



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 27, 2012**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Lot Area, Rear Yard, Open Space, Mass Reduction, Parking)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	209 Prentiss Street & 1201 Cortland Avenue	Case No.:	2011.0793V
Block /Lot No.:	5654 / 022-023	Building Permit:	2011.1209.0432
Zoning District(s):	RH-1 / 40-X	Applicant/Agent:	Winnie Tam
Area Plan:	N/A	Telephone:	(650) 692-2029
		E-Mail:	winnietam9@aol.com

PROJECT DESCRIPTION

The proposal is to adjust an existing lot line and to construct a new single-family dwelling on the resulting vacant lot along Prentiss Street. The existing single-family dwelling along Cortland Street would remain substantially unchanged.

PER SECTION 121 OF THE PLANNING CODE both lots must have a lot area of at least 1,750 square feet. The existing lot with frontage on Cortland contains 1,526 square feet while the existing lot fronting on Prentiss contains 1,712 square feet. The modified lots would contain 1,726 square feet and 1,540 square feet, respectively, thus requiring lot area variances.

PER SECTION 135 OF THE PLANNING CODE the single family house on each modified lot must provide at least 300 square feet of usable open space. The modified lot with frontage on Cortland does not provide adequate qualifying usable open space and therefore requires an open space variance.

PER SECTION 242(e)(2) OF THE PLANNING CODE both lots must provide a rear yard of 15 feet or 35 percent of lot depth, whichever is greater. The modified lot with frontage on Cortland would provide a rear yard of approximately 5 feet, at minimum. The modified lot fronting on Prentiss would provide a rear yard of approximately 4 feet, at minimum. As such, rear yard variances are required for both modified lots.

PER SECTION 242(e)(3) OF THE PLANNING CODE the buildings on both modified lots are required to include a 'mass reduction' of 650 square feet. Neither building would meet this requirement under the proposed lot line adjustment and therefore a mass reduction variance is required of each.

PER SECTION 242(e)(4) OF THE PLANNING CODE the buildings on both modified lots are required to provide 2 off-street parking spaces each. The lot with frontage on Cortland Avenue would not provide any parking, thus requiring a parking variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0793V.pdf>

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Erika S. Jackson** Telephone: **(415) 558-6363** E-Mail: erika.jackson@sfgov.org

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

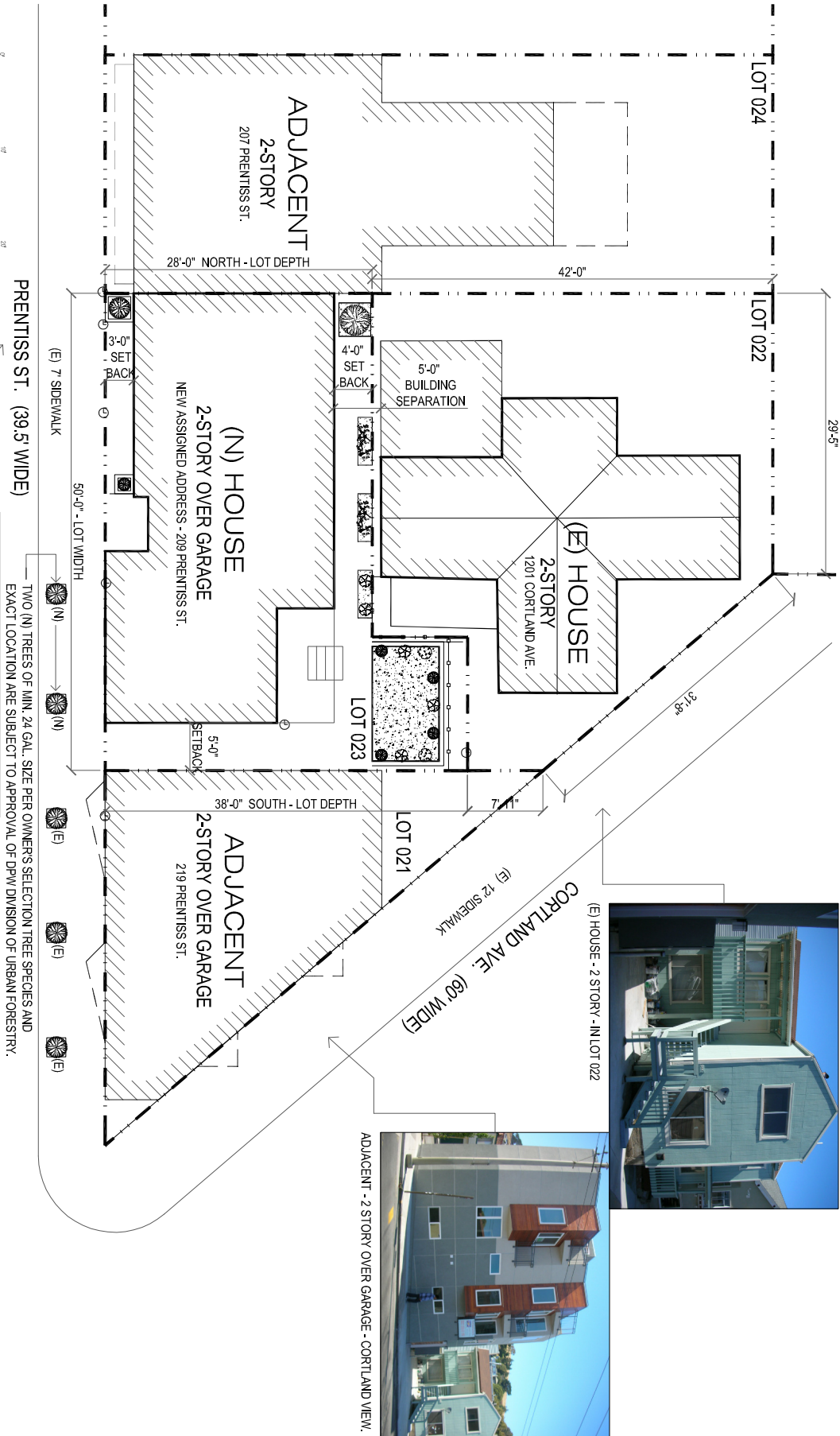
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

PLOT PLAN / ROOF PLAN

1/8" = 1'-0"

SCOPE OF WORK

LOCATION MAP



DESIGN-BUILD NOTES

- MEP NOTES:
1. MECHANICAL, ELECTRICAL, PLUMBING SHALL BE DESIGN-BUILD.
 2. OWNER SHALL VERIFY & REVIEW ALL EQUIPMENT, INCLUDING PLUMBING, ELECTRICAL, AND MECHANICAL CONNECTIONS & COORDINATE ALL WORK WITH HIS SELECTED CONTRACTOR BEFORE COMMENCING WORK.
 3. OWNER/CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL TRADES TO THE SATISFACTION OF THE CITY AND COUNTY DEPARTMENTS.

APPLICABLE CODES

- 2010 CALIFORNIA BUILDING CODE (CBC)
- 2010 CALIFORNIA PLUMBING CODE (CPC)
- 2010 CALIFORNIA MECHANICAL CODE (CMC)
- 2010 CALIFORNIA ELECTRICAL CODE (CEC)
- 2010 CALIFORNIA ENERGY CODE (CEC)
- 2010 CALIFORNIA FIRE CODE (CFC)

LOT LINE DIAGRAMS

1. LOT LINE ADJUSTMENT FOR TWO EXISTING LOTS - TO KEEP THE EXISTING HOUSE ON ONE LOT AND RE-MAP A 2ND EMPTY LOT FOR THE BUILDING OF A NEW HOUSE.
2. UPGRADE FIRE-RATING OF THE END WALL OF THE EXISTING HOUSE NEAR THE NEW PROPERTY LINE.
3. BUILD A NEW SINGLE-FAMILY HOME ON THE ADJUSTED EMPTY LOT, PROVIDING WITH 2 OFF-STREET PARKING SPACES.
4. VARIANCES APPLICATIONS FOR THE IRREGULAR LOT AREA, THE IRREGULAR REAR YARD, AND THE MASS REDUCTION REQUIREMENT FOR THE BERNAL HEIGHT SPECIAL USE DISTRICT.

PROJECT INFORMATION

EXISTING

ONE 2-STORY SINGLE FAMILY BUILDING WITHOUT GARAGE WAS BEING BUILT ACROSS THE DIVIDING PROPERTY LINE OF THE TWO EXISTING LOTS (LOT 022 & 023).

EXISTING

ONLY ONE 2-STORY SINGLE FAMILY BLDG W/O GARAGE BEING BUILT ACROSS THE EXISTING TWO LOTS (LOT 022 & 023).

EXISTING LOT LINES

PROPOSED

ADJUSTED LOT LINE TO ENCLOSED THE EXISTING 2-STORY SINGLE FAMILY BUILDING IN THE (N) LOT AREA OF LOT 022.

PROPOSE TO BUILD A

(N) 2-STORY OVER GARAGE & BASEMENT SINGLE FAMILY ON THE (N) LOT AREA OF LOT 023, PROVIDING WITH A 2-OFF-STREET PARKING GARAGE.

PROPOSAL

DRAWING INDEX

- A-0.0 COVER SHEET : PROJECT DATA, LOCATION MAP, GENERAL NOTES, PLOT PLAN / ROOF PLAN.
- A-2.1 PROPOSED (N) 1/F (GARAGE LEVEL, ENTRY LANDING + BASEMENT) 2/F (MAIN LEVEL) FLOOR PLANS.
- A-2.2 PROPOSED (N) 3/F (BEDROOM LEVEL) AND ROOF TERRACE FLOOR PLANS.
- A-3.1 PROPOSED (N) EXTERIOR ELEVATIONS - FRONT ENTRY ALONG PRENTISS AVE..
- A-3.2 PROPOSED (N) EXTERIOR ELEVATIONS - SIDE AND REAR ELEVATIONS.
- A-3.3 PROPOSED (N) LONGITUDINAL (N-S) SECTION, & SHORT (E-W) SECTION: W/HEIGHT OVER 30 FT. ABOVE GRADE OFFSET BALANCE FOR DOWNSLOPING LOT.

PROJECT TEAM

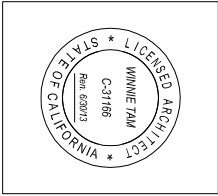
OWNER: DAVID CAO
222 ELMIRA STREET, SAN FRANCISCO, CA 94124
(415) 710-3828
EMAIL: caodc@ad.com

ARCHITECT: WINNIE TAM, AIA, LEED AP
380 Valjeo Drive #325, Milbrae CA 94030
(650) 692-2029
EMAIL: winnie@ad.com

STRUCTURAL ENGINEER: HORON LEE, S.E.
(415) 215-5889
EMAIL: horon.lee@strogdotal.net

NEW HOUSE WITH LOT LINE ADJUSTMENT
SINGLE-FAMILY RESIDENCE
IN BERNAL HEIGHTS SPECIAL USE DISTRICT

209 PRENTISS STREET, SAN FRANCISCO, CA 94110



PLANNING APPLICATION PLAN REVIEW	VARIANCE APPLICATION NO. 2011.0793.SV BUILDING PERMIT APPLICATION NO. #2011.12.09.0432
REVISIONS	

DATE: JUN 08, 2012

SHEET TITLE: COVER SHEET
PROJECT DATA, LOCATION MAP, GENERAL NOTES, PLOT PLAN / ROOF PLAN.

SCALE: AS NOTED

SHEET NO.: 1

FRONT ENTRY ELEVATION W/ NEIGHBORS - WEST

1/4" = 1'-0"



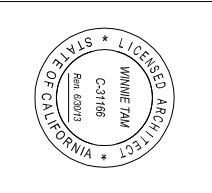
LEGENDS

KEY NOTES

GENERAL NOTES

NEW HOUSE WITH LOT LINE ADJUSTMENT
SINGLE-FAMILY RESIDENCE
IN BERNAL HEIGHTS SPECIAL USE DISTRICT

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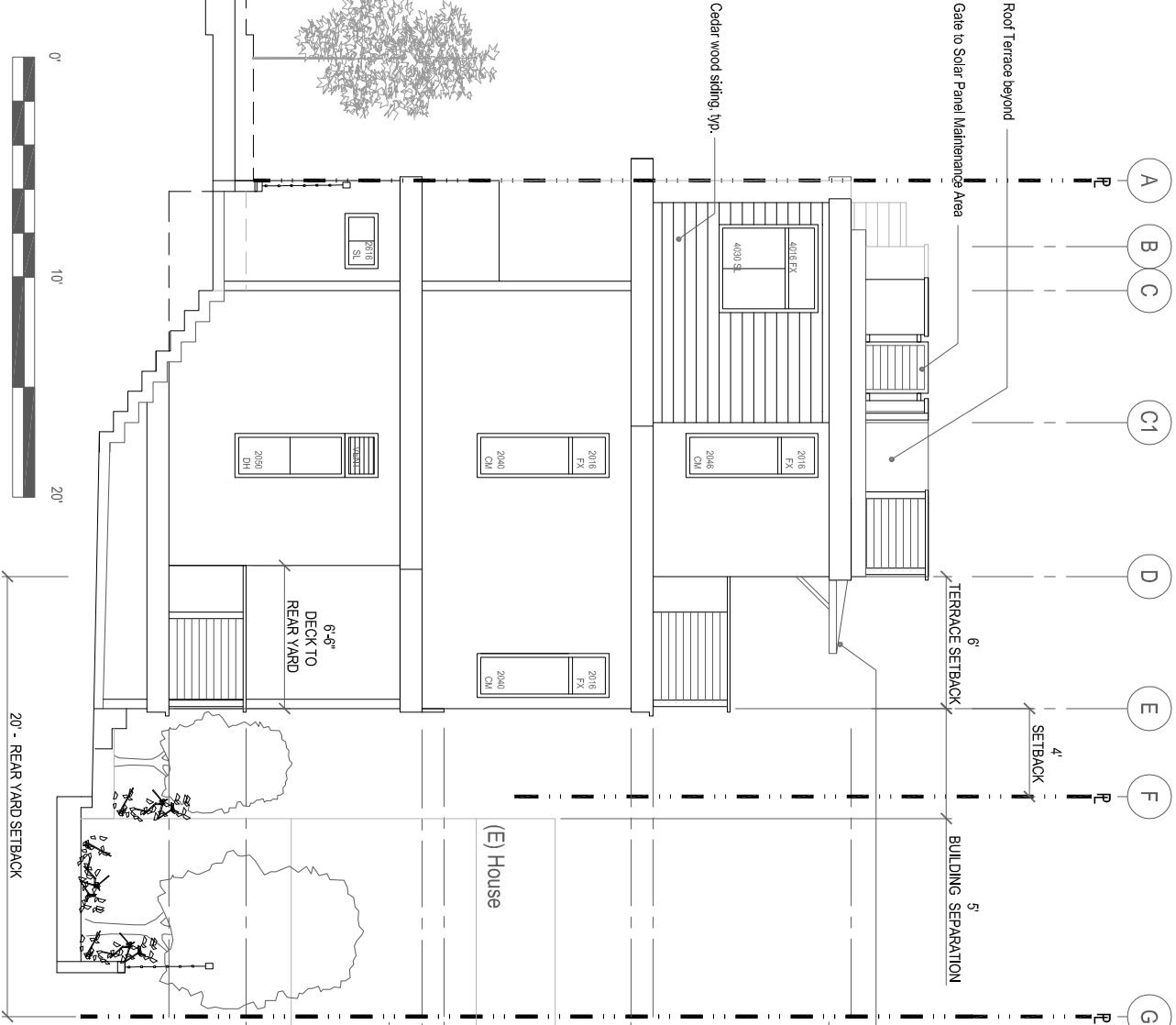
ELEVATION
FRONT ENTRY
W/ NEIGHBORS

SCALE : AS NOTED

SHEET NO. :

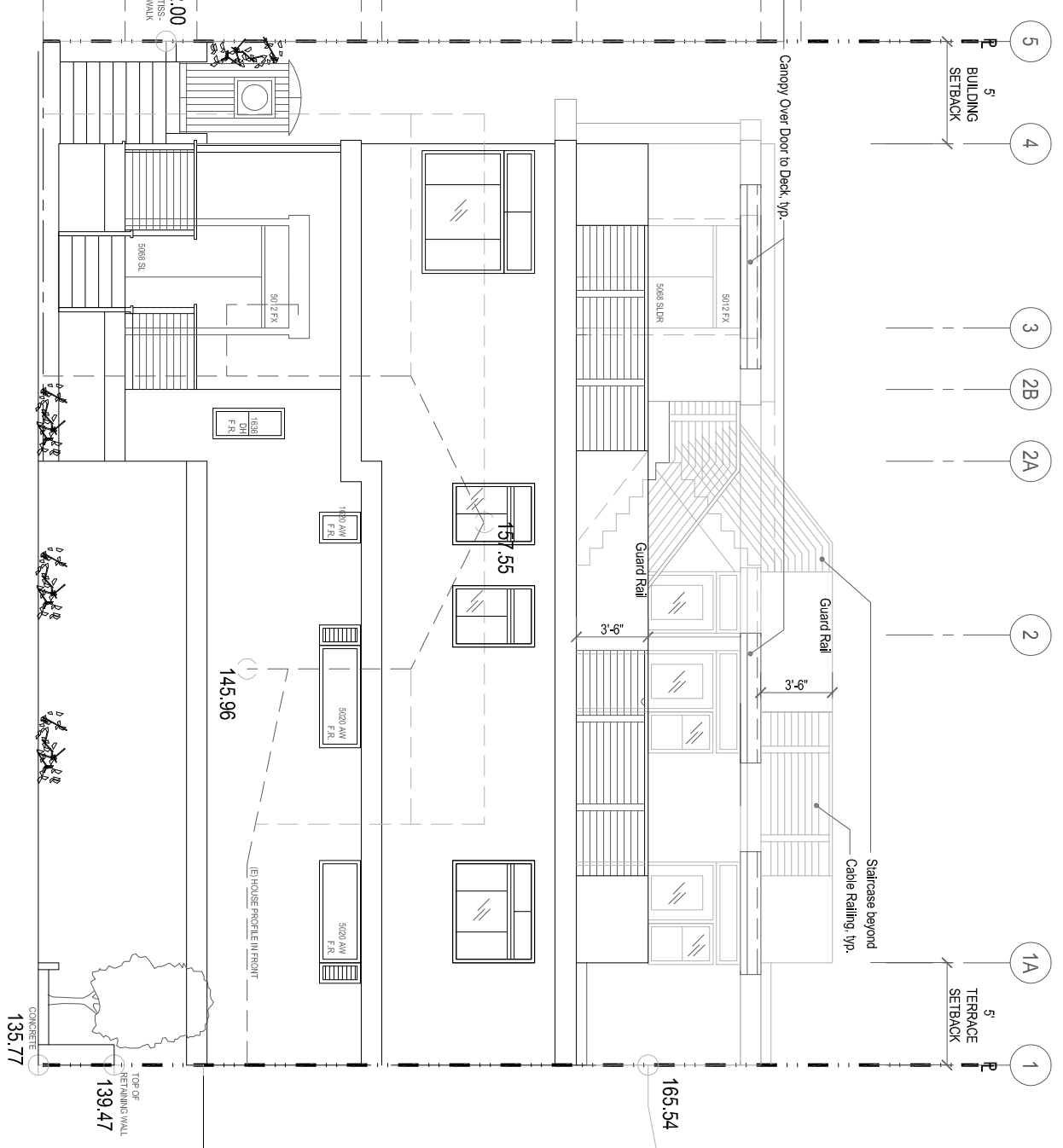
SIDE ELEVATION - (SOUTH)

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



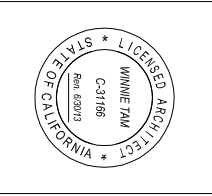
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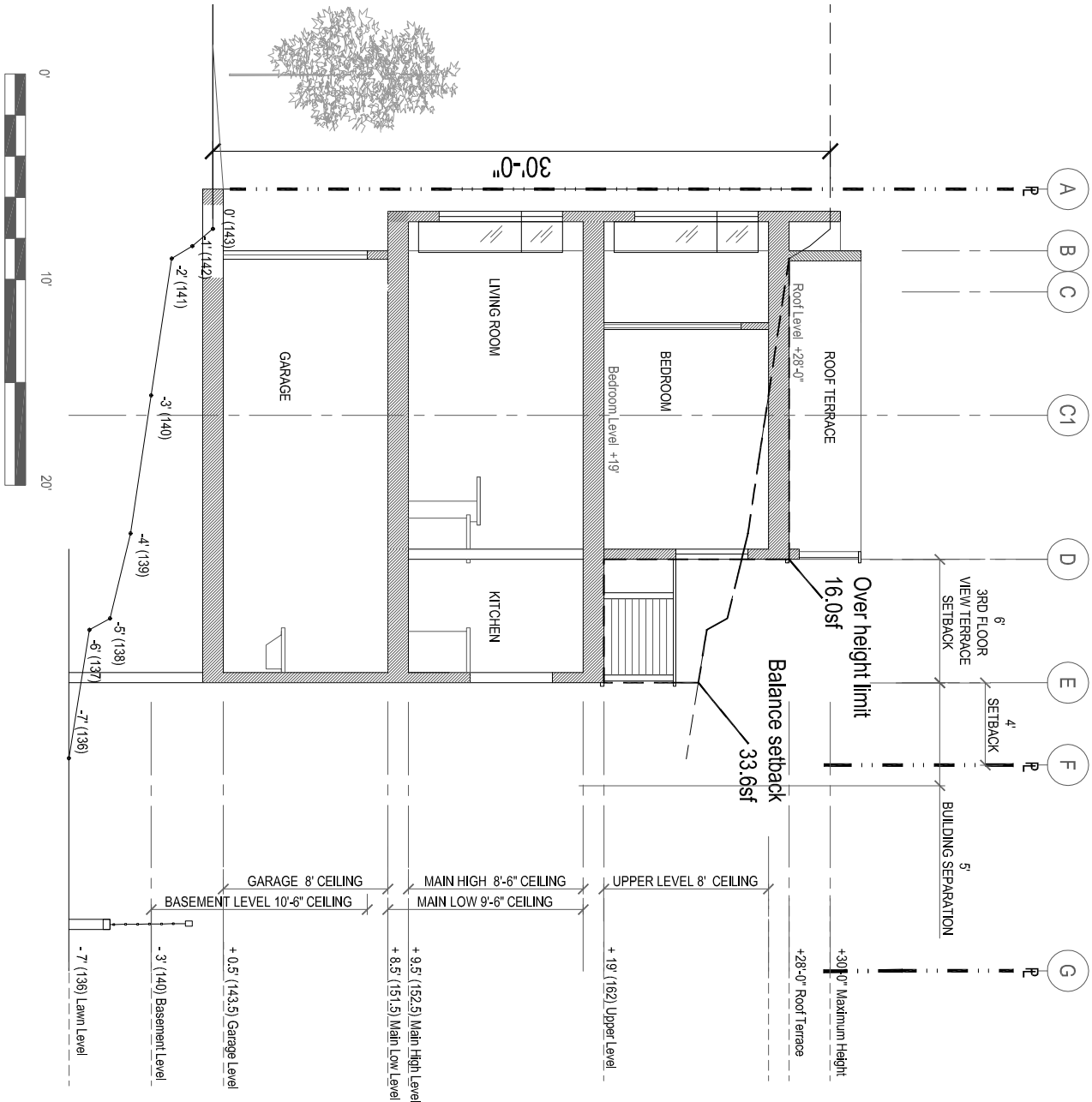
ELEVATIONS
REAR ELEVATION
SIDE ELEVATION

SCALE : AS NOTED

SHEET NO. :

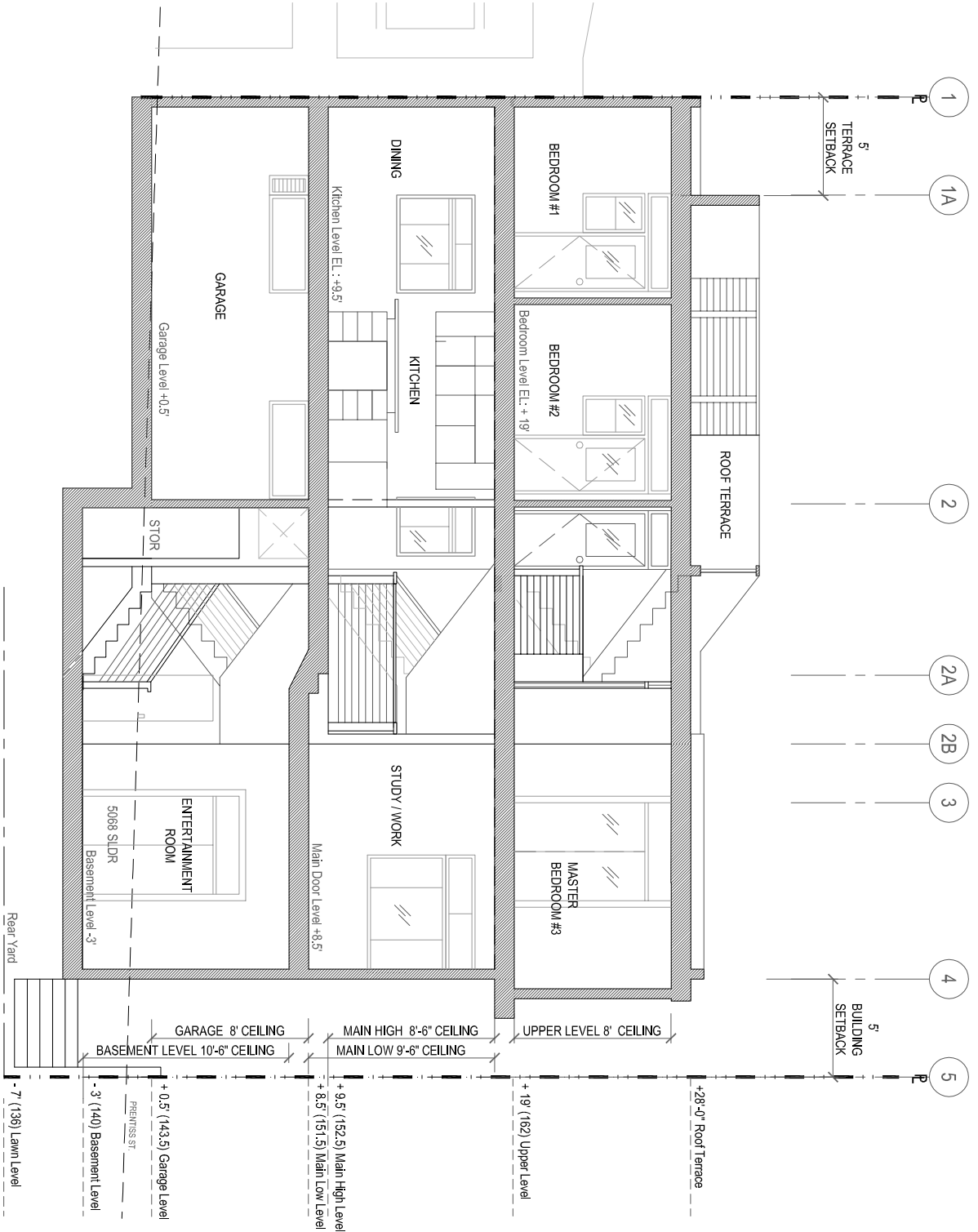
B. E-W SECTION

1/4" = 1'-0"



A. LONGITUDINAL N-S SECTION

1/4" = 1'-0"



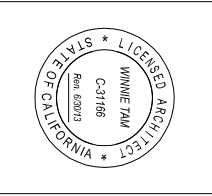
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DATE : JUN 08, 2012

SHEET TITLE :

SECTIONS
LONGITUDINAL SECTION
EAST-WEST SECTION

SCALE : AS NOTED

SHEET NO.:

A-3.3

6 SHEET OF 6