



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 07, 2011**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Lot Size and Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>10-12 Lucky Street</b>	Case No.:	<b>2011.0715V</b>
Cross Street(s):	<b>24th And 25th Streets</b>	Building Permit:	<b>n/a</b>
Block / Lot No.:	<b>6521/039</b>	Applicant/Agent:	<b>Monte Stott</b>
Zoning District(s):	<b>RH-3 / 40-X</b>	Telephone:	<b>436-0121</b>
Area Plan:	<b>Eastern Neighborhoods</b>	E-Mail:	<b>MonteStott@speakeasy.net</b>

### PROJECT DESCRIPTION

The proposal is to legalize the subdivision of a lot which is substandard in regards to lot size, and to reconstruct the existing deck and stairs in the rear yard.

**PER SECTION 121 OF THE PLANNING CODE**, the newly created lot must have a minimum lot area of 1,750 square feet. The proposed lot will have a total lot area of 1,450 square feet; therefore, a variance is required.

**PER SECTION 134 OF THE PLANNING CODE**, the subject property is required to maintain a rear yard of 45% of the lot depth, equal to 26-feet for the subject lot. The existing building currently encroaches into the required rear yard and provides a rear yard of 12.5-feet. The existing deck and stairs were built without benefit of a permit and are 8.5-feet deep and 16.5-feet wide, which results in a rear yard of 4-feet. The proposed deck and stairs would be 10.5-feet deep and 13.5-feet wide and would leave a rear yard of 2-feet. The top level of the deck is 14-feet above grade and has a railing of 3.5-feet. The proposed deck and stairs will not require any firewalls.

**PER SECTION 188 OF THE PLANNING CODE**, a non-complying structure cannot be expanded. The subject building is considered a non-complying structure because it is located partially within the required rear yard; therefore, the project requires a variance from the non-complying structure requirement (Section 188) of the Planning Code.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Brittany Bendix**

Telephone: **415-575-9114** Mail: [brittany.bendix@sfgov.org](mailto:brittany.bendix@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0715V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

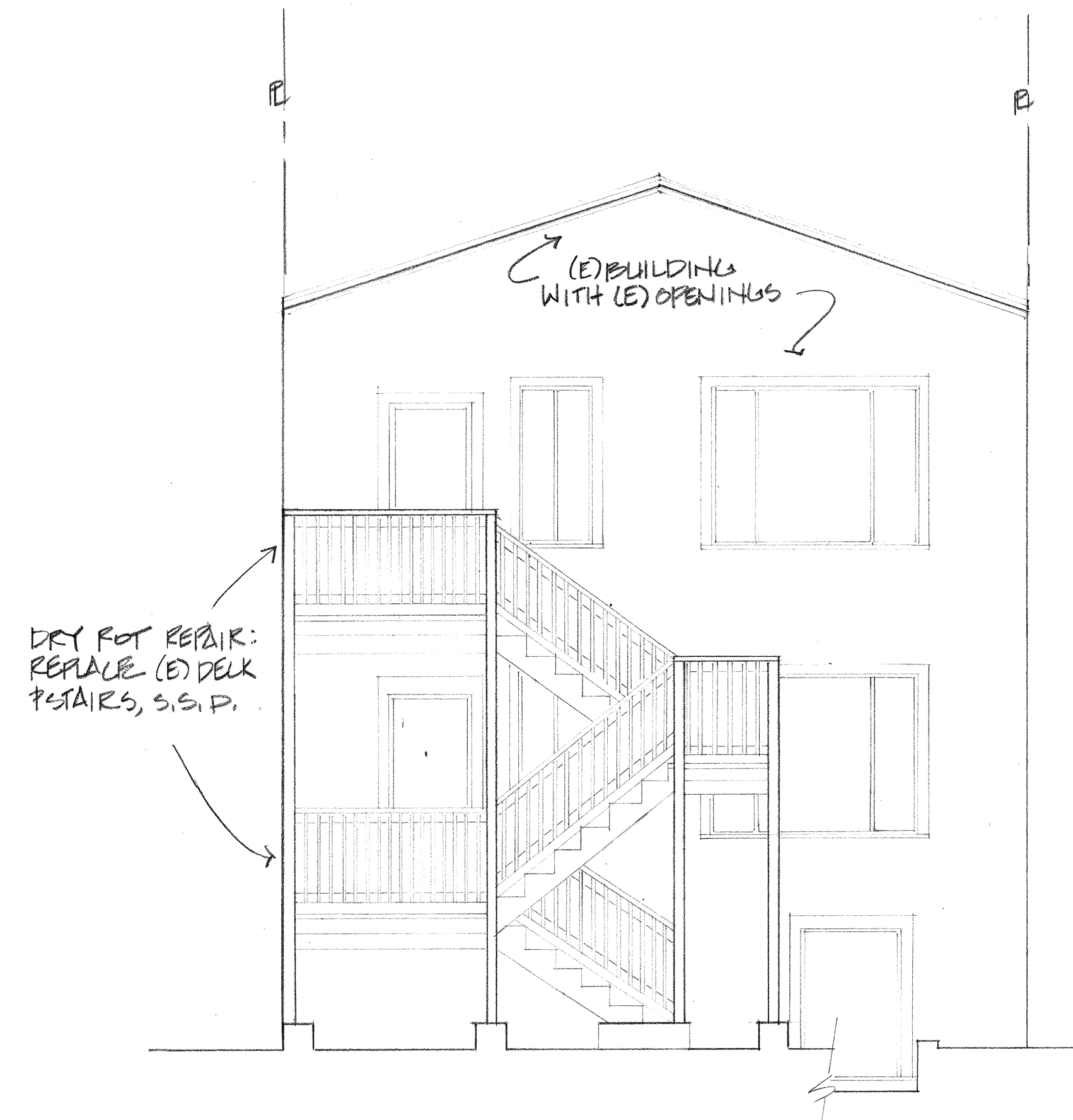
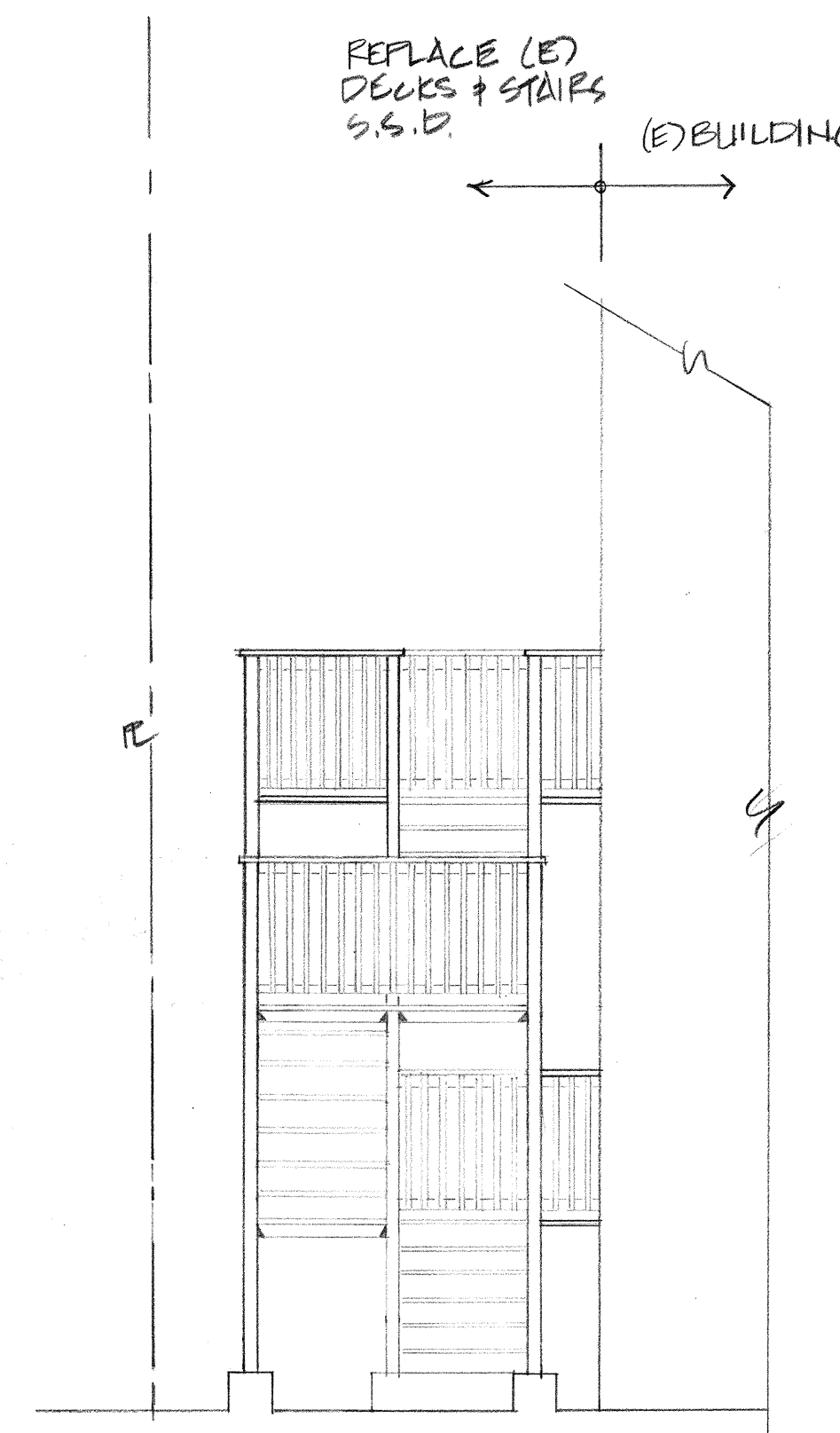
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



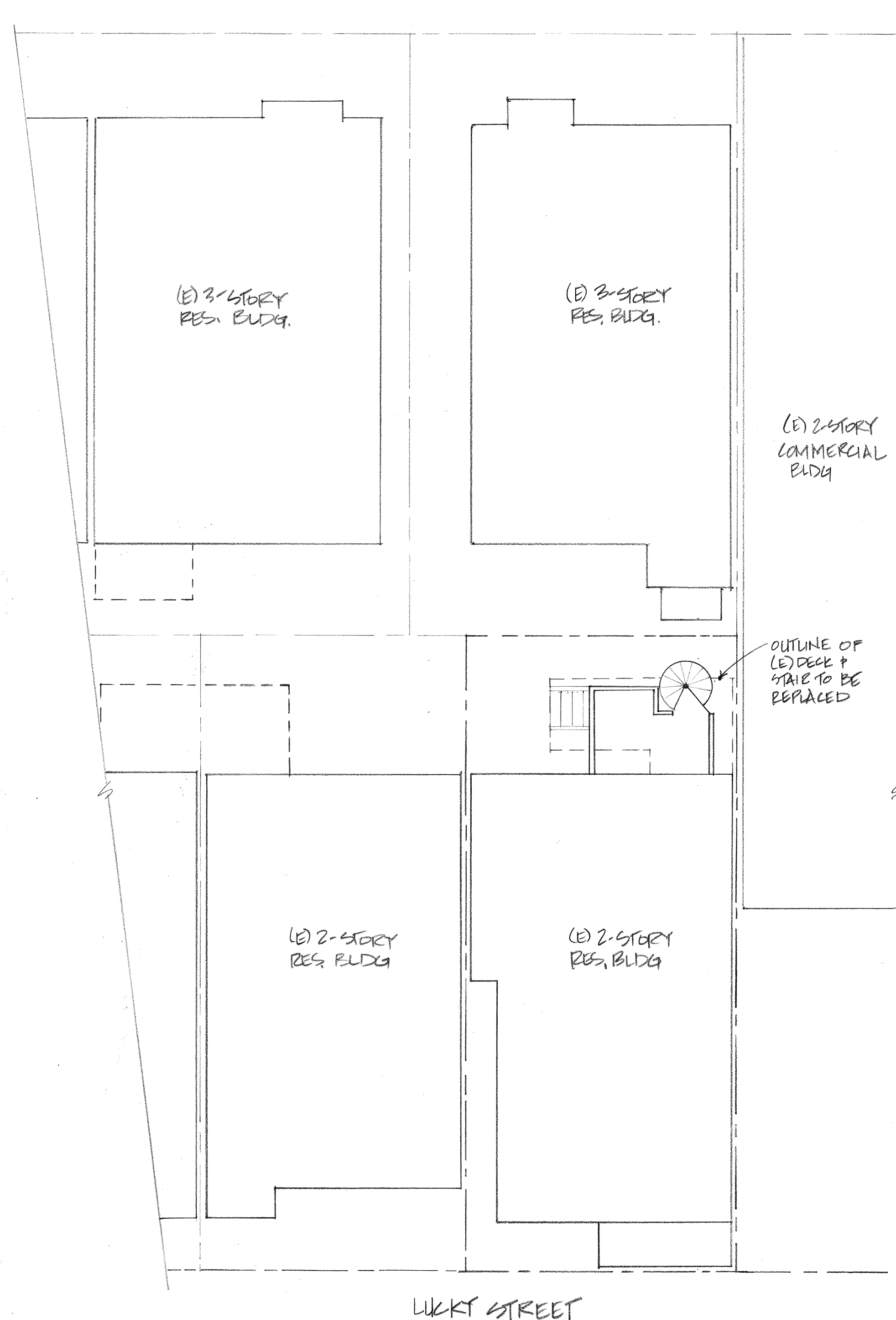
REVISIONS	BY

MONTE STOTT AND ASSOCIATES, INC.  
*Consulting Engineers*  
 2189 FOLSOM STREET, #A102  
 SAN FRANCISCO, CA 94110  
 Tel: (415) 436-0121  
 Fax: (415) 436-0130

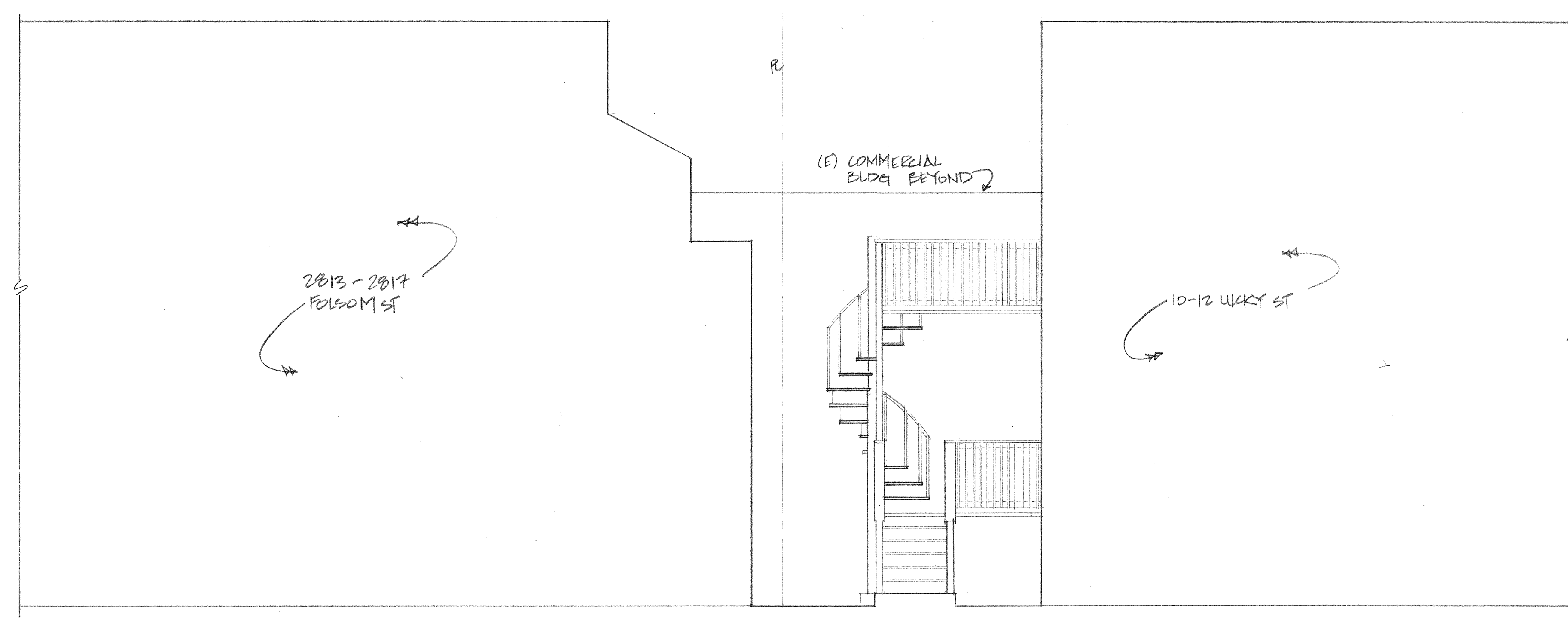
VOLUNTARY STRENGTHENING AND REPAIR  
 10-12 LUCKY STREET  
 SAN FRANCISCO, CALIFORNIA

Date: AUG. 2011  
 Scale: AS SHOWN  
 Drawn: MS  
 Job: 09009  
 Sheet: A2  
 Of: 2 Sheets

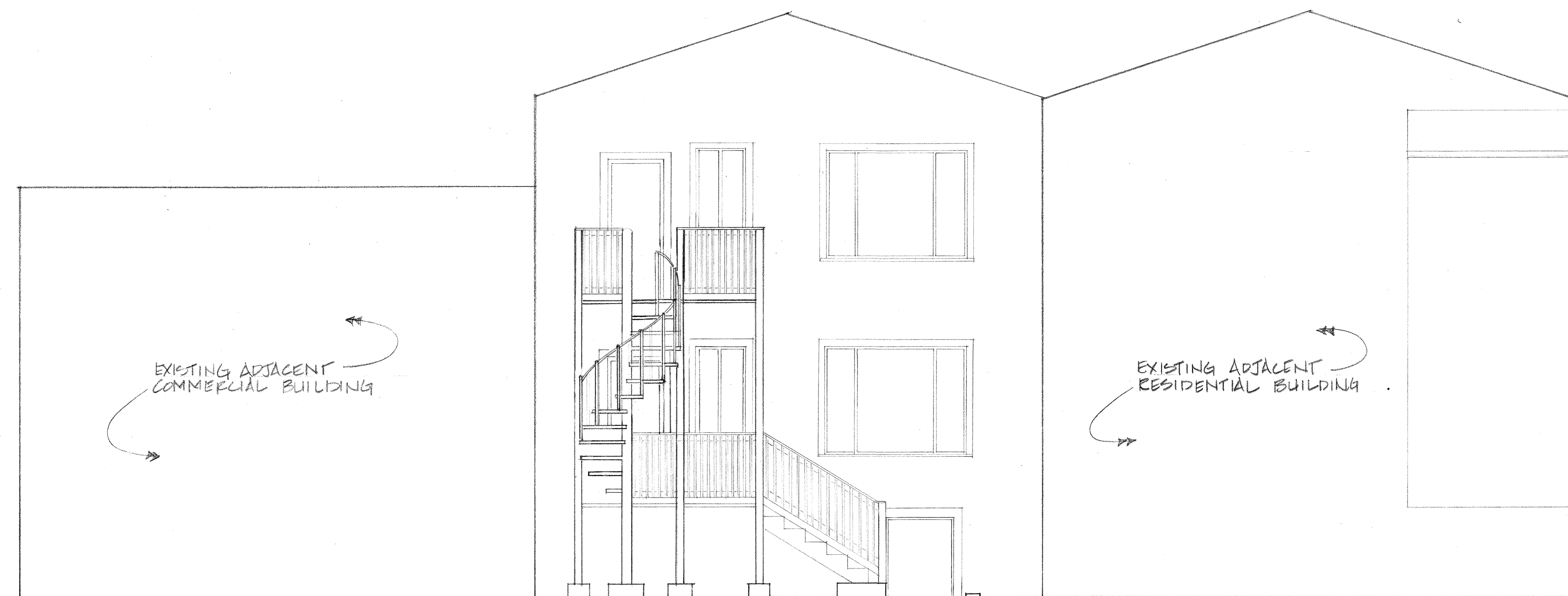




PROPOSED  
SITE PLAN  
SCALE:  $\frac{1}{8}" = 1'-0"$



PROPOSED SIDE ELEVATION  
SCALE:  $\frac{1}{4}" = 1'-0"$



PROPOSED REAR ELEVATION  
SCALE:  $\frac{1}{4}" = 1'-0"$

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MONTE STOTT AND ASSOCIATES, INC.  
Consulting Engineers  
2169 FOLSOM STREET, # A102  
SAN FRANCISCO, CA 94110  
Tel: (415) 435-0131  
Fax: (415) 435-0130

VOLUNTARY STRENGTHENING AND REPAIR  
10-12 LUCKY STREET  
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Date AUG 2010  
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