXIMATE

ARCH.

ARCHITECTURAL

AV.

AUDIO VISUAL

BD.

BOARD

BLDG.

BUILDING

BLK.

BLOCK

BLKG.

BLOCKING

BM.

BEAM

B.O.

BOTTOM OF

B.U.R.

BUILT UP ROOFING

CAB.

CABINET

CEM.

CEMENT

CER.

CERAMIC

CLG.

CEILING

CLKG.

CAULKING

CLR.

CLEAR

C.M.U.

CONC. MASONRY UNIT

C.O.

CENTER OF

COL.

COLUMN

CONC.

CONCRETE

CONT.

CONTINUOUS

DBL.

DOUBLE

DTL.

DETAIL

DIA.

DIAMETER

DIM.

DIMENSION

DN.

DOWN

DR.

DOOR

DS.

DOWNSPOUT

DWG.

DRAWING

DWR.

DRAWER

E.

EAST

EA.

EACH

ELEC.

ELECTRICAL

ELEV.

ELEVATION

ENCL.

ENCLOSURE

EQ.

EQUAL

EQUIP.

EQUIPMENT

EXT.

EXTERIOR

F.D.

FLOOR DRAIN

FF. & E.

FURNITURE, FIXTURES & EQUIP.

FF.

FINISH FLOOR

FIN.

FINISH

FLR.

FLOOR

FLUOR.

FLUORESCENT

FMT.

FIXTURE

F.O.

FACE OF

F.O.C.

FACE OF CONCRETE

F.O.F.

FACE OF FINISH

F.O.S.

FACE OF STUD

FNDN.

FOUNDATION

FT.

FOOT OR FEET

FTT.

FOOTING

FURR.

FURRING

GALV.

GALVANIZED

GA.

GAGE

G.F.I.C.

GROUND FAULT INTERCEPTOR

GL.

GLASS

GR.

GRADE

GRND.

GROUND

GSM.

GALVANIZED SHEET METAL

GYP.

GYPSPUM

H.B.

HOSE BIB

H.C.

HOLLOW CORE

HDWD.

HARDWOOD

HDWR.

HARDWARE

HT.

HEIGHT

HORIZ.

HORIZONTAL

HR.

HOUR

INSUL.

INSULATION

INT.

INTERIOR

LAM.

LAMINATE

LAV.

LAVATORY

L.O.

LINE OF

LT.

LIGHT

MAX.

MAXIMUM

MED. CAB.

MEDICINE CABINET

MECH.

MECHANICAL

MEMB.

MEMBRANE

MTL.

METAL

MTD.

MOUNTED

MFR.

MANUFACTURER

MIN.

MINIMUM

MIR.

MIRROR

MISC.

MISCELLANEOUS

N.

NORTH

N.I.C.

NOT IN CONTRACT

NO.

NUMBER

NOM.

NOMINAL

N.T.S.

NOT TO SCALE

O/

OVER

O.A.

OVERALL

OBS.

OBSCURE

O.C.

ON CENTER

O.D.

OUTSIDE DIAMETER

OPNG.

OPENING

OPP.

OPPOSITE

P.G.

PAINT GRADE

PL.

PLATE

PLAM.

PLASTIC LAMINATE

PLYWD.

PLYWOOD

PR.

PAIR

PROP.LN.

PROPERTY LINE

P.T.

PRESSURE TREATED

R.

RISER

RAD.

RADIUS

R.D.

ROOF DRAIN

RDWD.

REDWOOD

REF.

REFERENCE

REFR.

REFRIGERATOR

REINF.

REINFORCED

REQ.

REQUIRED

RESIL.

RESILIENT

RL.

RAIN LEADER

RM.

ROOM

R.O.

ROUGH OPENING

S.

SOUTH

S.C.

SOLID CORE

SCHED.

SCHEDULE

SD

SMOKE DETECTOR

SECT.

SECTION

SHR.

SHOWER

SHT.

SHEET

SIM.

SIMILAR

SL.

SLOPE

S.L.D.

SEE LANDSCAPE DRAWINGS

SPEC.

SPECIFICATION

SQ.

SQUARE

S.S.D.

SEE STRUCTURAL DRAWINGS

S.S.

STAINLESS STEEL

STD.

STANDARD

STL.

STEEL

STOR.

STORAGE

STRUC.

STRUCTURAL

SYM.

SYMMETRICAL

T.

TREAD

T.B.

TOWEL BAR

TEL.

TELEPHONE

T.&G.

TONGUE AND GROVE

THK.

THICK

TMFR.

TEMPERED

T.O.

TOP OF

T.O.P.

TOP OF PAVEMENT

T.O.W.

TOP OF WALL

T.S.

TUBULAR STEEL

T.V.

TELEVISION

TYP.

TYPICAL

U.O.N.

UNLESS OTHERWISE NOTED

V.C.T.

VINYL COMPOSITION TILE

VERT.

VERTICAL

V.I.F.

VERIFY IN FIELD

W.

WEST

W/

WITH

WD.

WOOD

W/O

WITHOUT

W.P.

WATERPROOFING

WT.

WEIGHT

SYMBOLS

1

A-1

DRAWING/DETAIL REFERENCE NUMBER

DRAWING OR DETAIL

SHEET WHERE DRAWING/DETAIL OCCURS

1

A3.1

SECTION REFERENCE NUMBER

BUILDING SECTION

SHEET WHERE SECTION OCCURS

A3.1

INTERIOR ELEVATION REFERENCE NUMBER

INTERIOR ELEVATION

SHEET WHERE INTERIOR ELEVATION OCCURS

ALIGN

ALIGN

HIDDEN LINE

STUD WALL (UNLESS NOTED OTHERWISE)

CONCRETE STRUCTURE, S.S.D.

INSULATION IN SECTION (BATT)

INSULATION IN SECTION (RIGID)

LATH AND PLASTER IN SECTION

GYPSPUM BOARD IN SECTION

PLYWOOD IN SECTION

FINISH WOOD IN SECTION

GLASS IN SECTION

DOOR SYMBOL

WINDOW SYMBOL

PLUMBING FIXTURE SYMBOL

PLUMBING FITTING SYMBOL

APPLIANCE SYMBOL

EQUIPMENT SYMBOL

REVISION

MATCHLINE

WORKPOINT OR DATUM

GENERAL NOTES

1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.

2. CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.

3. ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.

4. CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.

5. CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.

6. CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.

7. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.

8. ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.

9. IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

10. DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.

11. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.

12. ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSION S ARE NOT TO BE SCALED OFF DRAWINGS.

13. THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.

14. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.

15. WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.

16. CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.

17. WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.

18. ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM. U.O.N.

19. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.

20. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.

21. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.

22. STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

NOTE: DESIGN BASED ON THE CBC 2010 & SAN FRANCISCO BUILDING CODE 2010 AMENDMENTS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS.

PROJECT TEAM

ARCHITECT:  
Butler Armsden Architects  
2849 California Street  
San Francisco, CA 94115  
ph 415. 674. 5554  
Pax 415. 674. 5558

VICINITY MAP

PROJECT DATA

BLOCK: 0584  
LOT: 003  
ZONED: RH-1  
HEIGHT LIMIT: 40-X  
OCCUPANCY: SINGLE FAMILY DWELLING

CONDITIONED SPACE:	Existing	Proposed	Difference
GARAGE FLOOR	0 sqft.	0 sqft.	0 sqft.
BASEMENT FLOOR	1,943 sqft.	1,943 sqft.	0 sqft.
FIRST FLOOR	3,321 sqft.	3,321 sqft.	0 sqft.
SECOND FLOOR	3,267 sqft.	3,267 sqft.	0 sqft.
THIRD FLOOR	293 sqft.	322 sqft.	29 sqft.
UN-CONDITIONED:	Existing	Proposed	Difference
GARAGE FLOOR	2,495 sqft.	2,495 sqft.	0 sqft.
BASEMENT FLOOR	17 sqft.	17 sqft.	0 sqft.
FIRST FLOOR	17 sqft.	17 sqft.	0 sqft.
SECOND FLOOR	17 sqft.	17 sqft.	0 sqft.
THIRD FLOOR	29 sqft.	0 sqft.	-29 sqft.
TOTAL:	11,399sqft.	11,399sqft.	0 sqft.

CONSTRUCTION CLASSIFICATION:  
Type V (Wood-Framed Construction)

SCOPE OF WORK:  
CONSTRUCT NEW DORMER AT NORTH ELEVATION WITH NEW MTL. WINDOWS AT EXISTING THIRD FLOOR OFFICE.

SHEET INDEX

ARCHITECTURAL:

A0.0 TITLE SHEET

A0.1 EXISTING SITE PLAN

A1.1 EXISTING FLOOR PLANS - NO WORK

A1.2 DEMOLITION THIRD FLOOR PLAN

A1.3 EXISTING SOUTH & WEST ELEVATIONS

A1.4 DEMOLITION NORTH ELEVATION

A1.5 EXISTING EAST ELEVATION

A1.6 DEMOLITION NORTH-SOUTH SECTION

A2.1 PROPOSED THIRD FLOOR PLAN & SCHEDULES

A2.2 PROPOSED ROOF PLAN

A3.1 PROPOSED WEST ELEVATION

A3.2 PROPOSED NORTH ELEVATION

A3.3 PROPOSED EAST ELEVATION

A3.4 PROPOSED NORTH-SOUTH SECTION

BLOCK PLAN

BLOCK: 0584 LOT: 003

SCALE: 1" = 50'

VARIANCE APPLICATION

revisions	by:

job#:

1104

date:

AUG. 23. 2011

drawn:

DS/RA/LW

checked:

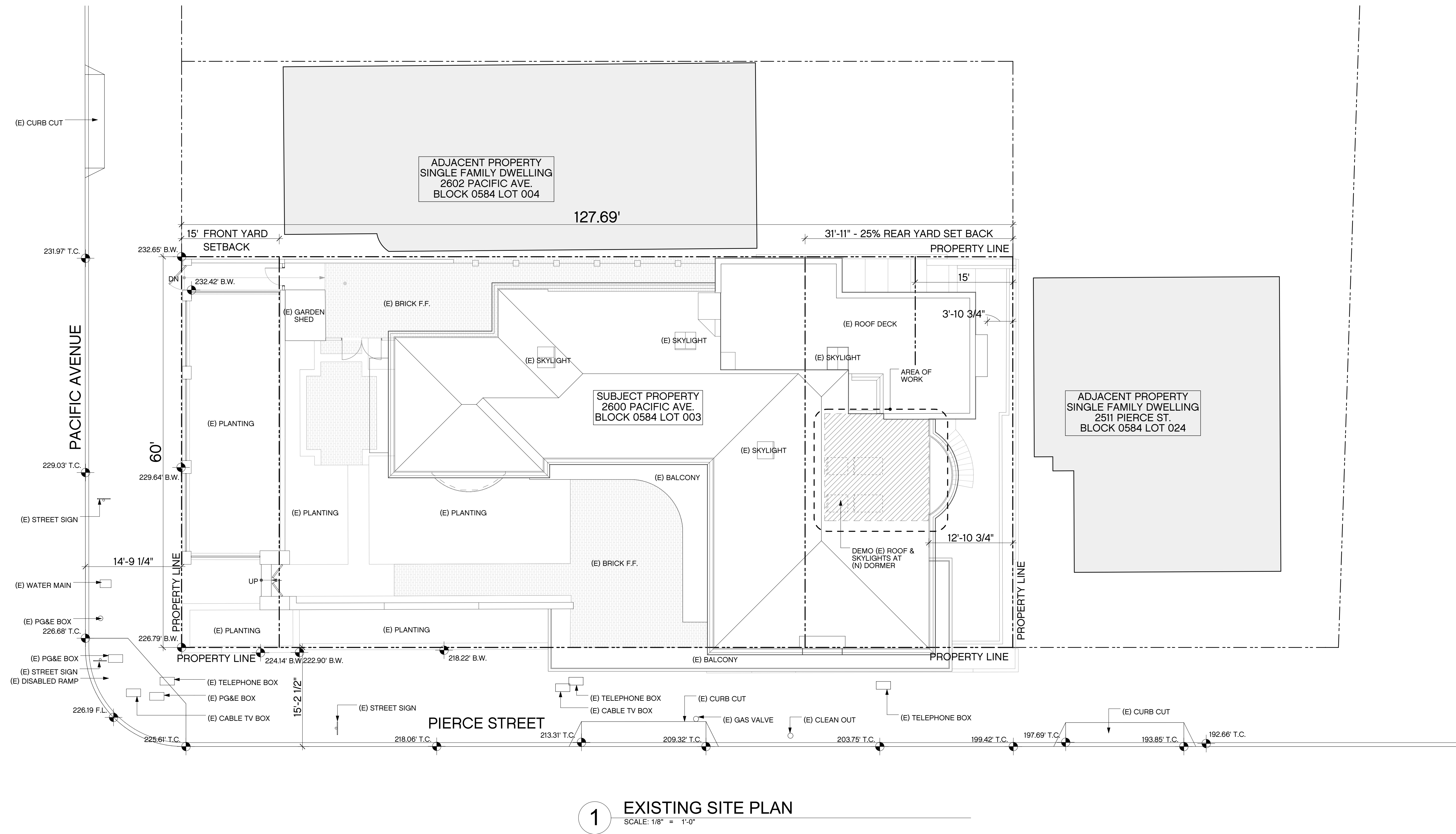
LB

scale:

AS NOTED

TITLE SHEET

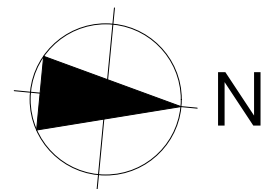
A0.0



VARIANCE APPLICATION

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scale:	AS NOTED



EXISTING SITE  
PLAN





VARIANCE APPLICATION

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scale:	AS NOTED

EXISTING SOUTH  
& WEST  
ELEVATIONS



## VARIANCE APPLICATION

[illegible]

job#:	1104
date:	AUG. 23, 2011
drawn:	DS/RA/LW
checked:	LB
scale:	AS NOTED



VARIANCE APPLICATION

revisions	by:

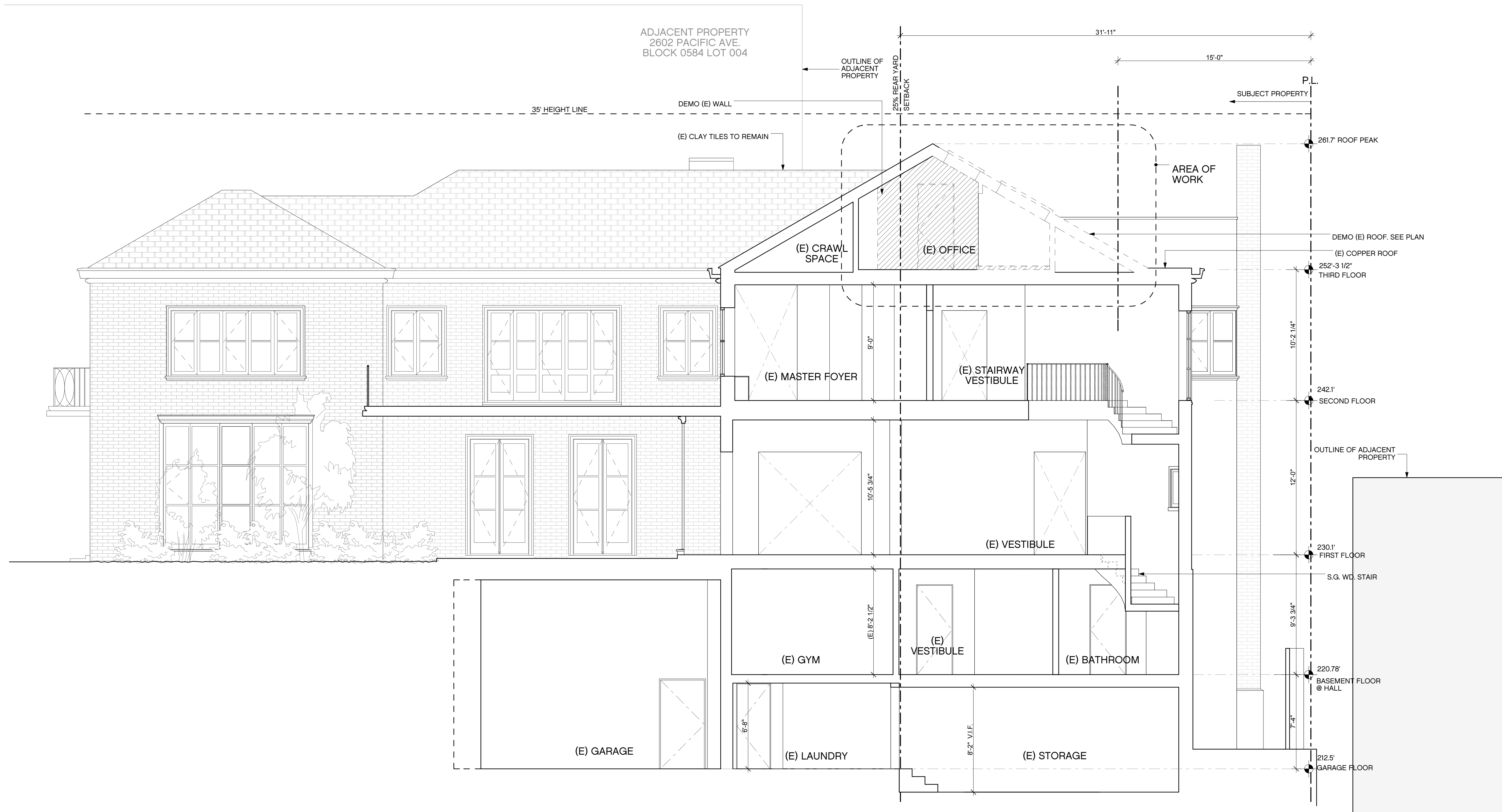
job#:	1104
date:	AUG. 23, 2011
drawn:	DS/RA/LW
checked:	LB
scale:	AS NOTED

EXISTING EAST  
ELEVATION




[illegible]


job#:	1104
date:	AUG. 23, 2011
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checked:	LB
scale:	AS NOTED





**1 DEMO NORTH -SOUTH SECTION**  
SCALE: 1/4" = 1'-0"

WALL LEGEND

 EXISTING WALL TO BE REMOVED

 EXISTING WALL

 NEW WALL

 EARTH FILL

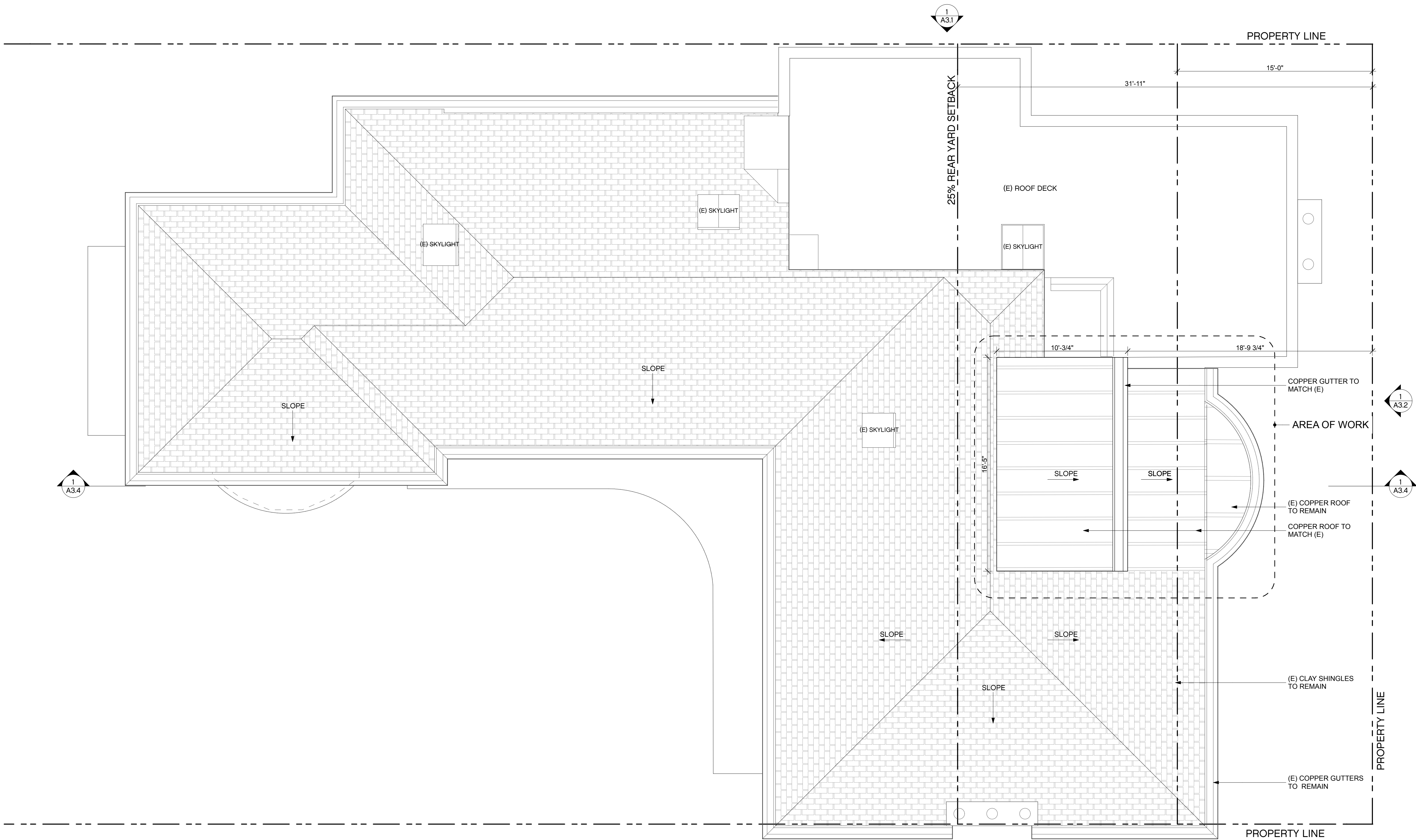
GENERAL NOTES

1. FOR DOORS, SEE DOOR SCHEDULE, SHEET A2.6.



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2600 PACIFIC RESIDENCE  
2600 PACIFIC AVENUE, SAN FRANCISCO, CA 94115



1 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

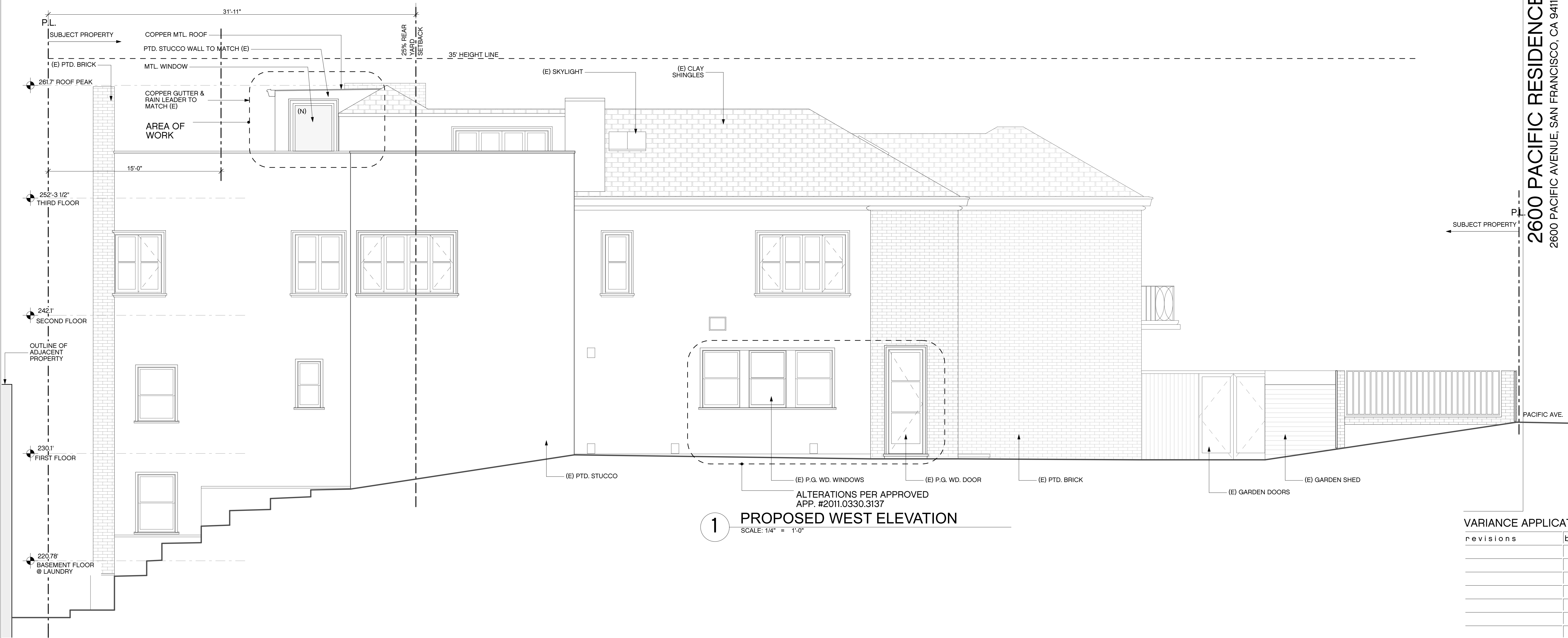
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drawn:	DS/RA/LW
checked:	LB
scale:	AS NOTED

PROPOSED  
ROOF PLAN

A2.2



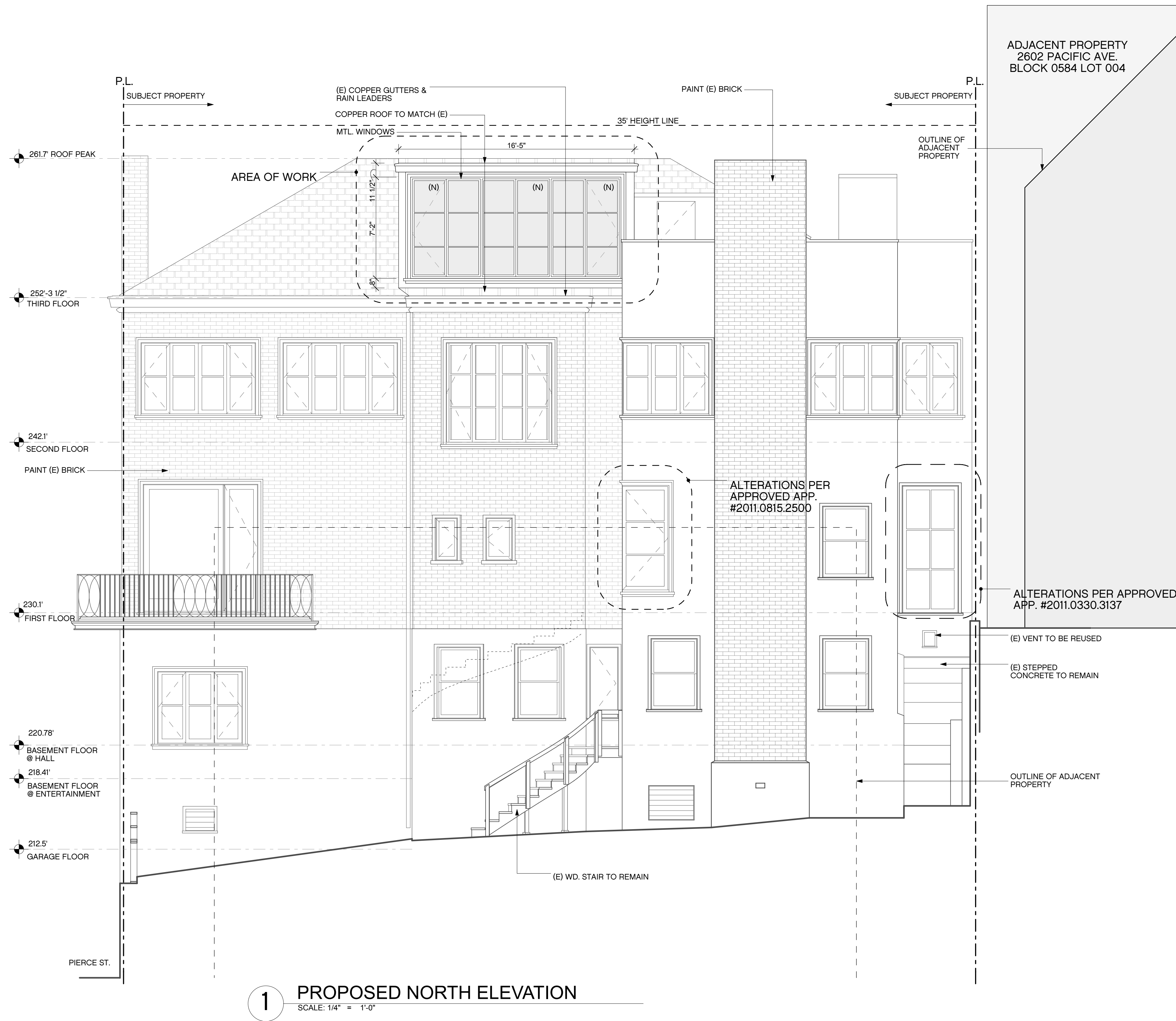
2600 PACIFIC RESIDENCE  
2600 PACIFIC AVENUE, SAN FRANCISCO, CA 94115

VARIANCE APPLICATION

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checked:	LB
scale:	AS NOTED

PROPOSED  
WEST  
ELEVATION

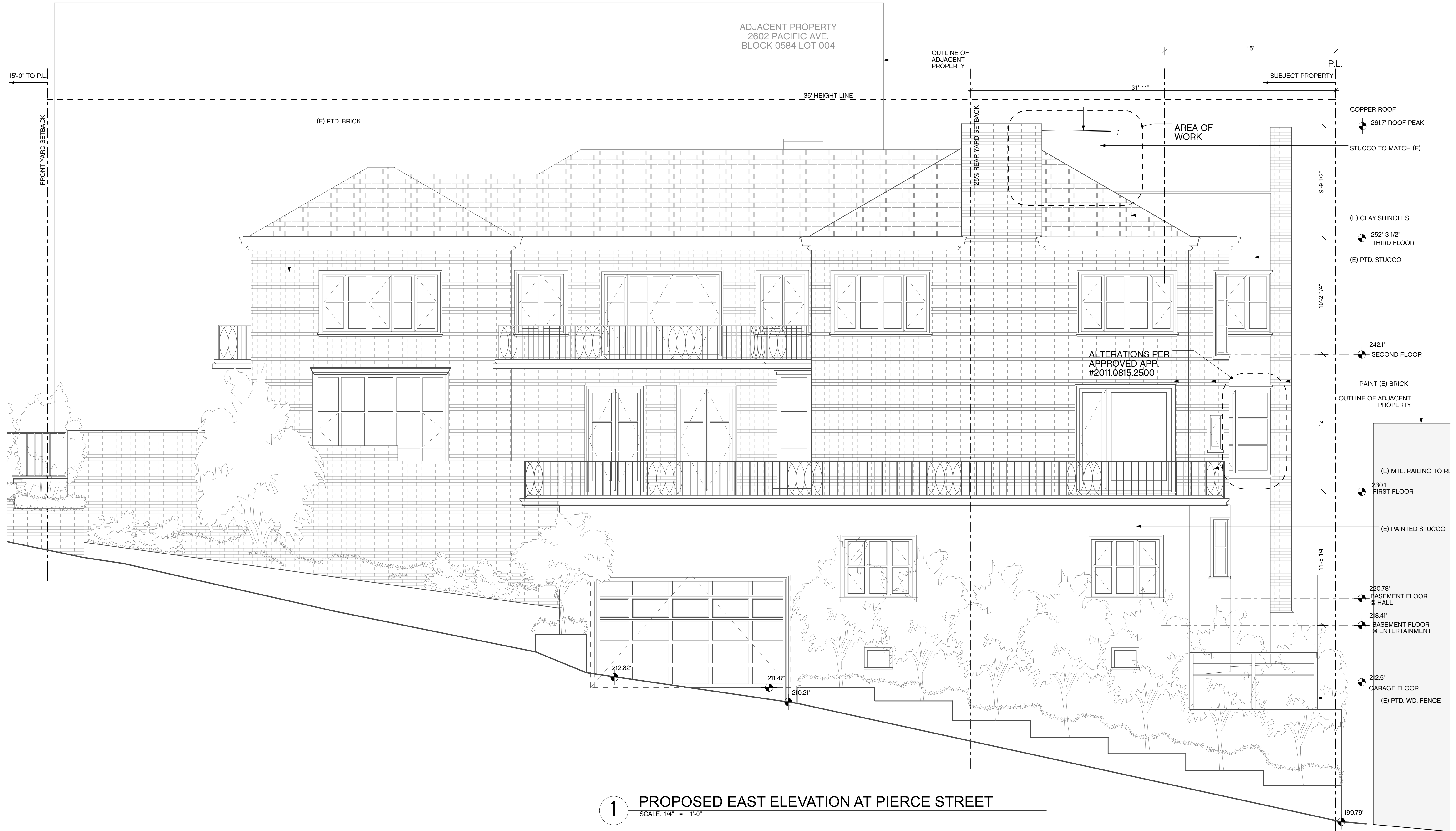


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PROPOSED  
NORTH  
ELEVATION



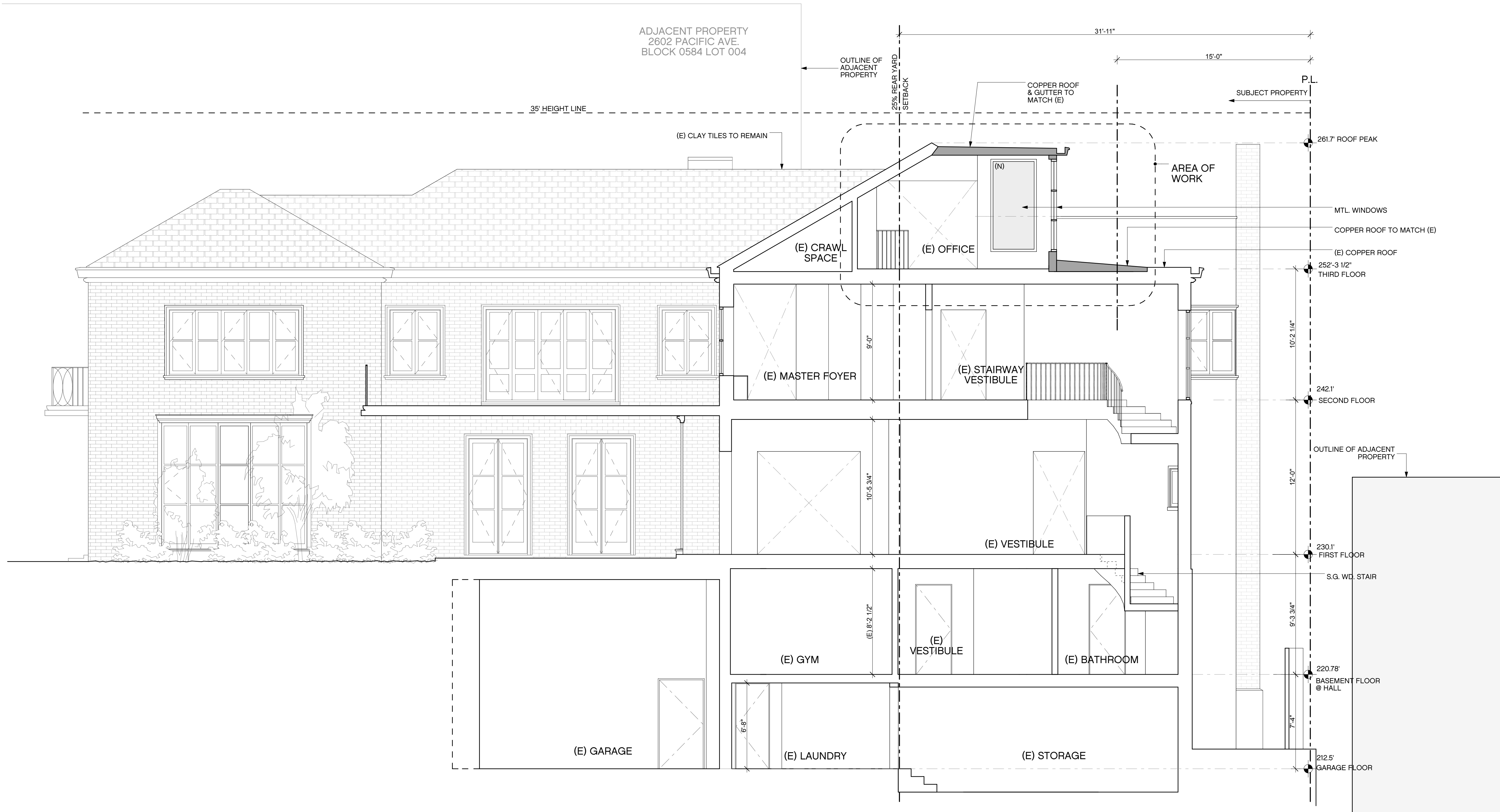
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checked:	LB
scale:	AS NOTED

PROPOSED EAST  
ELEVATION





1 PROPOSED NORTH -SOUTH SECTION  
SCALE: 1/4" = 1'-0"

VARIANCE APPLICATION

revisions	by:

job#:	1104
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drawn:	DS/RA/LW
checked:	LB
scale:	AS NOTED

PROPOSED  
NORTH-SOUTH  
SECTION