



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variances (Side Yard, Rear Yard, Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address: 3074 Pacific Avenue Cross Street(s): Baker and Lyon Streets Block /Lot No.: 0964/008G Zoning District(s): RH-1(D)/ 40-X Area Plan: N/A		Case No.: 2011.0630V Building Permit: 2011.04.05.3471 Applicant/Agent: Mark English, Architect Telephone: (415) 391-0186 E-Mail: mark@markenglisharchitects.com	
PROJECT DESCRIPTION			
<p>The proposal includes the construction of a one-story addition above the one-story rear portion of the single-family dwelling (the front of the house is two stories, the rear is one-story). Although the addition will not increase the existing height of the building or the overall building depth, it will be located within the required side and rear yards, necessitating the granting of side yard, rear yard, and noncomplying structure variances.</p> <p>PER SECTION 133 OF THE PLANNING CODE the Subject Property is required to maintain two side yards, each of 3'-0". The existing single-family dwelling spans the full width of the lot, encroaching into both side yards. The proposed addition will be located above the one-story portion of the single-family dwelling, spanning the full width of the lot, and will also encroach into both side yards. This 3'-0" encroachment into both required side yards necessitates a side yard variance, pursuant to Planning Code Section 133.</p> <p>PER SECTIONS 134 AND 188 OF THE PLANNING CODE the Subject Property is required to maintain a rear yard of approximately 26'-0", measured parallel to the rear property line. The existing single-family dwelling encroaches into the required rear yard, extending to within approximately 15'-0" of the rear property line (an 11'-0" encroachment into the rear yard). The proposed addition will be located above the existing one-story portion of the dwelling, resulting in a two-story tall structure for all portions of the dwelling. This addition will result in the same encroachment into the rear yard as the existing structure (11'-0"), but intensifies this rear yard encroachment by being one-story taller than the existing one-story encroachment. This volumetric expansion of the existing 11'-0" encroachment into the required rear yard necessitates rear yard and noncomplying structure variances, pursuant to Planning Code Sections 134 and 188.</p>			
ADDITIONAL INFORMATION			
FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Elizabeth Watty Telephone: (415) 558-6620 E-Mail: Elizabeth.Watty@sfgov.org			
ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0630V.pdf			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On June 28, 2011, the Department issued the required Section 311 notification for this project (expires July 27, 2011).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.












Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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Fax:
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Planning
Information:
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GENERAL NOTES:	
1.	ALL WORK SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE (2009 INTERNATIONAL BUILDING CODE WITH STATE OF CALIFORNIA AMENDMENTS) 2010 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2008 NEC WITH AMENDMENTS), 2010 CALIFORNIA PLUMBING CODE (2009 UPC WITH AMENDMENTS), 2010 CALIFORNIA MECHANICAL CODE (2009 IMC WITH AMENDMENTS), 2010 CALIFORNIA ENERGY CODE, AND 2010 CALIFORNIA FIRE CODE (CFC). CONTRACTOR SHALL COMPLY WITH ANY OTHER STANDARD OR CODE IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS.
2.	DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS SHALL BE FOLLOWED. LARGE SCALE DRAWINGS OR DETAILS TAKE PRECEDENCE OVER SMALL SCALE ONES. SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER TYPICAL NOTES AND DETAILS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
3.	BEFORE STARTING ANY PORTION OF WORK, THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE AND BE KNOWLEDGE OF CONDITIONS THEREIN. ALL EXISTING CONDITIONS THAT HAVE BEARING ON HIS WORK, ARCHITECT IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS, DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CORRECTING ANY WORK THAT WAS KNOWINGLY COMMENCED WITHOUT FIRST NOTIFYING THE ARCHITECT AND THE OWNER. THEY SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITION REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.
4.	CONTRACTOR SHALL COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, STRUCTURAL AND ARCHITECTURAL WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH WORK. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES.
5.	CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS REQUIRED BY CITY AND COUNTY REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY TEMPORARY BRACING TO INSURE THE SAFETY OF THE WORK.
6.	THE CONTRACTOR IS RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.
7.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING OR OTHER PERMITS AS MAY BE REQUIRED BY LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.
8.	THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.
9.	ALL WORK SHOWN IS TO BE CONSTRUCTED OF NEW MATERIAL. U.O.N. INSTALLATION AND/OR MAINTENANCE DIRECTIONS PROVIDED BYTHE MANUFACTURER SHALL BE FOLLOWED FOR ALL MATERIALS U.O.N.
10.	ALL ITEMS MARKED (E) ARE EXISTING AND (N) ARE NEW.
11.	ALL WALLS AND CEILINGS SHALL BE 5/8" GYPSUM WALL BOARD (GWB) UNLESS OTHERWISE NOTED. AT WALLS SEPARATING GARAGE FROM HOUSE AND ENCLOSED USABLE SPACE BENEATH STAIRS SHALL BE ONE-HOUR FIRE RESISTANT 5/8" TYPE X GWB. AT WET AREAS SHALL BE WATER RESISTANT GWB (GREEN BOARD). SEE FINISH SCHEDULE FOR G.O.P. FINISH LEVELS.
12.	NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES.
13.	ALL KNOWN UNDERGROUND CONDITIONS HAVE BEEN SHOWN. THE CONTRACTOR SHOULD EXERCISE CAUTION WHEN EXCAVATING TO AVOID DAMAGE TO (E) UNDERGROUND PIPE, CONDUITS, ETC., WHICH ARE TO REMAIN.
SITE NOTES:	
1.	PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAN AND FREE OF DEBRIS FOR THE DURATION OF THE PROJECT. GENERAL CONTRACTOR RESPONSIBLE FOR DAILY SWEEPING DAILY.
2.	GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF SHUTDOWN AND REMOVAL OF (E) UTILITIES w/ CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC HEALTH AND ANY ASSOCIATED AGENCIES AS REQUIRED.
3.	GENERAL CONTRACTOR RESPONSIBLE FOR PUBLIC AND SITE SAFETY AT ALL TIMES.
GRAPHIC SYMBOLS LEGEND:	
	(E) WALL TO REMAIN
	(E) WALL TO DEMOLISH
	(N) WALL
	(N) 1-HR FIRE WALL
	(N) DOOR, (E) TO REMAIN WITHOUT TAG
	(N) WINDOW, (E) TO REMAIN WITHOUT TAG
	DIMENSION
	ELEVATION
	SECTION
	DETAIL MARKER
	REVISION

PROJECT DATA:

LOCATION: 3074 PACIFIC AVE.
SAN FRANCISCO CA 94115

OWNER: TM & NATASHA MONAHAN
3074 PACIFIC AVE.
SAN FRANCISCO CA 94115

ZONE: RH1D

OCCUPANCY GROUP: R3

CONSTRUCTION TYPE: VIB

BLOCK AND LOT: 0964-0083

LOT AREA: 3,981 SQ FT

YEAR BUILT: 1952

APPLICABLE CODES: 2010 CALIFORNIA BUILDING CODE
WITH THE CITY AND COUNTY OF SAN FRANCISCO AMENDMENTS

MARK ENGLISH architects

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SQUARE FOOTAGE CALCULATION

	EXISTING	PROPOSED	NET CHANGE
SECOND FLOOR	1505.5 SQ FT	2191.7 SQ FT	+586.2 SQ FT
FIRST FLOOR	1533.6 SQ FT	1533.6 SQ FT	0 SQ FT
GARAGE AT FIRST FLOOR	445.5 SQ FT	445.5 SQ FT	0 SQ FT
TOTAL	3584.6 SQ FT	4170.8 SQ FT	+586.2 SQ FT

MONAHAN RESIDENCE

3074 PACIFIC AVE
SAN FRANCISCO, CA 94115

PROJECT NUMBER: Q-13

PROJECT DESCRIPTION

HORIZONTAL & VERTICAL ADDITION AT 2ND FLOOR REAR FOR NEW BEDROOM, BATHROOM AND CLOSETS. REPLACE EXISTING GATE SYSTEM AT COURTYARD WITH NEW.

SHEET INDEX

G0.0 PROJECT DATA, VICINITY MAP

G0.1 SITE PLAN

A1.1 EXISTING FLOOR PLANS

A1.2 EXISTING ROOF PLAN

A1.3 EXISTING ELEVATIONS

A1.4 EXISTING ELEVATIONS

A1.5 EXISTING SECTIONS & COURTYARD ELEVATIONS

A2.1 PROPOSED FLOOR PLANS

A2.2 PROPOSED ROOF PLAN

A3.1 PROPOSED ELEVATIONS

A3.2 PROPOSED ELEVATIONS

A3.3 PROPOSED SECTIONS & COURTYARD ELEVATIONS

TITLE SHEET

CLIENT APPROVAL SIGNATURE: _____

REVISIONS:

NO.	DATE	DESCRIPTION
04.01.2011	04.01.2011	SITE PERMIT
06.15.2011	06.15.2011	VARIANCE APP.

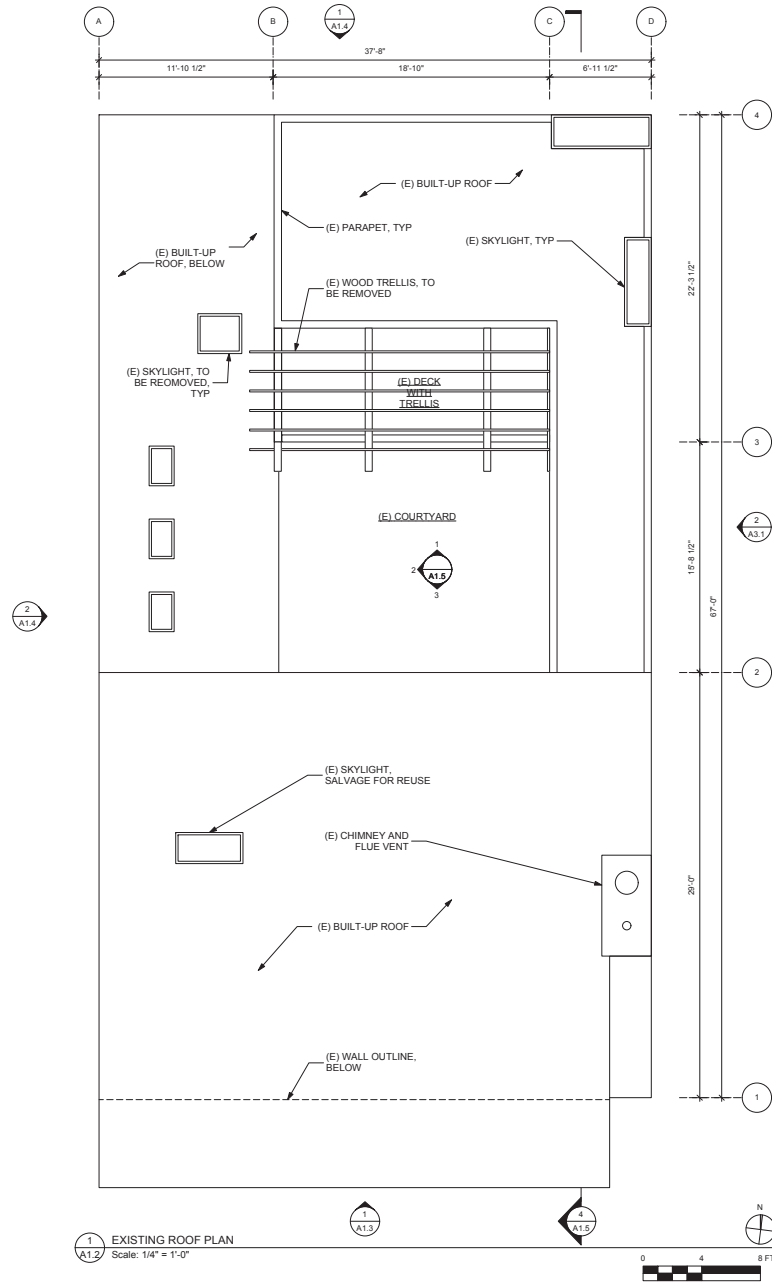
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DATE: 06.15.2011

SCALE: AS NOTED

G0.0



1 EXISTING ROOF PLAN
A1.2 Scale: 1/4" = 1'-0"

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EXISTING ROOF PLAN

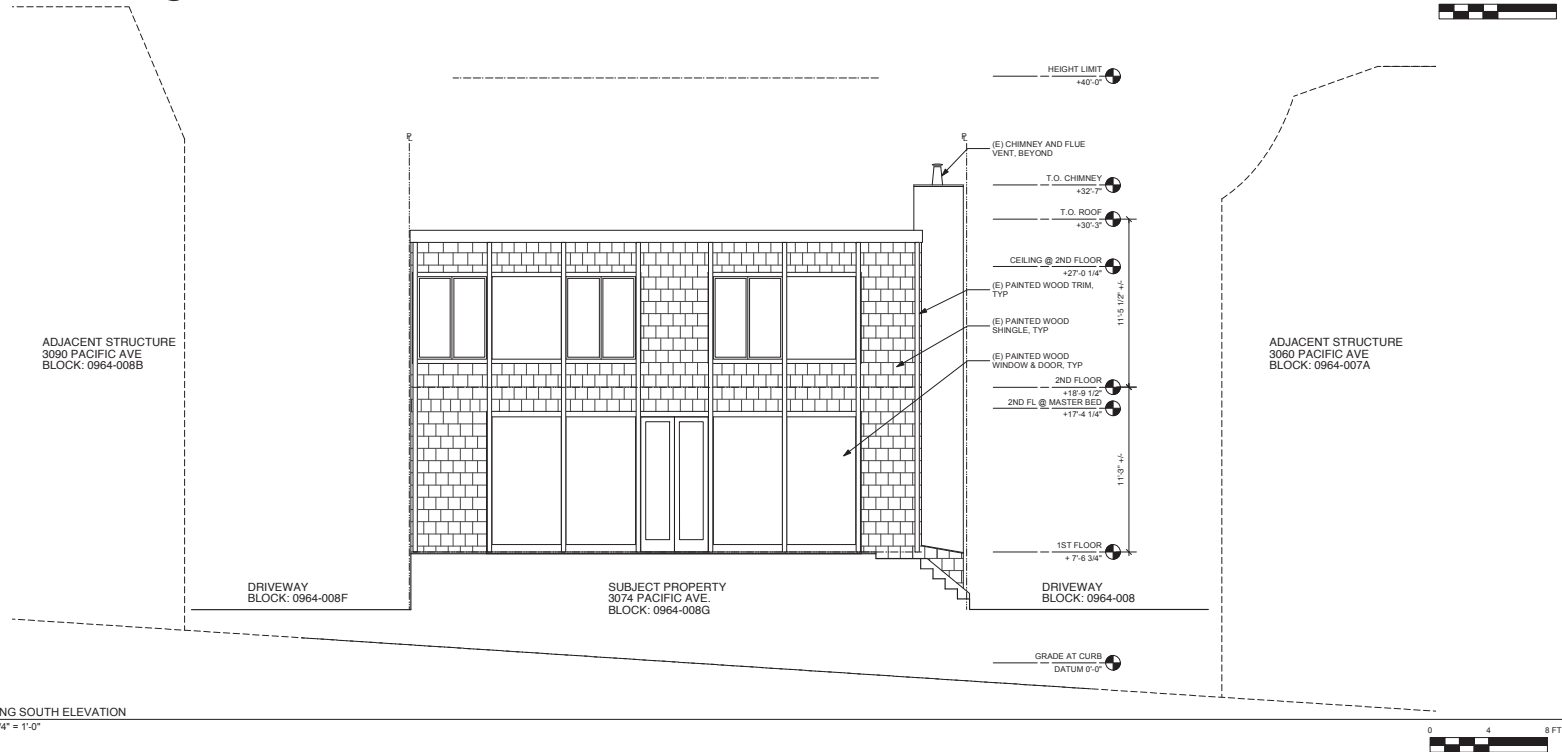
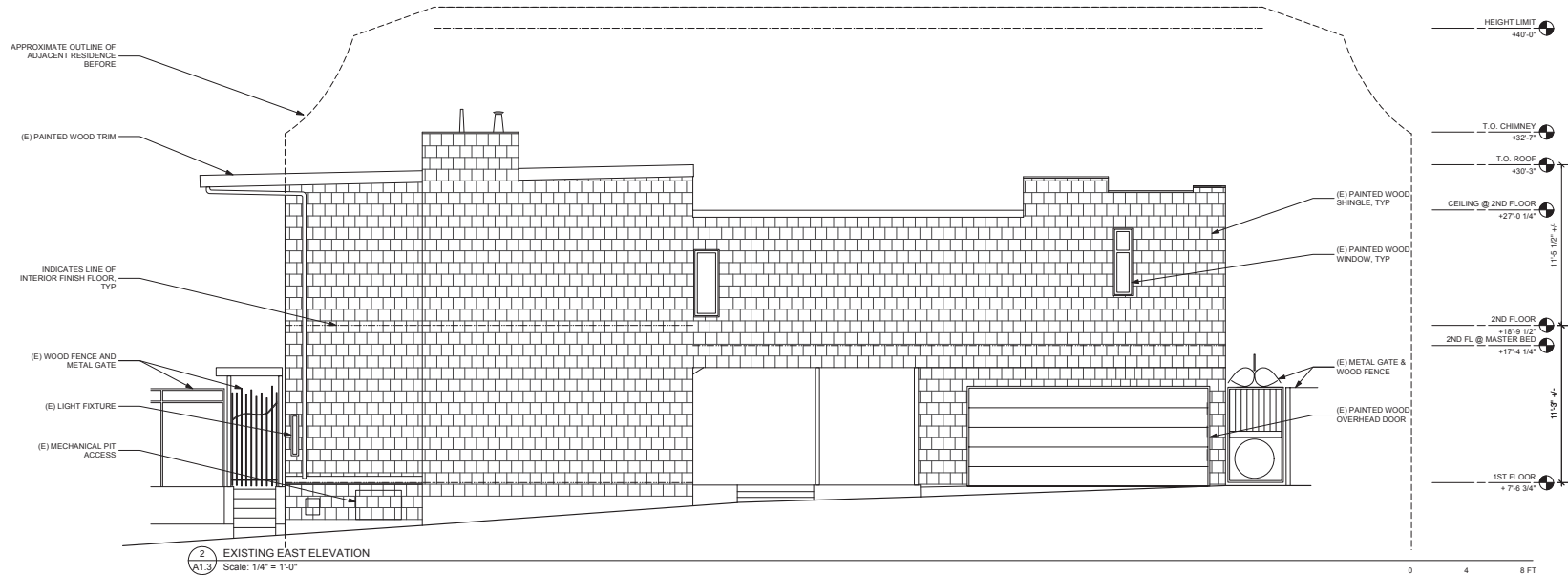
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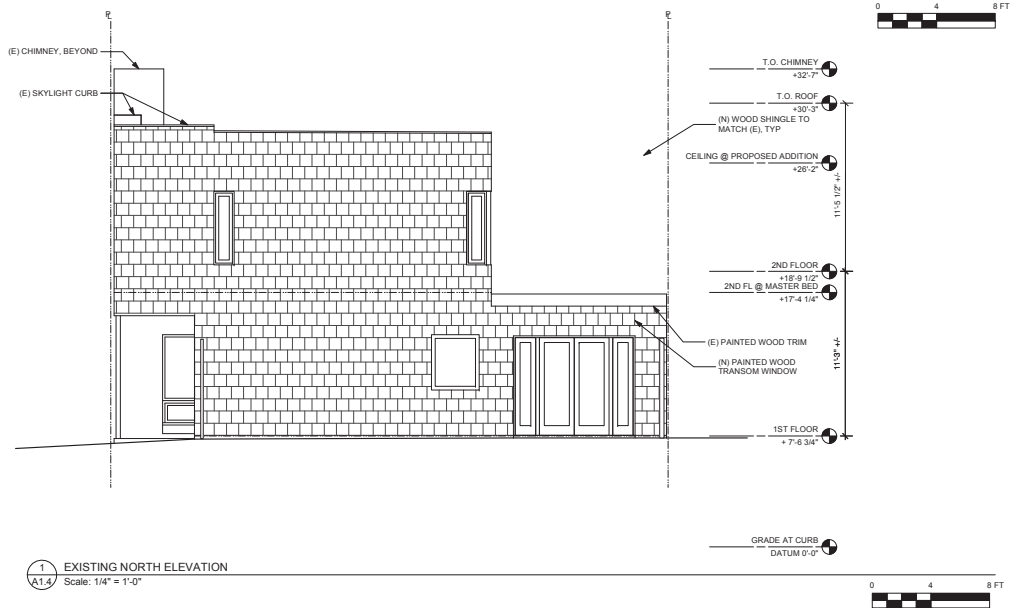
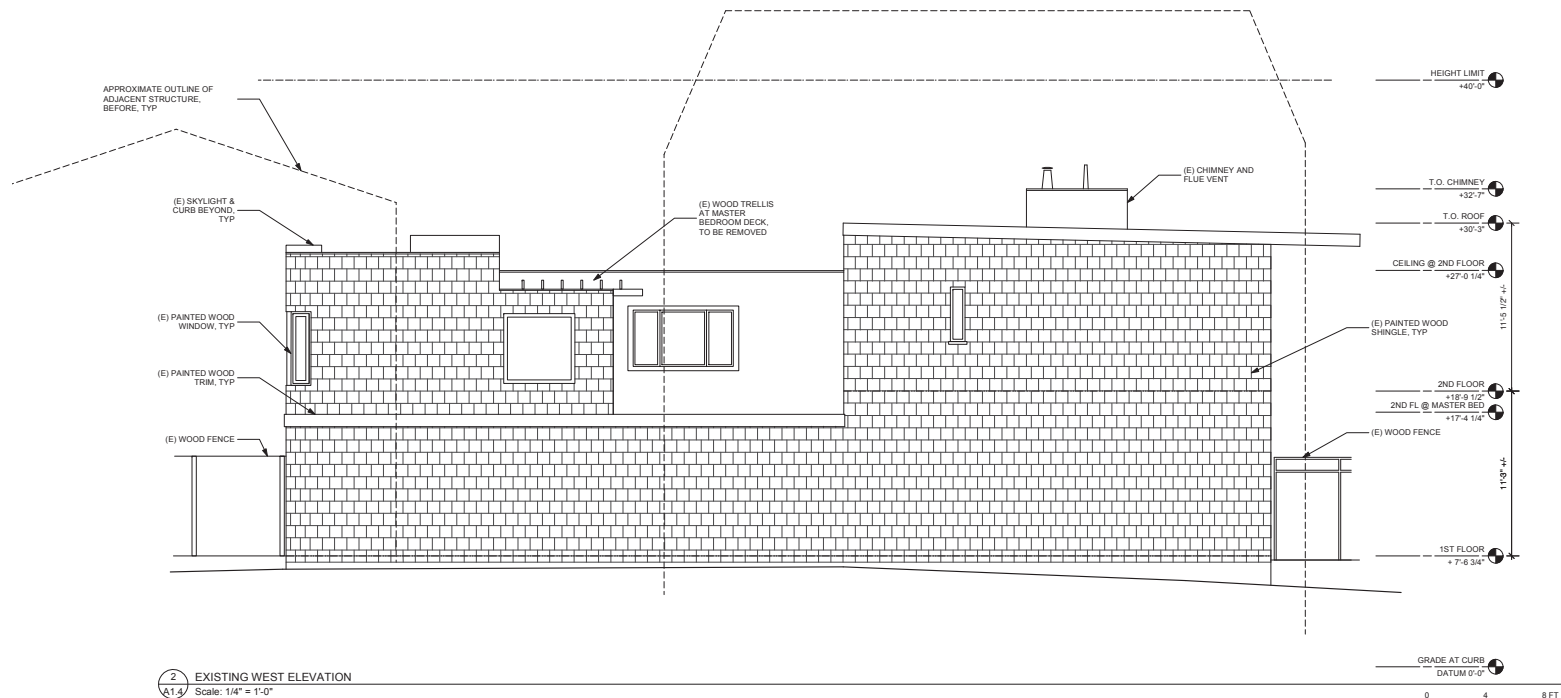
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PROJECT NUMBER: Q-13



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HEIGHT LIMIT
+40'-0"

T.O. CHIMNEY
+32'-7"

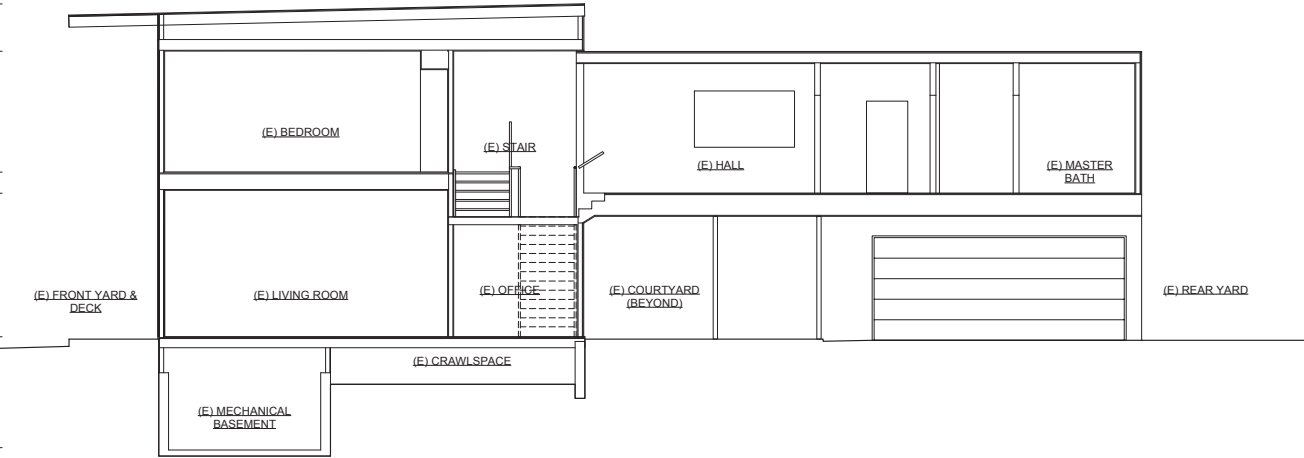
T.O. ROOF
+30'-3"

CEILING @ 2ND FLOOR
+27'-0 1/4"

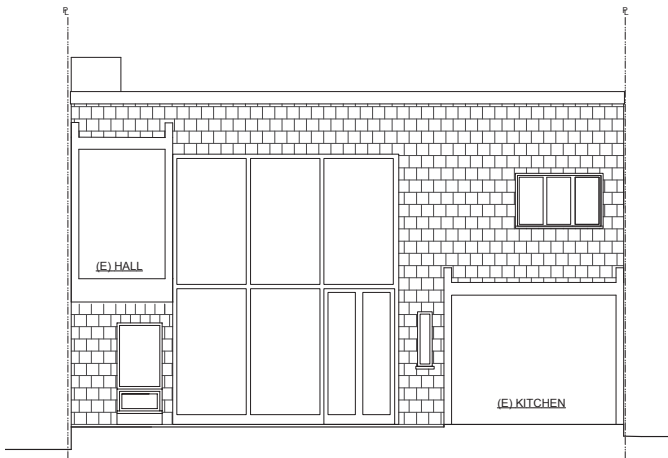
2ND FLOOR
+16'-8 1/2"
2ND FL. @ MASTER BED
+17'-4 1/4"

1ST FLOOR
+7'-6 3/4"

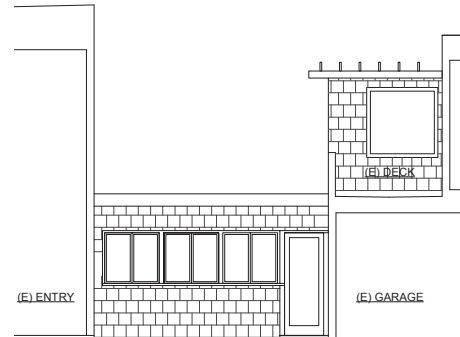
GRADE AT CURB
DATUM 0'-0"



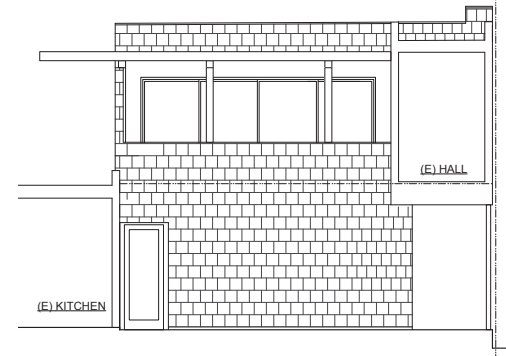
4 EXISTING SECTION
A1.5 Scale: 1/4" = 1'-0"



3 EXISTING NORTH COURTYARD ELEVATION
A1.5 Scale: 1/4" = 1'-0"



2 EXISTING EAST COURTYARD ELEVATION
A1.5 Scale: 1/4" = 1'-0"



1 EXISTING SOUTH COURTYARD ELEVATION
A1.5 Scale: 1/4" = 1'-0"



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PROJECT NUMBER: Q-13



EXISTING SECTIONS & COURTYARD ELEVATIONS

CLIENT APPROVAL
SIGNATURE

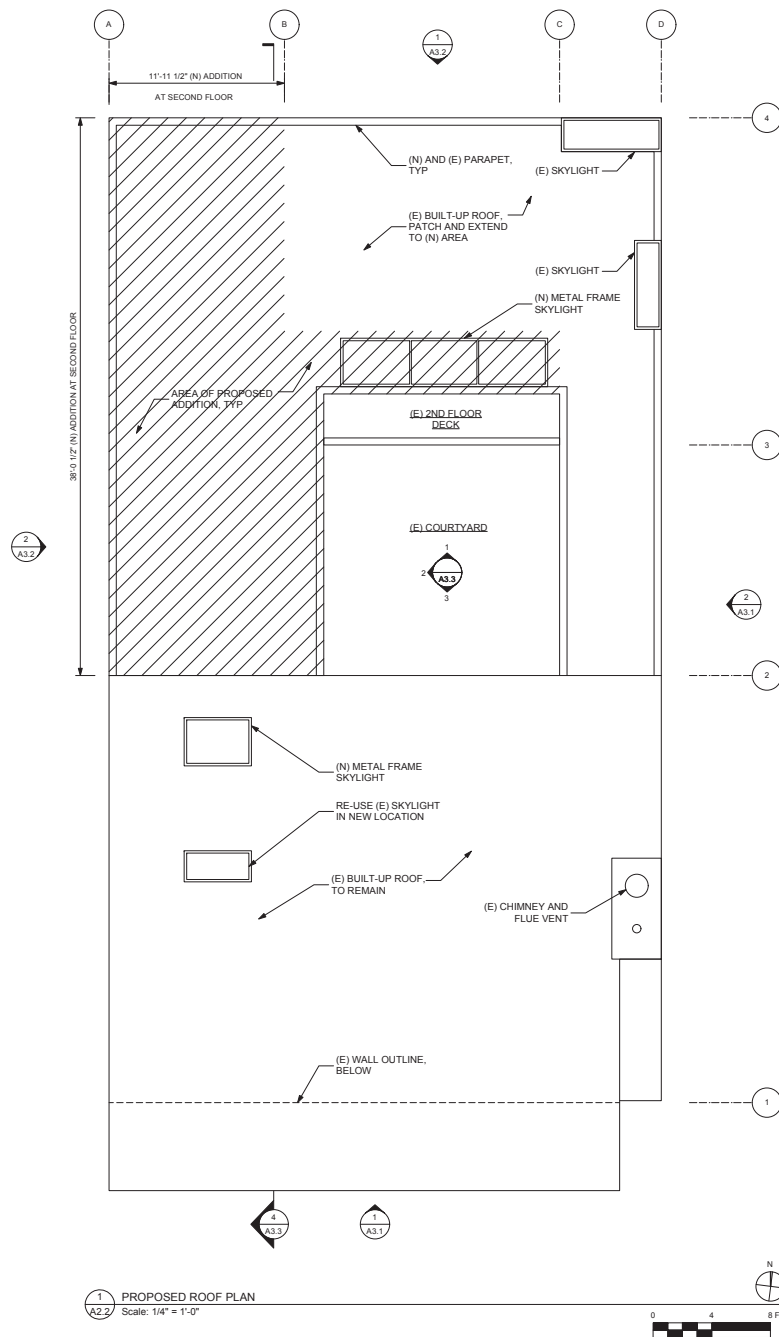
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PROPOSED ROOF PLAN

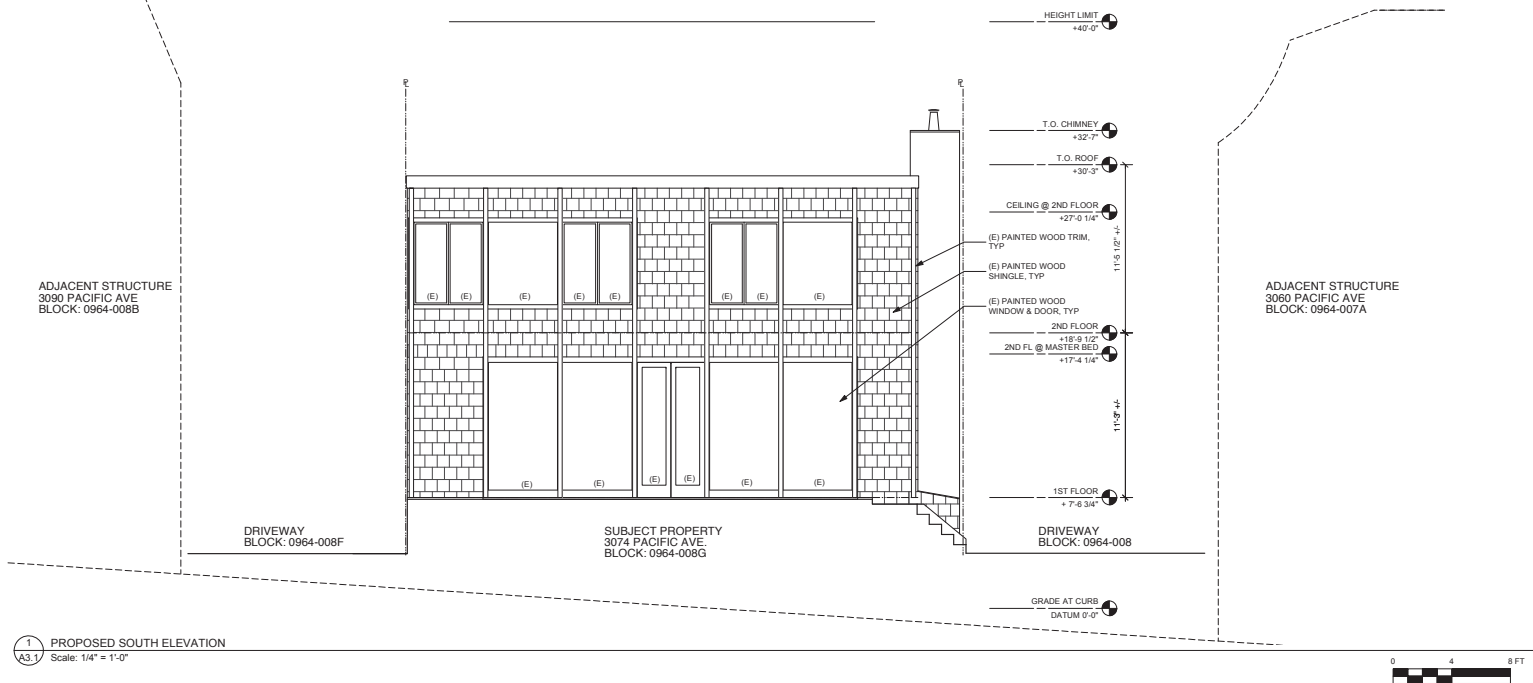
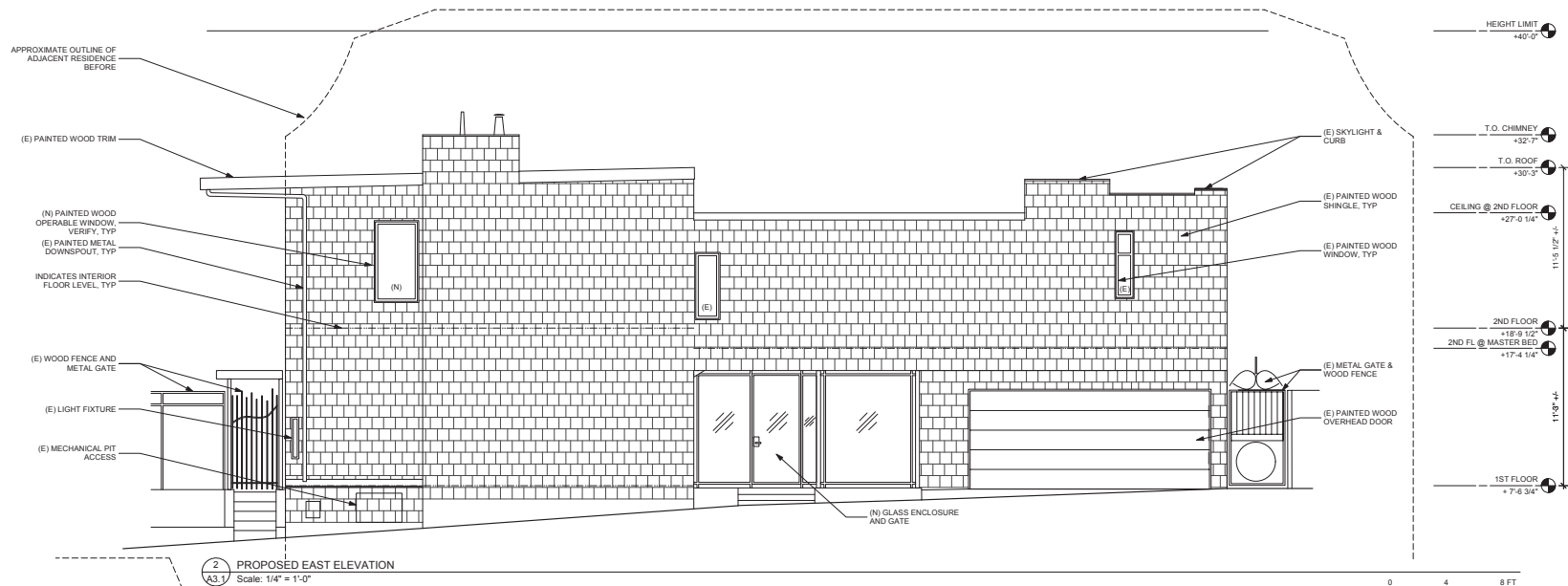
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A2.2	



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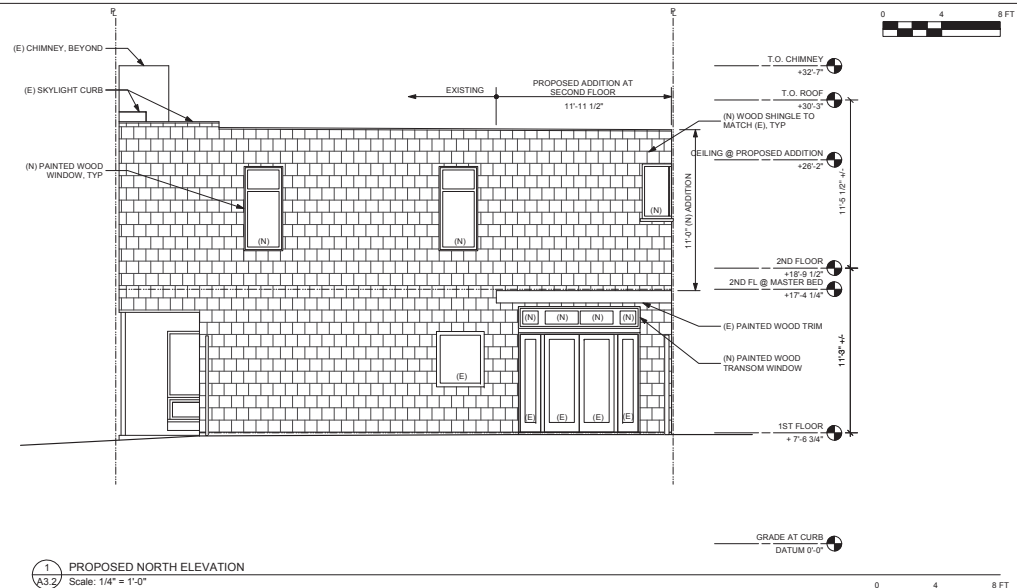
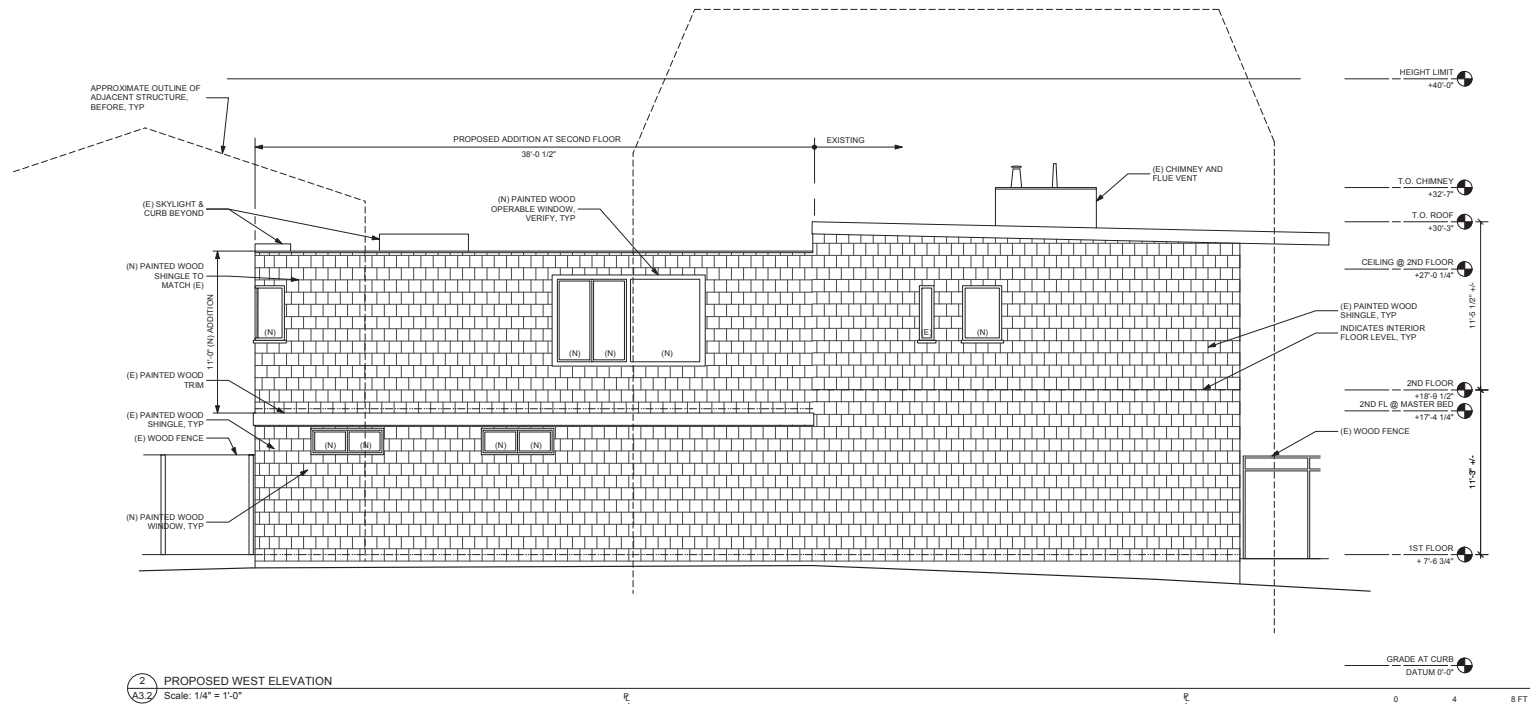
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