



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Suite 400  
San Francisco,  
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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 28, 2011**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard, Open Space)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>1123 Folsom Street</b>	Case No.:	<b>2011.0717V</b>
Cross Street(s):	<b>SW Corner of Langton</b>	Building Permit:	<b>TBD</b>
Block /Lot No.:	<b>3755/101</b>	Applicant/Agent:	<b>Reza Khoshnevisan</b>
Zoning District(s):	<b>SLR / 50-X</b>	Telephone:	<b>(650) 773-1862</b>
Area Plan:	<b>WSOMA</b>	E-Mail:	<a href="mailto:reza@siaconsult.com">reza@siaconsult.com</a>
PROJECT DESCRIPTION			
<p>The proposal is to convert two existing tourist hotel rooms to one two bedroom dwelling unit and one three bedroom unit.</p> <p><b>PER SECTION 134 OF THE PLANNING CODE</b> the subject property is required to maintain a rear yard of approximately 22 feet 6 inches. The project covers the entire lot and does not provide a rear yard. The project is seeking a rear yard variance from Planning Code Section 134.</p> <p><b>PER SECTION 135 OF THE PLANNING CODE</b> the subject property is required to provide 36 square feet of private useable open space. The proposal does not provide any useable open space; therefore, the project requires a variance from the open space requirement (Section 135) of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b> Planner: <b>Diego R Sánchez</b> Telephone: <b>(415) 575-9082</b> E-Mail: <a href="mailto:diego.sanchez@sfgov.org">diego.sanchez@sfgov.org</a></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2011.0717V.pdf">http://sf-planning.org/ftp/files/notice/2011.0717V.pdf</a></p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

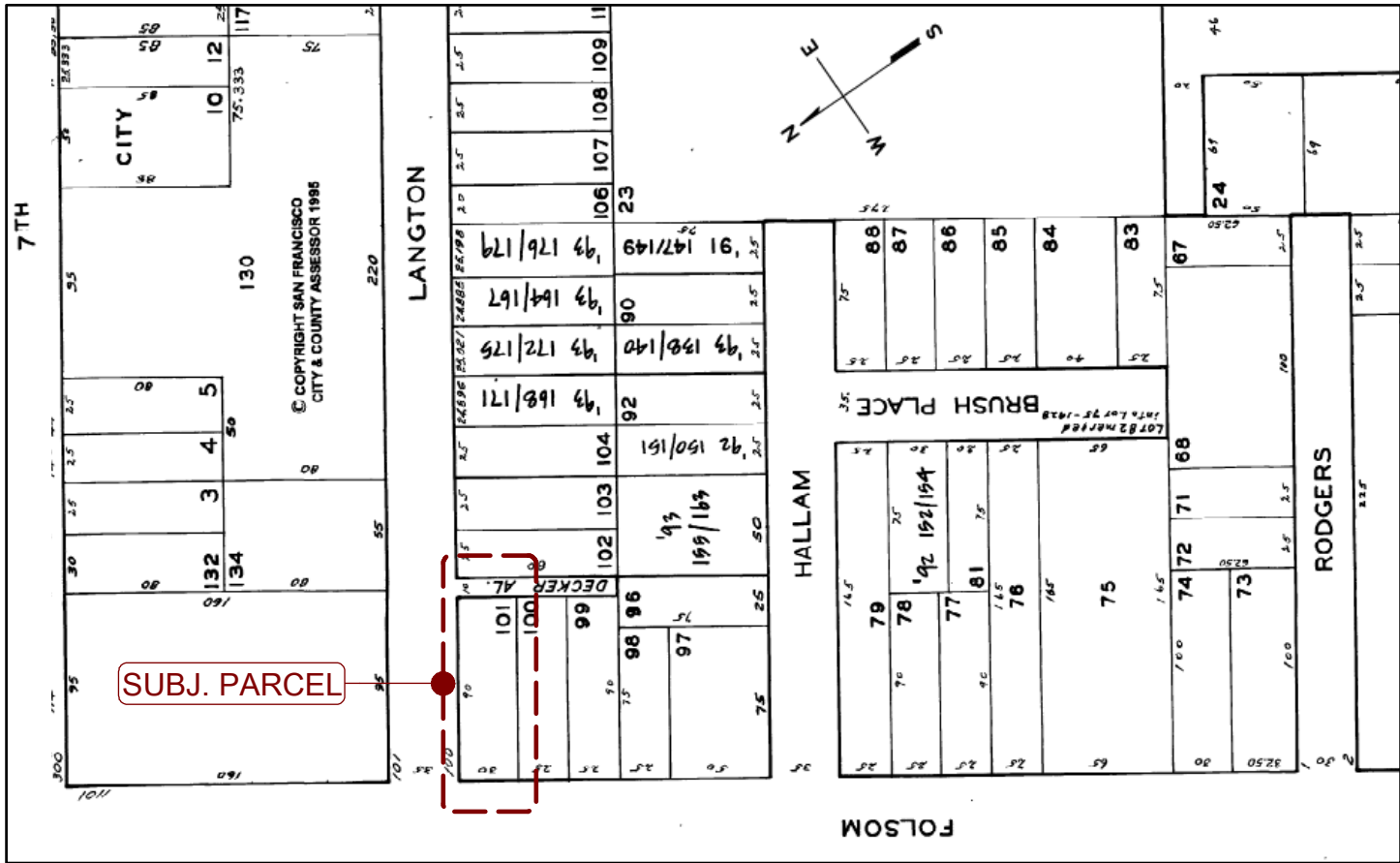
## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

SCOPE OF WORK:

COMPLIANCE WITH NOTICE VIOLATION #201068009 TO CONVERT THE EXISTING TOURIST HOTEL TO TWO DWELLING UNITS @ SECOND FLOOR



ASSESSOR'S MAP

GENERAL NOTES:

- 1. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.
- 2. ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.
- 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MEASUREMENTS AND CONDITIONS IN THE FIELD BEFORE BEGINNING WORK. ANY DISCREPANCIES, ERROR OR OMISSIONS SHALL BE BROUGHT TO THE ARCHITECT/ENGINEER'S ATTENTION IMMEDIATELY.
- 4. UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.
- 6. DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.
- 7. ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

PROJECT DATA

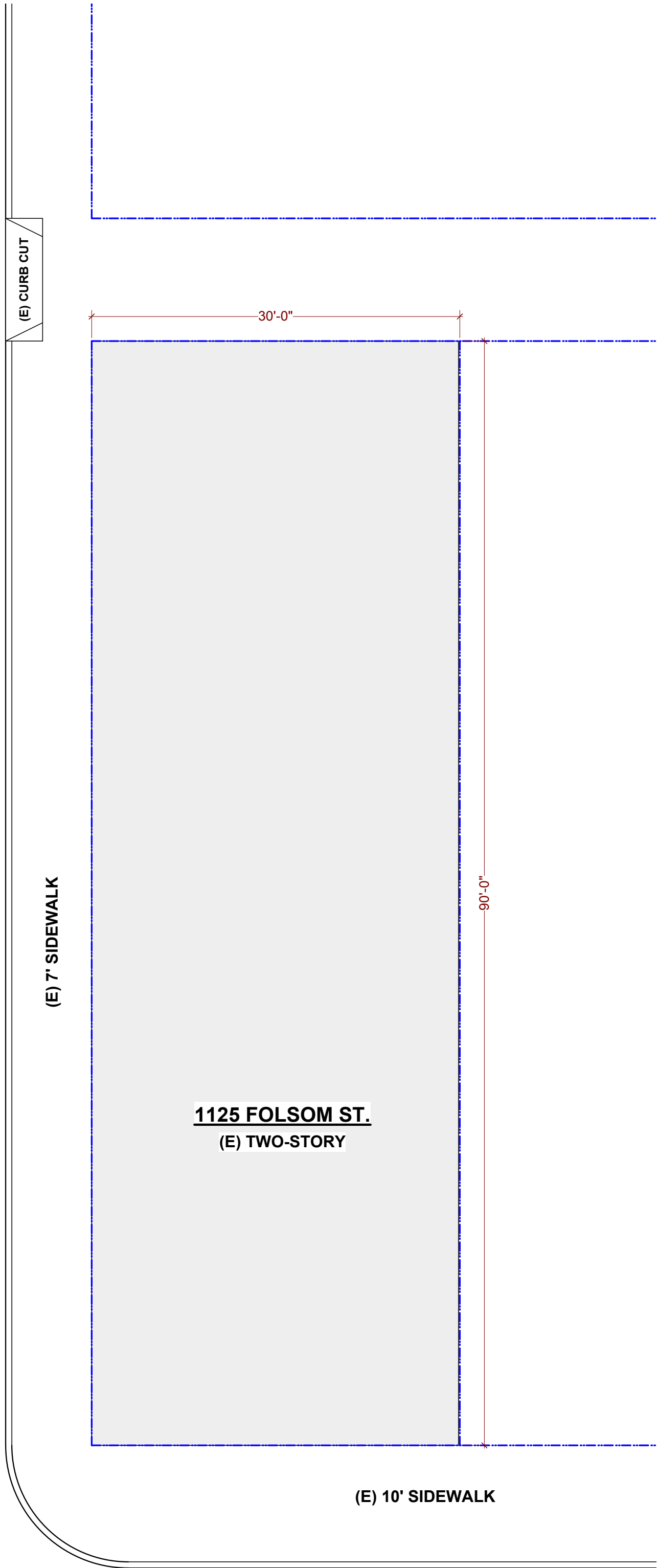
LOT AREA:	2,696 S.F.
(E) FLOOR AREA:	2,577 ± S.F.
UNIT #1 FLOOR AREA:	985 ± S.F.
UNIT #2 FLOOR AREA:	1,330 ± S.F.
(E) NUMBER OF COVERED PARKING:	NONE
OCCUPANCY GROUP:	R-3
ZONING:	SLR
TYPE OF CONSTRUCTION:	V-B
BLOCK AND LOT :	3755-101
APPLICABLE CODES:	2010 CALIFORNIA CODE EDITIONS W/ SAN FRANCISCO AMENDMENTS

ABBREVIATION

#	POUND OR NUMBER	H.C.	HANDICAPPED
&	AND	HI	HIGH
@	AT	HM	HOLLOW METAL
ABV	ABOVE	HP	HIGH POINT
ACT	ACOUSTIC CEILING TILE	HR	HOUR
AD	AREA DRAIN	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR		
ALUM	ALUMINUM	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD
APPROX	APPROXIMATE	ILO	IN LIEU OF
ANOD	ANODIZED	INSUL	INSULATED
ASPH	ASPHALT	INT	INTERIOR
BD	BOARD	LO	LOW
BLDG	BUILDING	MAX	MAXIMUM
BLKG	BLOCKING	MECH	MECHANICAL
BOT	BOTTOM	MEMBR	MEMBRANE
BSMT	BASEMENT	MIN	MINIMUM
BST	BOTTOM OF STAIRS	MO	MASONRY OPENING
BYND	BEYOND	MTL	METAL
CIP	CAST IN PLACE	(N)	NEW
CHNL	CHANNEL	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NO	NUMBER
CLG	CEILING	NOM	NOMINAL
CLO	CLOSET	N.T.S.	NOT TO SCALE
CLR	CLEAR	O.C.	ON CENTER
CNTR	COUNTER	OFF	OFFICE
CMU	CONCRETE MASONRY UNIT	OH	OPPOSITE HAND
COL	COLUMN	OZ	OUNCE
COMPR	COMPRESSIBLE	PCC	PRE-CAST CONCRETE
CONC	CONCRETE	P.L.	PROPERTY LINE
CONT	CONTINUOUS	PLUMB	PLUMBING
CORR	CORRIDOR	PLYD	PLYWOOD
CPT	CARPET	PT	PRESSURE TREATED
CT	CERAMIC TILE	PNT	PAINT/PAINTED
CTR	CENTER	PVC	POLYVINYL CHLORIDE
CTYD	COURTYARD	RBR	RUBBER
DBL	DOUBLE	RCP	REFLECTED CEILING PLAN
DEMO	DEMOLISH	RD	ROOF DRAIN
DET	DETAIL	RDWD	REDWOOD
D.F.	DRINKING FOUNTAIN	REQD	REQUIRED
DIA	DIAMETER	RM	ROOM
DIMS	DIMENSIONS	S.F.	SQUARE FOOT
DN	DOWN	SIM	SIMILIAR
DR	DOOR	SPEC	SPECIFIED OR SPECIFICATION
DWG	DRAWING	SPK	SPRINKLER
(E)	EXISTING	SSTL	STAINLESS STEEL
EA	EACH	STC	SOUND TRANSMISSION COEFFICIENT
EL	ELEVATION	STD	STANDARD
ELEC	ELECTRICAL	STL	STEEL
ELEV	ELEVATOR/ELEVATION	STRUCT	STRUCTURAL
EQ	EQUAL	SQ.	SQUARE
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
EXP JT	EXPANSION JOINT	TC	TOP OF CURB
EXT	EXTERIOR	TELE	TELEPHONE
F.D.	FLOOR DRAIN	TLT	TOILET
FEC	FIRE EXTINGUISHER	TO	TOP OF
CABINET		TOC	TOP OF CONCRETE
FIXT	FIXTURE	TOS	TOP OF STEEL
FLR	FLOOR	TP	TOILET PAPER DISPENSER
FLUOR	FLUORESCENT	T/D	TELEPHONE/DATA
FM	FILLED METAL	TST	TOP OF STAIRS
FND	FOUNDATION	TYP	TYPICAL
FO	FACE OF	U.N.O.	UNLESS NOTED OTHERWISE
F.O.F.	FACE OF FINISH	U/S	UNDERSIDE
FURR	FURRING	V.I.F.	VERIFY IN FIELD
GA	GAUGE	VP	VISION PANEL
GALV	GALVANIZED	W/	WITH
G.B.	GRAB BAR	WD	WOOD
GND	GROUND	W.H.	WATER HEATER
GRP	GROUP		
GWB	GYPSUM WALL BOARD		
GYP	GYPSUM		

DRAWING INDEX:

A-1.0	COVER SHEET, & SITE PLAN
A-2.0	EXISTING & NEW FLOOR PLANS, & NOTICE VIOLATION



FOLSOM STREET

(E) SITE PLAN

1/8" = 1'-0"

BLOCK & LOT: 3755-101

PROPERTY LINE: \_\_\_\_\_

(E) OUTLINE OF SUBJECT BLDG.: \_\_\_\_\_

PROJECT NAME

1125 FOLSOM STREET  
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION  
1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
TEL: (415) 922.0200  
FAX: (415) 922.0203  
WEBSITE:WWW. SIACONSULT.COM

SHEET TITLE

Cover Sheet  
& Site Plan

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ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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DRAWN	R.L.
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CHECKED	R.K.
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DATE	04/05/2006
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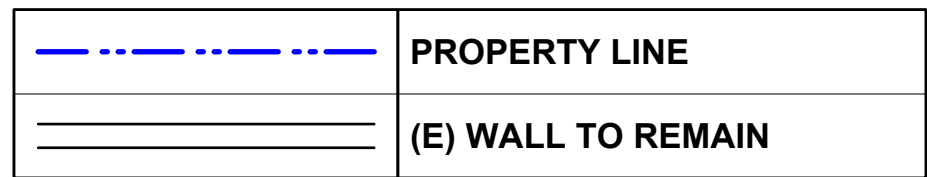
REVISED DATE	05/24/2011
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JOB NO.	11-1473
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SHEET NO.

A-1.0





SHEET NO. **A-2.0**