



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 24, 2011**  
Time: **Beginning at 9:30 AM**  
Location: **1650 Mission Street, Room 431**  
Case Type: **Variance (Rear Yard and Noncomplying Structure)**  
Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION   |   | APPLICATION INFORMATION |  |
|--|---|-------------------------|--|
| Project Address:   | <b>1520 Shrader Street</b>                  | Case No.:               | <b>2011.0624V</b>  |
| Cross Street(s):   | <b>17<sup>th</sup> St. &amp; Carmel St.</b> | Building Permit:        | <b>2011.04.01.3295</b>                                     |
| Block /Lot No.:  | <b>1290/019</b>                             | Applicant/Agent:        | <b>Alex Chiappetta</b>                                     |
| Zoning District(s):  | <b>RH-2/40-X</b>                            | Telephone:              | <b>(510) 849-1698</b>                                      |
|  |   | E-Mail:                 | <a href="mailto:alex@acastudio.com">alex@acastudio.com</a> |
| PROJECT DESCRIPTION  |   |                         |  |
| <p>The proposal is to extend an existing rear deck approximately 32 square feet (4 feet deep by 8 feet wide) for a total deck size of approximately 64 square feet (4 feet deep by 16 feet wide). The proposal also includes legalizing an existing exterior staircase from the existing deck to grade.</p> <p><b>PER SECTION 134 OF THE PLANNING CODE</b> the subject property is required to maintain a rear yard that measures 60 feet in depth. The proposed rear deck would be located entirely within the rear yard.</p> <p><b>PER SECTION 188 OF THE PLANNING CODE</b> a noncomplying structure may be altered provided no new discrepancy is created. The rear portion of the existing building as well as the existing deck and stairs are noncomplying structures as they were constructed within the required rear yard area. The proposed deck expansion would be contrary to Section 188.</p> |   |                         |  |
| ADDITIONAL INFORMATION   |   |                         |  |
| <p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b><br/>Planner: <b>Christine Lamorena</b> Telephone: <b>(415) 575-9085</b> E-Mail: <a href="mailto:christine.lamorena@sfgov.org">christine.lamorena@sfgov.org</a></p>   |   |                         |  |
| <p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2011.0624V.pdf">http://sf-planning.org/ftp/files/notice/2011.0624V.pdf</a></p>   |   |                         |  |

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

RIPPY RESIDENCE  
1520 SHRADER STREET  
KITCHEN REMODELS  
SAN FRANCISCO CA

[illegible]

|                  |  |
|------------------|--|
| PROJECT ADDRESS  | 1520 Skyaden St.<br>San Francisco CA 94117 |
| BLOCK & LOT      | 1240 - 014                                 |
| ZONING           | RH-2                                       |
| AFFILIABLE CODES | 2010 SFBZ, SPMC, SPPC, CEC, CFC            |
| OCCUPANCY        | R-3  |

1. All work and materials shall be in accordance with the latest rules and regulations of the International Building Code, the International Fire Code, the International Mechanical Code, the National Plumbing Code, and all applicable local and State Laws and Codes. Nothing on the drawings shall be construed to permit work not conforming to these codes.
2. All conditions not specifically existing on the drawings shall be similar to those shown or implied or shall match existing conditions.
3. All work shall be performed in conformance to all requirements of the State of California Energy Commission Title 24 Energy Efficiency Standards for New or Existing Buildings. Refer to specific regulations and manufacturer features and devices as noted in the energy performance calculations included elsewhere in these documents.
4. The Contractor shall complete and perform all work in a good, professional manner at a level, quality and tolerance consistent with the standards of the construction industry and shall be responsible for providing the proper materials, design and general construction, including but not limited to, framing, foundation, construction, material, and workmanship throughout.
5. All plan notes imply the use of the Contractor shall "meet the EXISTING'S," "EXISTING'S," or "IT" as existing and shall remain. All other items and notes not labeled or identified as existing shall be constructed new and shall be provided by the Contractor.
6. All dimensions take precedent over scale. The Contractor shall not scale the drawings. All dimensions are to the center of finish unless otherwise noted.
7. The Contractor shall verify all dimensions and conditions in field. Reports any discrepancies to Architect for resolution. Discrepancies between Architect's dimensions or Manufacturer's construction details shall be resolved to satisfy the most stringent requirement.
8. The Contractor shall obtain and pay for all necessary sub-trade inspection and/or permit fees as required by the scope of work.
9. The Contractor shall maintain all proper Worker's Compensation and Liability Insurance throughout duration of construction.
10. The Contractor shall be solely responsible for safety on the Project Site, and shall adhere to all Federal, State, Local, and OSHA safety regulations.
11. The Contractor shall be solely responsible for all bracing and shoring required for construction material and all concrete construction. The Contractor shall be responsible for the safety of all workers and the public in a manner such that the design loads of the structure are exceeded.

|      |                                    |
|------|------------------------------------|
| AO.1 | COVER SHEET AND ROOF/PILOT PLAN    |
| AO.2 | EXISTING + DEMO FLOOR PLANS        |
| AJ.1 | PROPOSED FLOOR PLANS               |
| AA.1 | EXTERIOR ELEVATIONS                |
| AB.1 | SCHEDULES                          |
| AM.1 | ME/P PLAN                          |
| SL.1 | STRUCTURAL PLANS                   |
| SL.2 | STRUCTURAL DETAILS + GENERAL NOTES |

**BUILDING CORNER**

Scott Rippl  
1520 Spradley Street  
San Francisco CA 94117

**ARCHITECT**

Alex Chappetta  
1515 Hearst Ave  
Berkeley CA 94703  
(510) 844-1626 phone  
(510) 844-1677 fax

**STRUCTURAL ENGINEER**

Nate Williams  
Mosswood Engineering  
3566 Adeline Street  
Berkeley CA 94710  
(415) 834-1022 ph  
(415) 358-8887 fax

**GENERAL CONTRACTOR**

Jeff King & Co  
251 Bay Street  
San Francisco, CA 94118  
(415) 221-5012 ph  
(415) 221-5010 fax

1. INTERIOR REMODELS OF KITCHEN AND 2 BATHROOMS AND ONE POWDER ROOM.

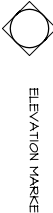
EXISTING WALL TO REMAIN  
(E) WALL TO BE REMOVED  
TYPICAL PARTITION  
LINE OVERLAP OR HIDDEN LINE  
CENTER LINE  
PROPERTY LINE  
DIMENSION TO FACE OF FINISH  
ALL DIMENSIONS ARE TO  
FACE OF FINISH U/LN.  
DIMENSION TO CENTRELINE



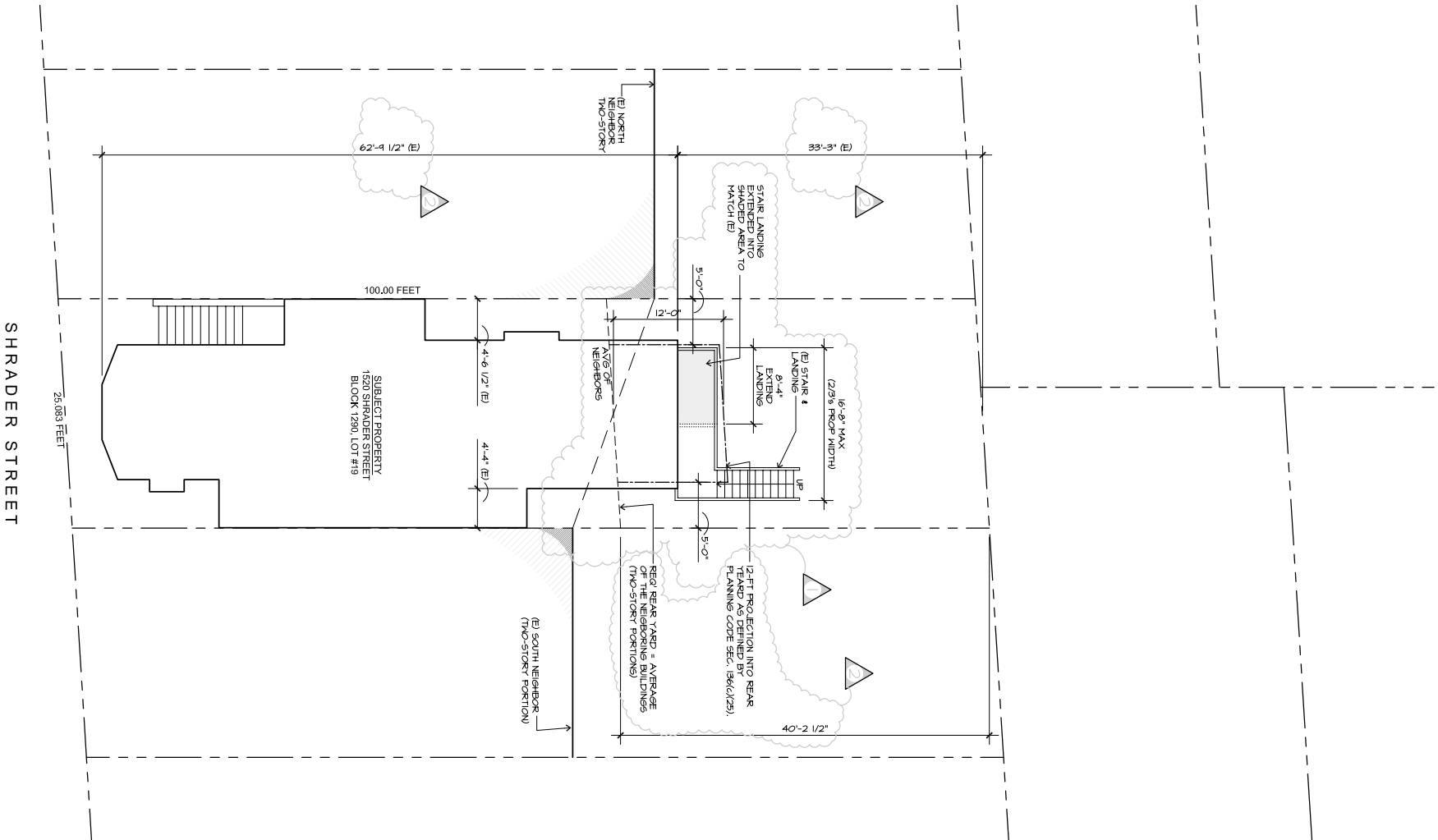
DATUM POINT



sheet



ELEVATION MARKER



1333 parker street  
berkeley ca 94702  
(510) 849.1698  
www.acastudio.com



|           |         |  |
|-----------|---------|--|
| 2         | 7/28/11 | DIMENSIONAL NOTES ADDED TO SITE PLAN & REAR ELEVATION  |
| 1         | 4/10/11 | SITE PERMIT SUBMITTAL--EXPANDING LANDING AT REAR STAIR |
|           | 3/10/11 | PERMIT SUBMITTAL                                       |
| Revisions |         |  |

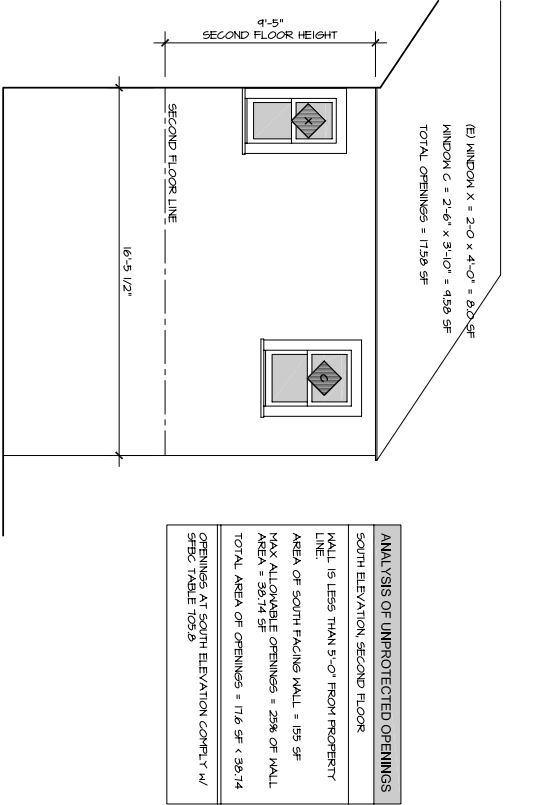
1520 Shrader St.  
San Francisco  
Block 1290 Lot 19

|      |         |       |          |
|------|---------|-------|----------|
| By   | AC      | Scale | AS NOTED |
| Date | 4/01/11 | Job   | 1014     |

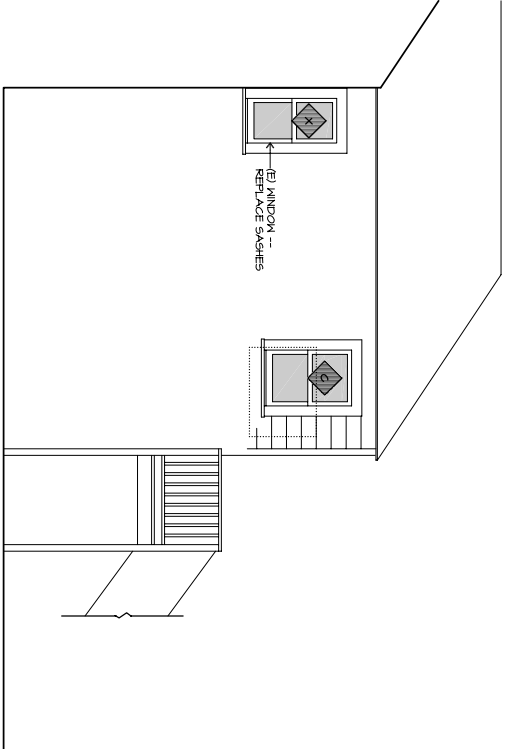
Drawing No.

 $1/8"=1'-0"$ 

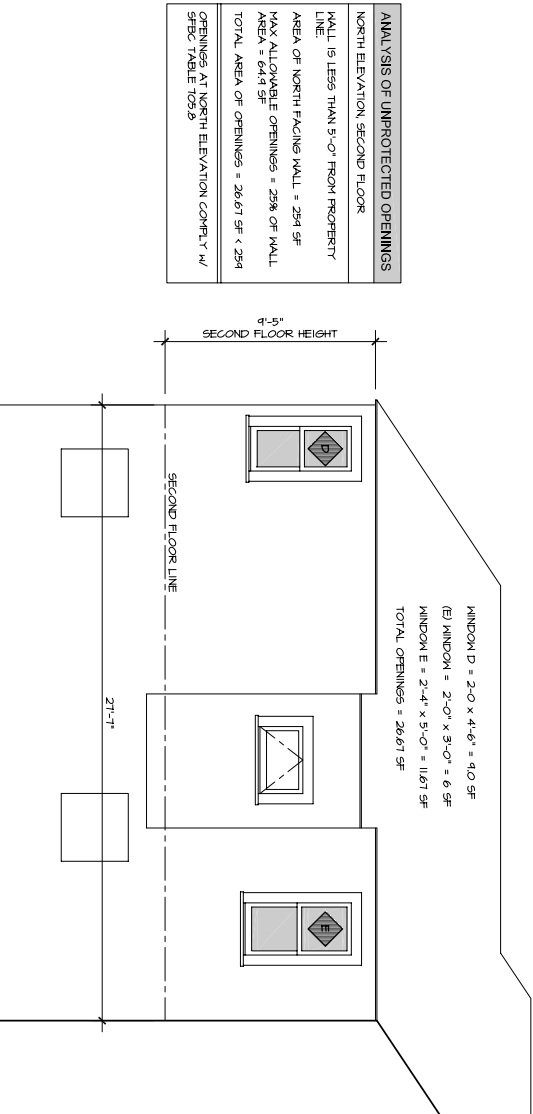
**Drawing Title**



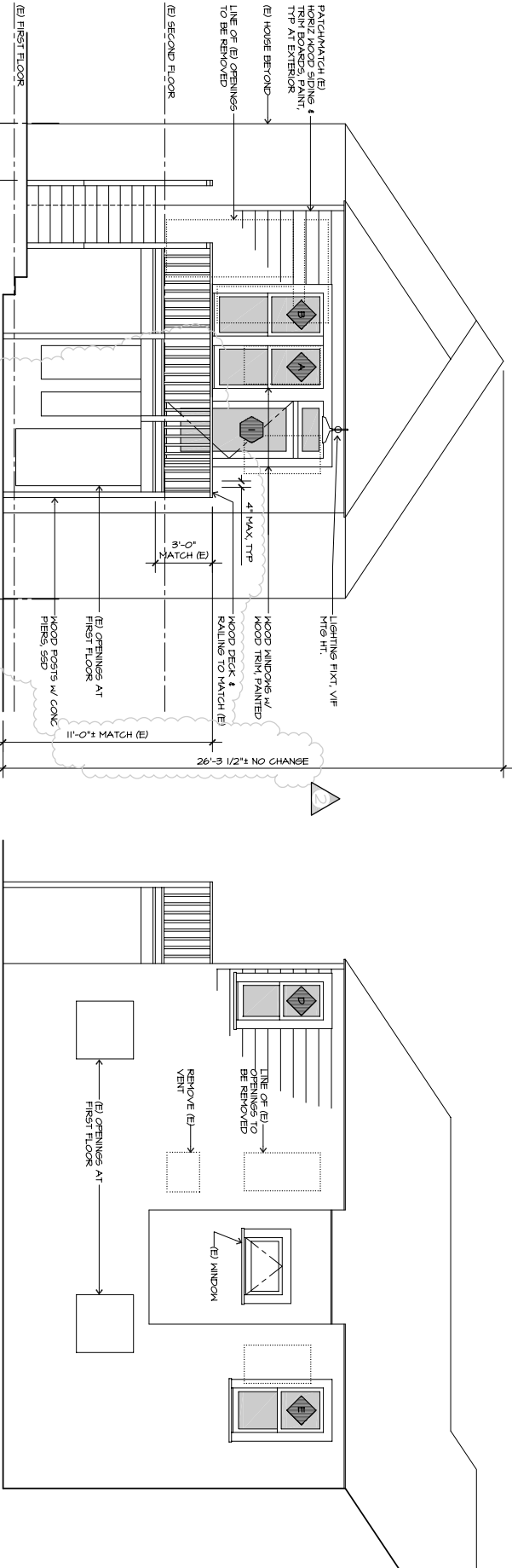
6 ANALYSIS OF UNPROTECTED OPENINGS AT SOUTH  
A4.1



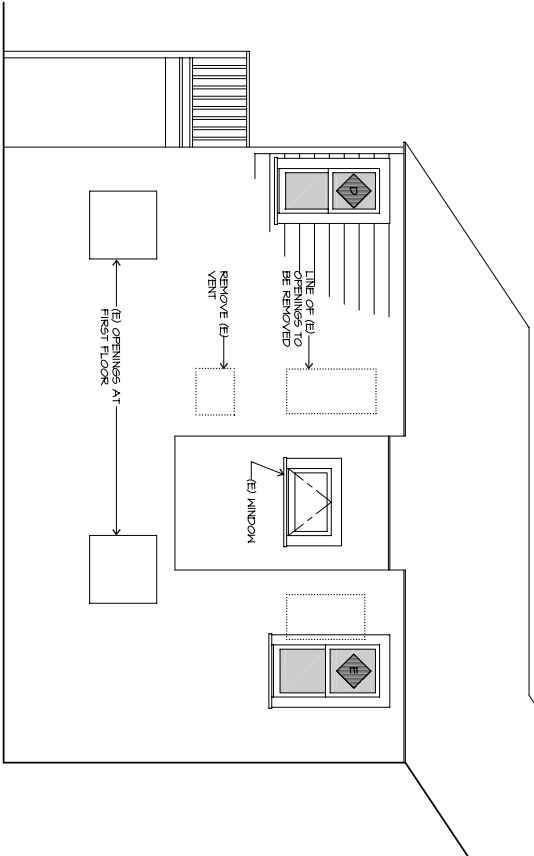
3 SOUTH ELEVATION  
A4.1



4 ANALYSIS OF UNPROTECTED OPENINGS AT NORTH  
A4.1



2 EAST ELEVATION  
A4.1



1 NORTH ELEVATION  
A4.1

Rippy Residence

KITCHEN  
REMODEL

1520 Shrader St.  
San Francisco  
Block 1290 Lot 19

Drawing Title

EXTERIOR  
ELEVATIONS

|               |                   |
|---------------|-------------------|
| By: AC        | Scale: 1/4"=1'-0" |
| Date: 4/01/11 | Job: 1014         |
| Drawing No.   |                   |

A4.1