



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 28, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	946 Noe Street	Case No.:	2011.0696V
Cross Street(s):	Alvarado (NW Corner)	Building Permit:	N/A
Block /Lot No.:	3623/009	Applicant/Agent:	Patrick W. O'Brien
Zoning District(s):	RH-2 / 40-X	Telephone:	(510) 452-9152
Area Plan:	N/A	E-Mail:	<u>pat@ryneronobrien.com</u>
PROJECT DESCRIPTION			
<p>The proposal includes the demolition of the existing non-conforming enclosed rear stair and its reconstruction as an open stair with decks at the second and third levels above grade. There is an existing detached, three-car garage that fronts on Alvarado Street at the rear of the subject lot, however the proposed project will not impact the existing garage.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 45 feet in length along Alvarado Street (the building fronts on Noe Street). The existing rear stair extends 6'6" into the required rear yard. The proposed rebuilt stair with decks would also extend 6'6" into the required rear yard, and would result in a rear yard that measures approximately 12' in length between the stairs and the exiting detached garage; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Sophie Hayward Telephone: (415) 558-6372 E-Mail: <u>sophie.hayward@sfgov.org</u></p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <u>http://sf-planning.org/ftp/files/notice/2011.0696V.pdf</u></p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The required Section 311/312 notification for this project will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

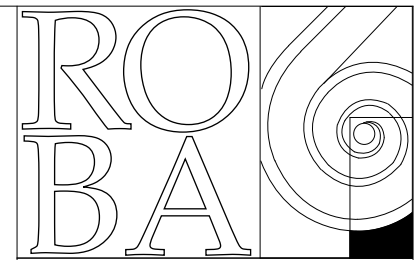
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

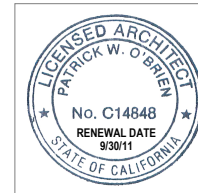
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

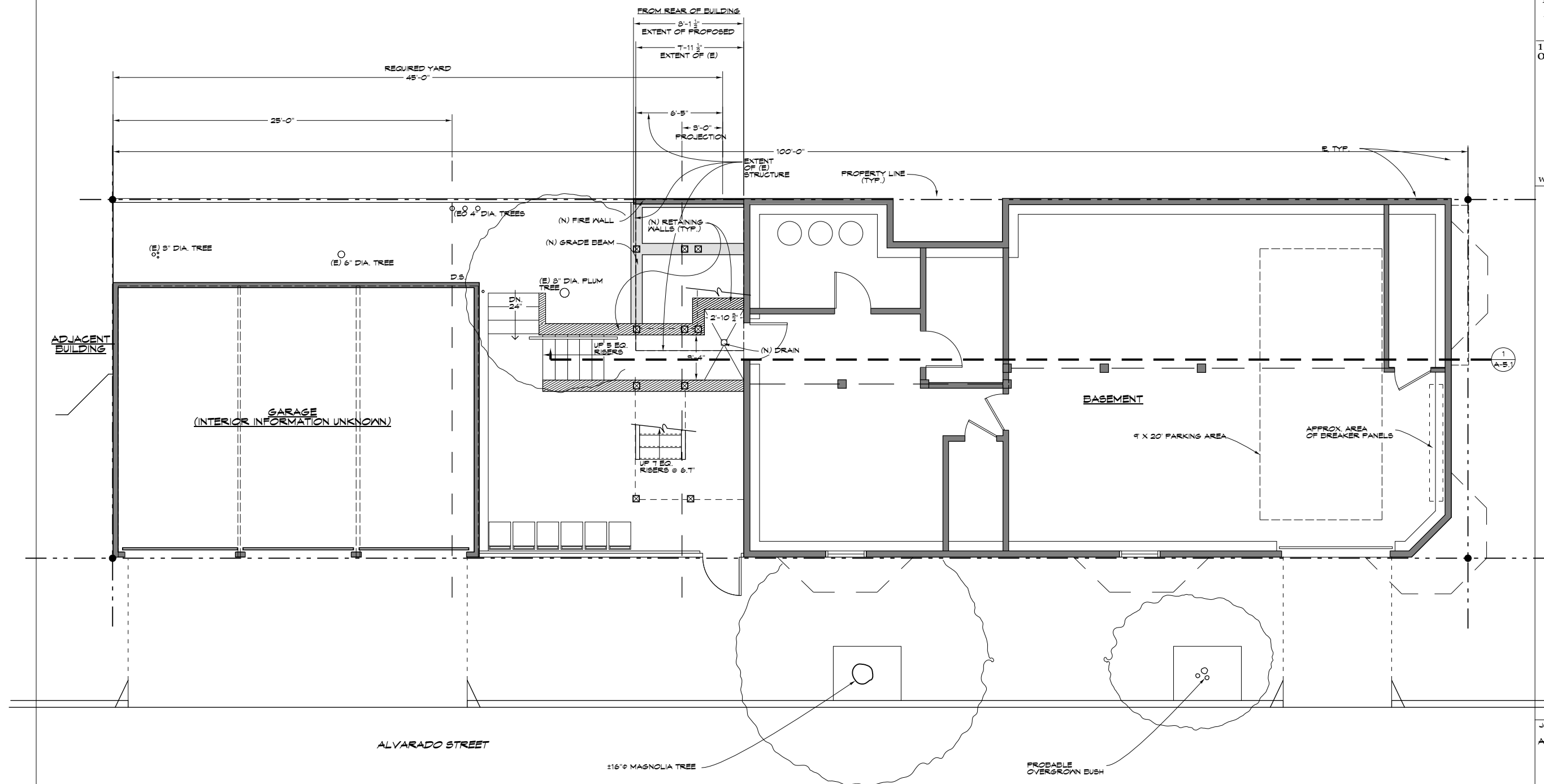


**RYNERSON O'BRIEN
ARCHITECTURE, INC.**
Patrick O'Brien, Architect
Stephen Ryner, Assoc. AIA
1512 Franklin Street, 3rd Floor
Oakland, California 94612-2804



TEL. (510) 452-9152
FAX (510) 452-9155

www.rynersonobrien.com



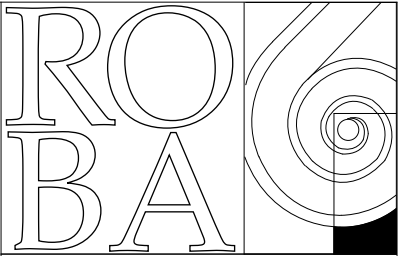
PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



JOB TITLE
ALTERATIONS TO THE
ROGERS RESIDENCE
944, -6, -8 NOE ST.
SAN FRANCISCO, CA 94114

SHEET TITLE
BASEMENT PLAN

JOB NO.	0908	DATE	5/4/11
DRAWN	JM	CHECKED	FOB
SHEET	A-0	OF	-- SHEETS

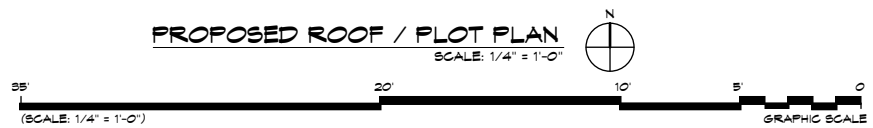
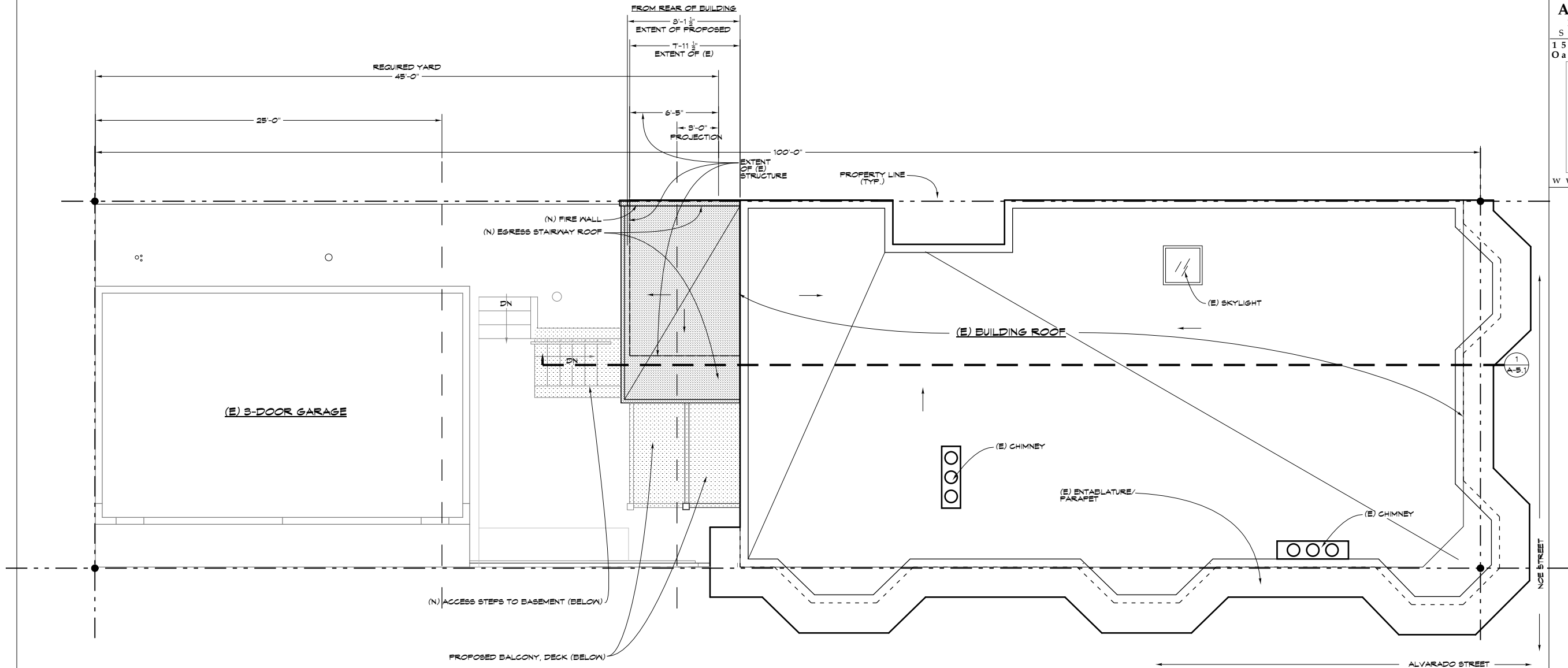


**RYNERSON O'BRIEN
ARCHITECTURE, INC.**
Patrick O'Brien, Architect
Stephen Rynerson, Assoc. AIA
1512 Franklin Street, 3rd Floor
Oakland, California 94612-2804



TEL. (510) 452-9152
FAX (510) 452-9155

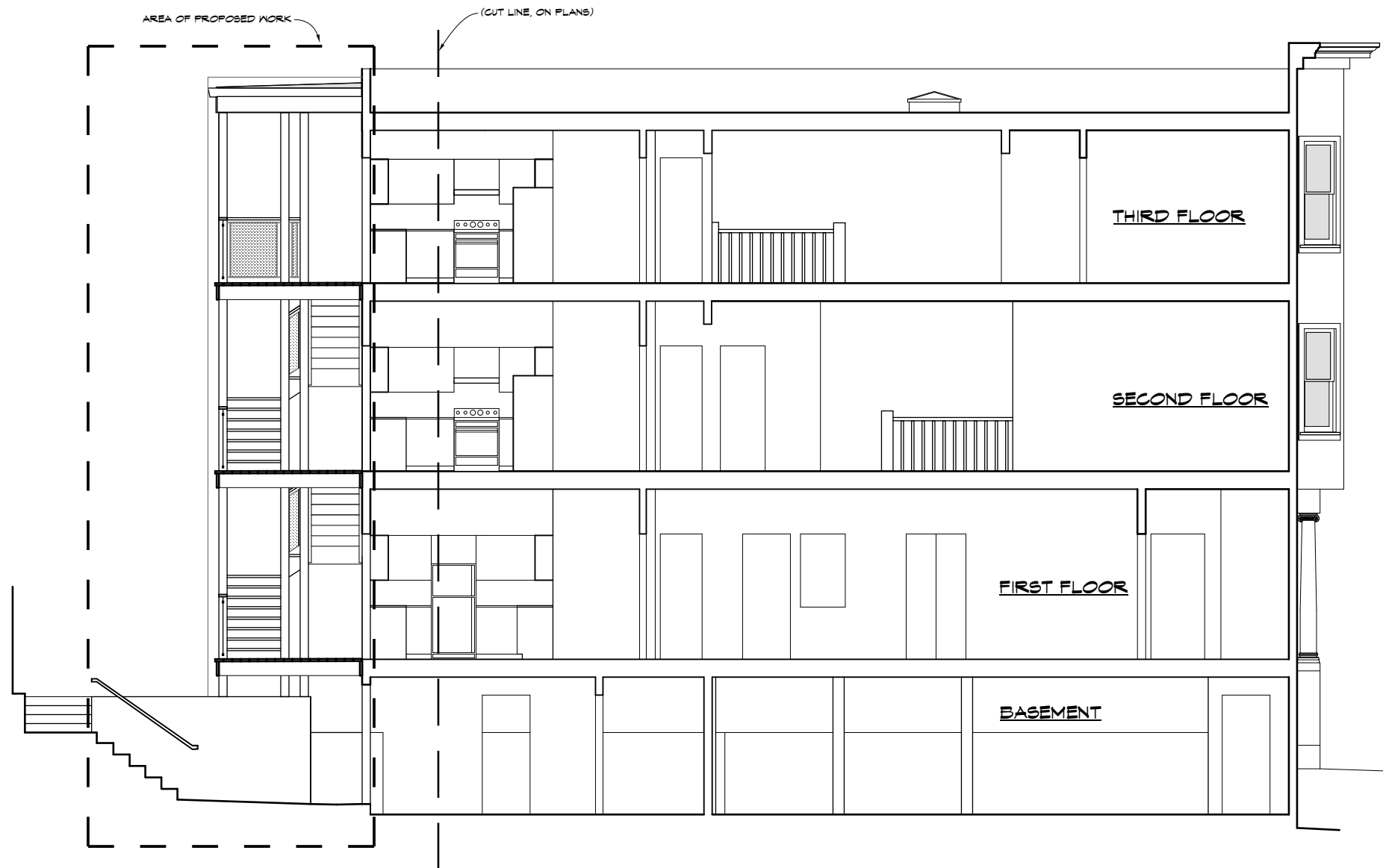
www.rynersonobrien.com



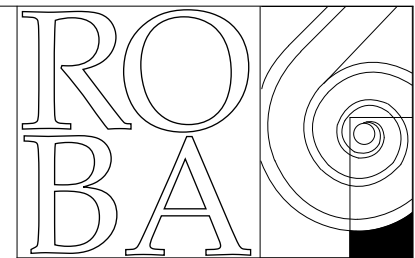
JOB TITLE
**ALTERATIONS TO THE
ROGERS RESIDENCE**
944, -6, -8 NOE ST.
SAN FRANCISCO, CA 94114

SHEET TITLE
ROOF PLAN

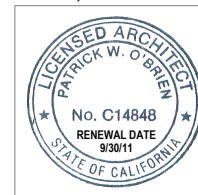
JOB NO.	0908	DATE	5/4/11
DRAWN	JM	CHECKED	FOB
SHEET	A-4	OF	-- SHEETS



1
A-5.1 **PROPOSED SECTION**
SCALE: 1/4" = 1'-0"



**RYNERSON O'BRIEN
ARCHITECTURE, INC.**
Patrick O'Brien, Architect
Stephen Rynerson, Assoc. AIA
1512 Franklin Street, 3rd Floor
Oakland, California 94612-2804



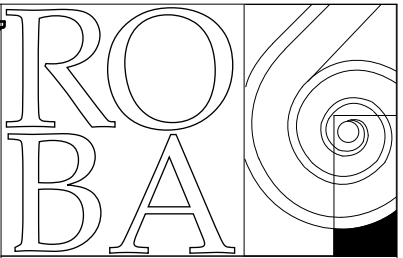
TEL. (510) 452-9152
FAX (510) 452-9155

www.rynersonobrien.com

JOB TITLE
ALTERATIONS TO THE
ROGERS RESIDENCE
944, -6, -8 NOE ST.
SAN FRANCISCO, CA 94114

SHEET TITLE
PROPOSED SECTION

JOB NO.	0908	DATE	5/4/11
DRAWN	JM	CHECKED	FOB
SHEET	A-5.1	OF	-- SHEETS



**RYNERSON O'BRIEN
ARCHITECTURE, INC.**
Patrick O'Brien, Architect
Stephen Rynerson, Assoc. AIA
1512 Franklin Street, 3rd Floor
Oakland, California 94612-2804

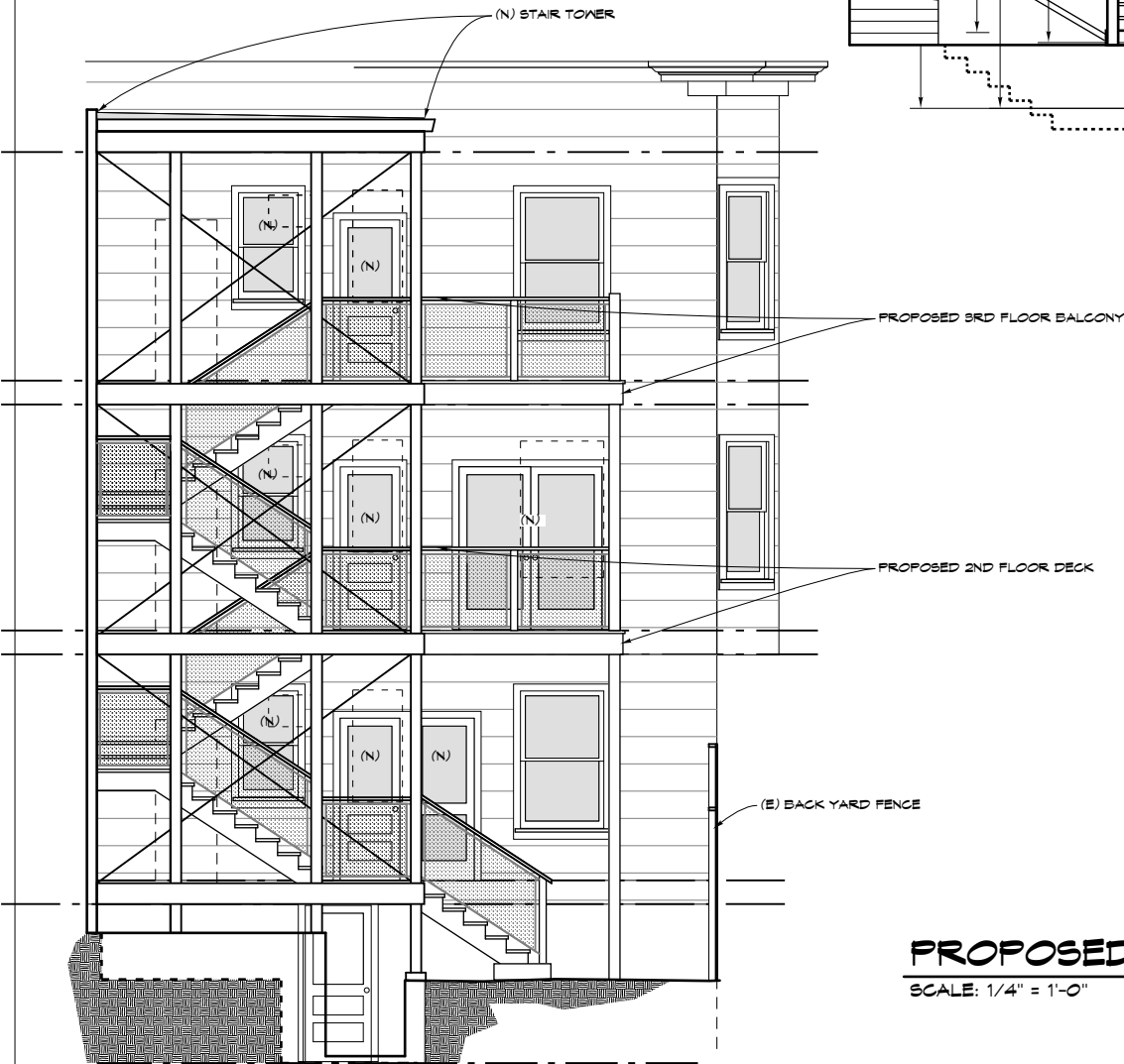


TEL. (510) 452-9152
FAX (510) 452-9155

www.rynersonobrien.com



PROPOSED SOUTH ELEVATION (WITHOUT (E) FENCE, AT SIDEWALK)
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



JOB TITLE
ALTERATIONS TO THE
ROGERS RESIDENCE
944, -6, -8 NOE ST.
SAN FRANCISCO, CA 94114

SHEET TITLE
**SOUTH & WEST ELEVATIONS,
W/O BACK YARD FENCE**

JOB NO.	0908	DATE	5/4/11
DRAWN	JM	CHECKED	POB
SHEET	A-5,A	OF	-- SHEETS