



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 26, 2011**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard and Non-Complying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3657 Folsom St	Case No.: 2011.0604V
Cross Street(s): Powhattan / Eugenia Street	Building Permit: 2010.09.08.0429
Block / Lot No.: 5652/022	Applicant/Agent: Angela Logan
Zoning District(s): RH-1 / 40-X	Telephone: 415 577-0091
Area Plan: 5T	E-Mail: angela@loganbuilds.com

PROJECT DESCRIPTION

The proposal is to expand an existing deck at the rear of the lot approximately 3 feet 9 inches into the required rear yard.

PER SECTION 242 OF THE PLANNING CODE the subject property is required to maintain a rear yard equal to 35% of lot depth, or 24 feet 6 inches, in the case of the subject lot. The proposal would result in a rear yard of 17 feet 6 inches. The project requires a variance from the rear yard requirement (Section 242) of the Planning Code.

PER SECTION 188 OF THE PLANNING CODE a non-complying structure cannot be increased in size. The project would expand an existing non-complying deck; therefore, the project requires a variance from the non-complying structure requirement (Section 188) of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Diego Sanchez** Telephone: **415-575-9082** Mail: diego.sanchez@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0604V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

CONTACT INFORMATION:

TED LOGAN
 GENERAL CONTRACTOR
 LOGAN DESIGN & CONSTRUCTION
 CA LICENSE # 751239
 9 PROSPECT AVE
 SAN FRANCISCO, CA 94102
 4153414100

TONY & AGILEY TRULLIO
 HOME OWNER
 417 PREGITA AVENUE
 SAN FRANCISCO, CA 94102

ARCHITECTURAL GENERAL NOTES:

1. CODE COMPLIANCE:
 - A. ALL WORK SHALL COMPLY WITH THE CALIFORNIA UNIFORM BUILDING CODE CURRENT EDITIONS, INCLUDING ALL LOCAL CODES AND COMPLIANCES
 - B. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE CURRENT EDITIONS, AS AMENDED BY THE LOCAL MUNICIPALITY
2. DIMENSIONING:
 - A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY THE DESIGNER OF ANY DISCREPANCIES. IF CONSTRUCTION IS STARTED PRIOR TO NOTIFICATION, THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) PROCEED AT THEIR OWN RISK.
 - B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE/MASONRY WALLS. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
 - C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PUMPING, ELECTRICAL, FIXTURES, AND APPLIANCES PRIOR TO COMMENCEMENT OF WORK. NOTIFY THE DESIGNER OF ANY DIMENSIONAL DISCREPANCIES RELATED TO REQUIRED TOLERANCES.
3. DOCUMENT REVIEW/VERIFICATION:
 - A. CONSULT WITH DESIGNER REGARDING ANY SUSPECTED ERRORS, OMISSIONS OR CHANGES ON PLANS PRIOR TO COMMENCEMENT OF WORK
4. ROUGH OPENING/PACKINGS:
 - A. VERIFY SIZE AND LOCATION. PROVIDE ALL NECESSARY OPENINGS THROUGH FLOORS AND WALLS. PROVIDE FLOORING, CURBS, ANCHORS, INSERTS, EQUIPMENT PAGES AND ROUGH BLUKS/PACKING TO ENSURE A COMPLETE AND PROPER INSTALLATION OF SURFACE MOUNTED ITEMS.
5. FLOORING:
 - A. PROVIDE FLOORING AS REQUIRED TO CONCEAL MECHANICAL, STRUCTURAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FLOORING NOT SHOWN ON PLANS SHALL BE APPROVED BY DESIGNER PRIOR TO CONSTRUCTION.
6. GRADING:
 - A. VERIFY ALL GRADING AND THE RELATIONSHIP TO BUILDING PRIOR TO COMMENCEMENT OF WORK.
7. FLOOR LINES:
 - A. FLOOR LINE NOTED ON PLANS REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR
8. REPETITIVE FEATURES:
 - A. OFTEN SHOWN ONLY ON TIME. SHALL BE COMPLETELY PROVIDED FOR AS IF DRAWN IN FULL.
9. WOOD MEMBERS:
 - A. WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR EXPOSED TO EARTH/WEATHER SHALL BE PRESSURE TREATED, TYPICAL.
10. FRAMING:
 - A. ALL INTERIOR FRAMING PARTITIONS SHALL BE 2" x 4" @ 16" o.c.
 - B. ALL EXTERIOR FRAMING SHALL BE 2" x 4" WITH SIZE AND SPACING PER STRUCTURAL DRAWINGS UNLESS OTHERWISE NOTED.
11. VENTILATION:
 - A. VENT ALL BATHROOM AND KITCHEN FANS TO THE OUTSIDE ATMOSPHERE. BATHROOM AND KITCHEN FANS SHALL BE CAPABLE OF FIVE AIR EXCHANGES PER HOUR, AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE OF THE BUILDING ENVELOPE VIA SMOOTH, RIGID, NON-CORROSIVE 24 GAUGE METAL DUCTWORK.
 - B. FLEX DUCTWORK NOT PERMITTED.
12. SECURITY NOTES PER USF:
 - A. IF NEW WATER HEATER IS REQUIRED AND IS OVER 4 FEET IN HEIGHT, IT SHALL BE EQUIPPED WITH EARTHQUAKE ANCHORING AND STRAPPING AND SHALL BE ELEVATED 18 INCHES ABOVE THE GARAGE FLOOR.
13. OTHER DOCUMENTATION:
 - A. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS, NOTES, SCHEDULES AND OTHER INFORMATION PERTAINING TO THE PROJECT.

SCOPE OF WORK:

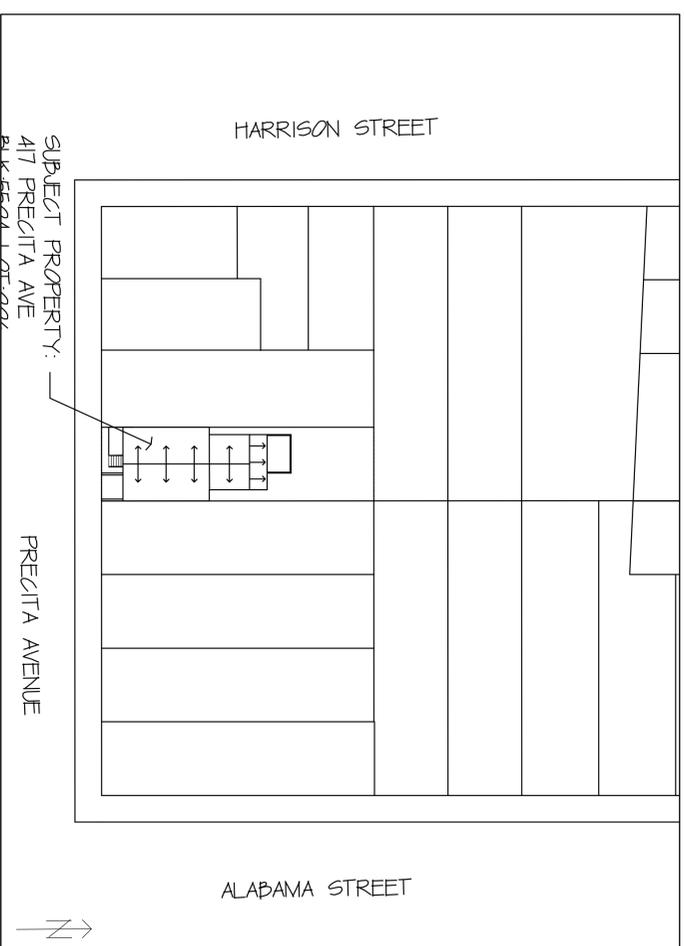
THE PROJECT IS A KITCHEN REMODEL ON THE FIRST FLOOR TO THE RESIDENCE AT 417 PREGITA AVENUE. TWO WALLS WILL BE REMOVED AND REPLACED WITH NEW STRUCTURAL ELEMENTS AS SHOWN.

PROJECT INFORMATION:

BLOCK: 5504
 LOT: 006
 ZONING: RH-1
 CONSTRUCTION TYPE: V

SHEET INDEX:

- A0 GENERAL NOTES, CONTACT INFORMATION, SCOPE OF WORK, LOCATION MAP AND SHEET INDEX
- A1 EXISTING GRAND FLOOR PLAN, PROPOSED GRAND FLOOR PLAN
- A2 EXISTING FIRST FLOOR PLAN, PROPOSED FIRST FLOOR PLAN
- A3 EXISTING SECOND FLOOR PLAN, PROPOSED SECOND FLOOR PLAN
- A4 ELECTRICAL LIGHTING PLAN
- S10 GENERAL STRUCTURAL NOTES
- S11 GRAND FLOOR
- S12 SECOND FLOOR FRAMING
- S21 TYPICAL CONCRETE DETAILS
- S41 TYPICAL WOOD DETAILS
- S42 TYPICAL WOOD DETAILS
- S43 WOOD DETAILS

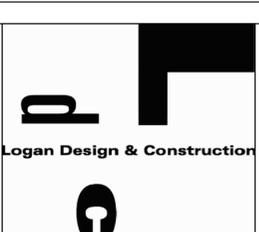


SITE MAP:

NTS

REVISION

BY



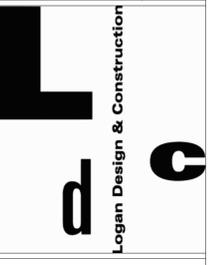
LOGAN DESIGN & CONSTRUCTION
 CA LICENSE 751239
 9 PROSPECT AVENUE
 SAN FRANCISCO, CA 94102
 4153414100

TRULLIO RESIDENCE
 417 PREGITA AVENUE
 SAN FRANCISCO, CA 94102

CONTACT INFO
 GENERAL NOTES
 LOCATION MAP

DATE:	2/11/2011
SCALE:	1/4" = 1'-0"
DRAWN BY:	TL
USP:	PREGITA
SHEET:	A0
	1 of 12

REVISION	BY

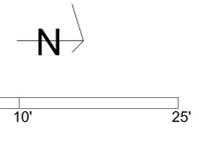
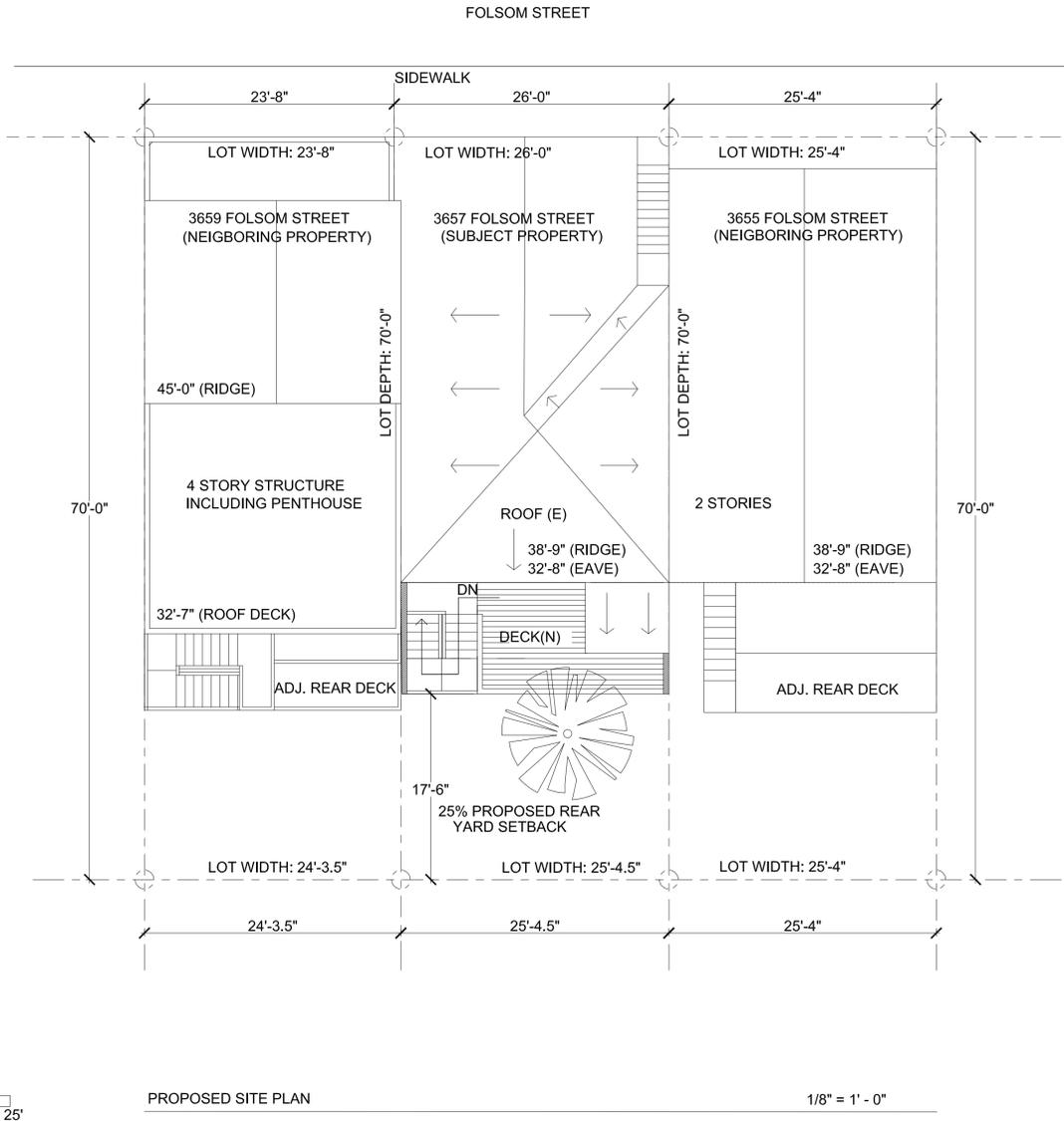
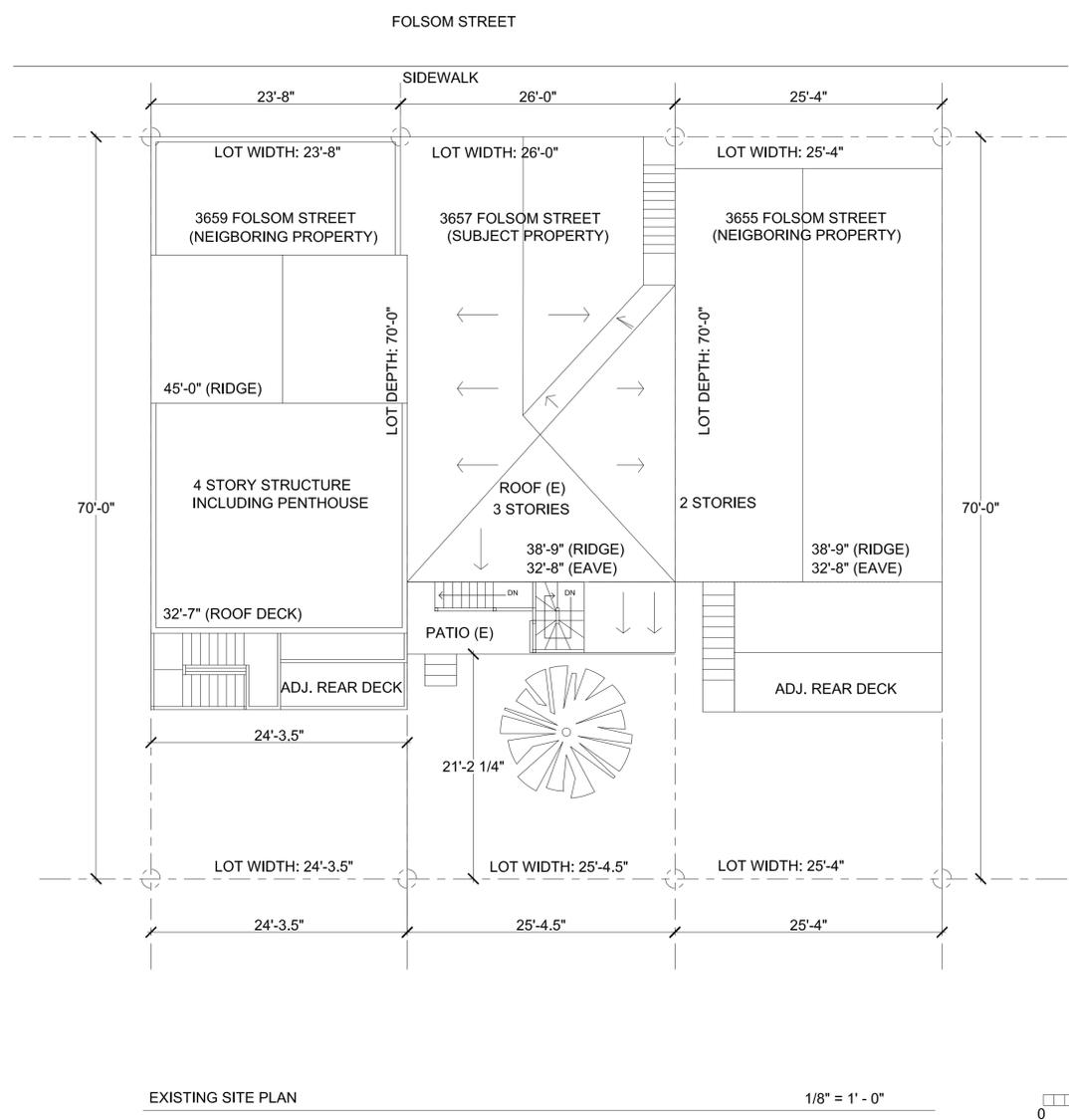


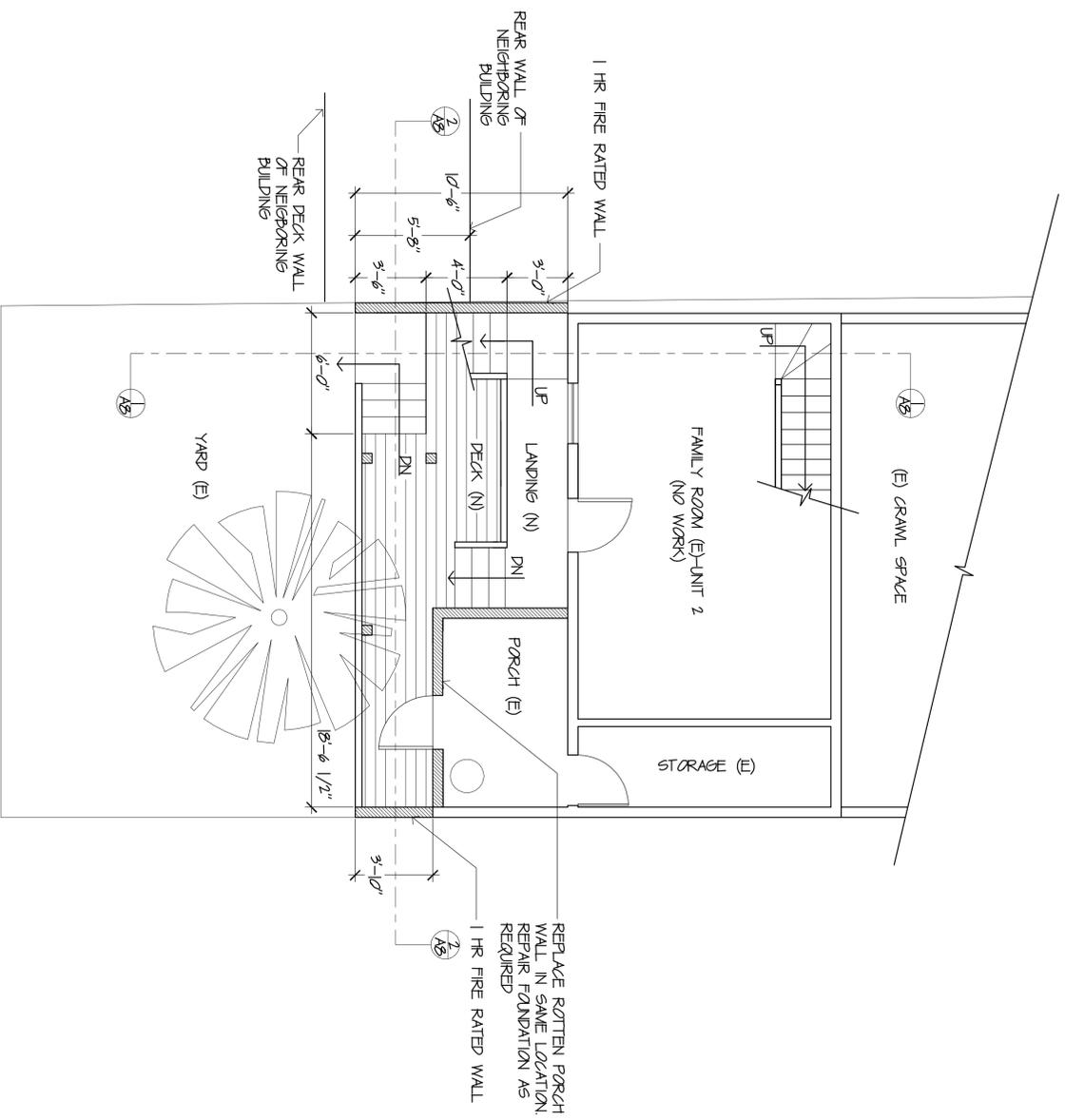
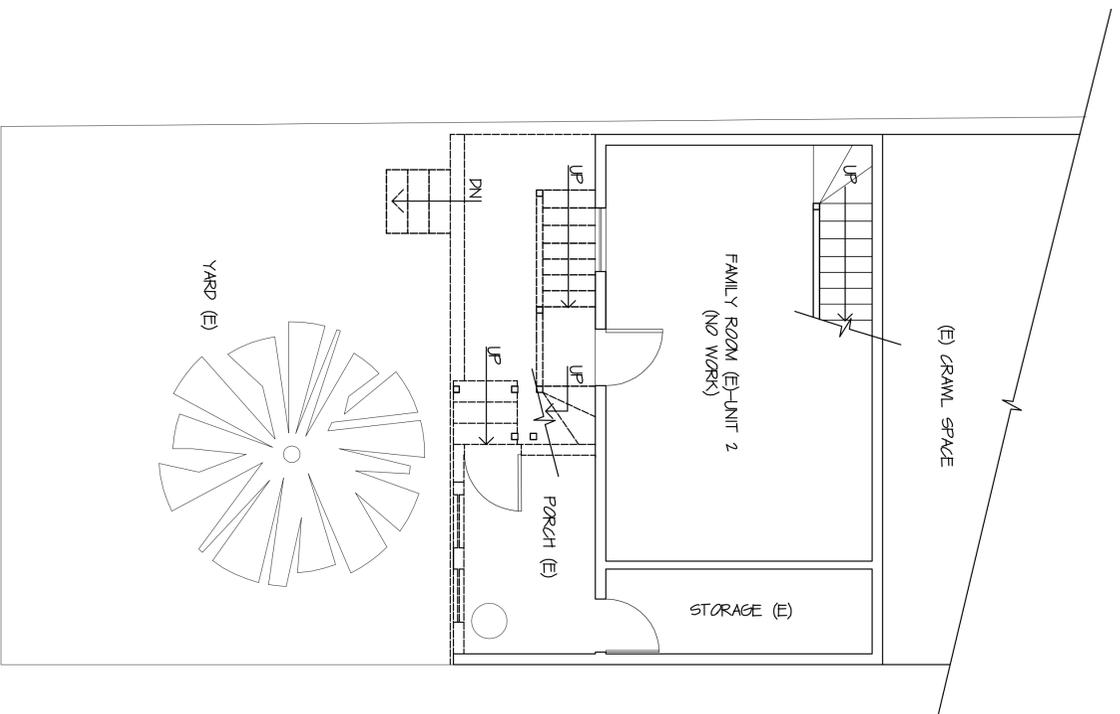
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 9 PROSPECT AVENUE
 SAN FRANCISCO, CA 94110
 415.341.4100

GUNN DECK
 3657 FOLSOM ST.
 SAN FRANCISCO, CA 94110

EXISTING & PROPOSED
 SITE/ROOF PLAN

DATE: 4/16/2010
 SCALE: 1/8" = 1'-0"
 DRAWN BY: TL/JCT
 JOB: GUNN
 SHEET: **A.1**
 2 OF 9





WALL LEGEND

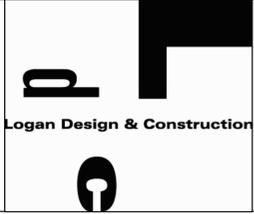
--- (dashed line)	WALL TO BE DEMOLISHED
— (solid line)	EXISTING WALL TO REMAIN
▨ (hatched)	NEW WALL



PROPOSED ROOF PLAN

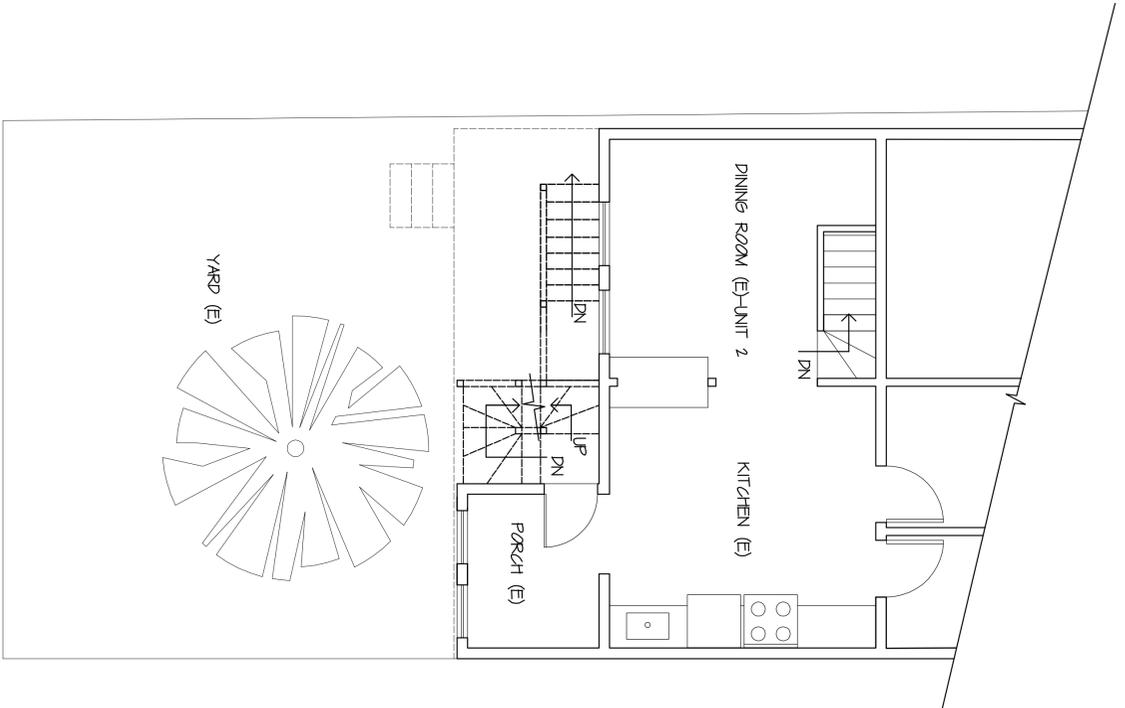
GUINN DECK
3257 FOLSOM ST.
SAN FRANCISCO, CA 94110

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CA LICENSE 751233
9 PROSPECT AVENUE
SAN FRANCISCO, CA 94110
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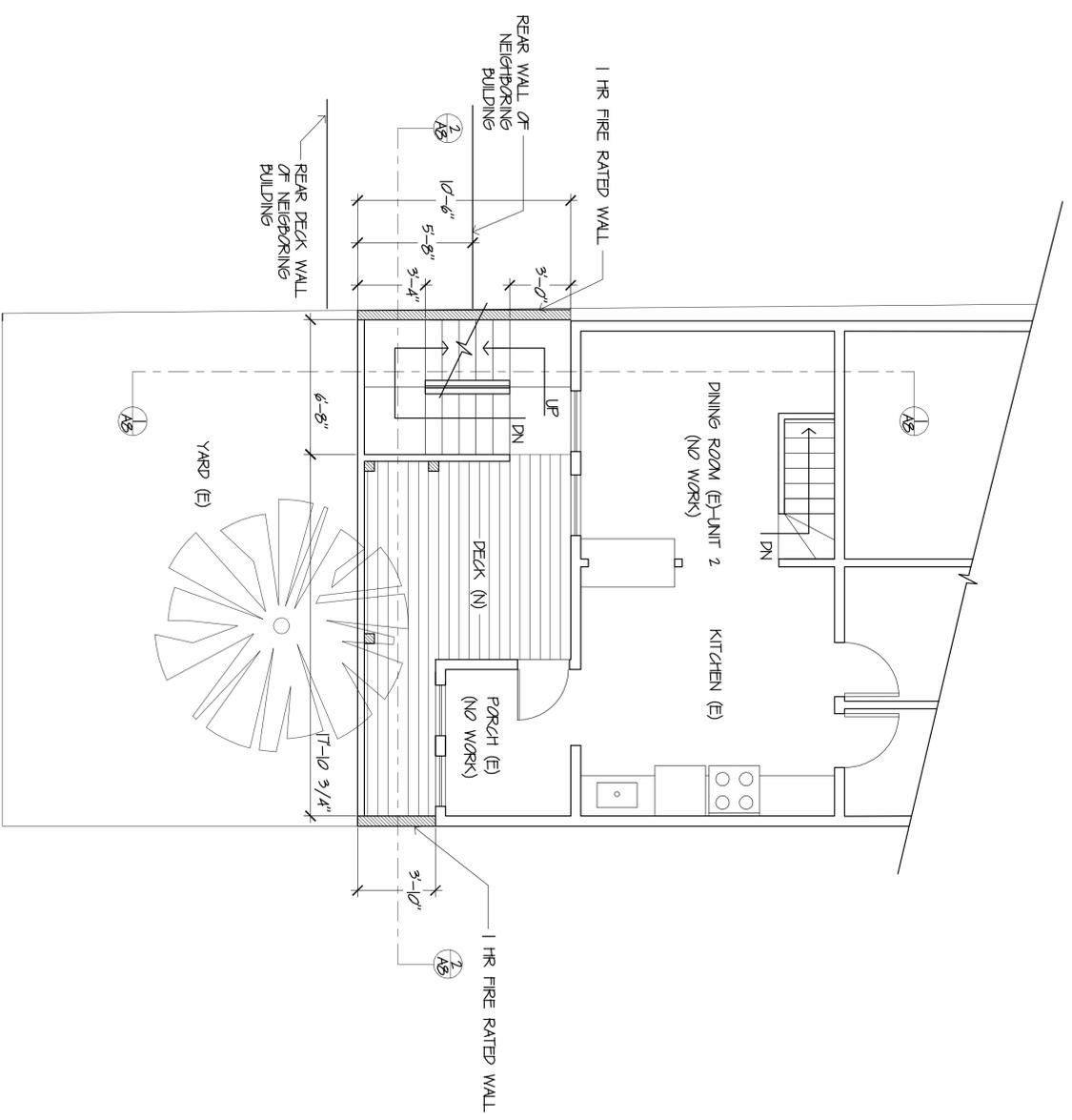
REVISION	BY

DATE:	4/16/2010
SCALE:	1/4" = 1'-0"
DRAWN BY:	TL/KST
JOB:	GUINN
SHEET:	A.2
	3 of 9



EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

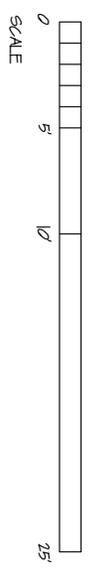


PROPOSED SECOND FLOOR DECK PLAN

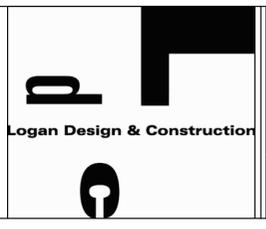
SCALE: 1/4" = 1'-0"

WALL LEGEND

	WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL



REVISION	BY

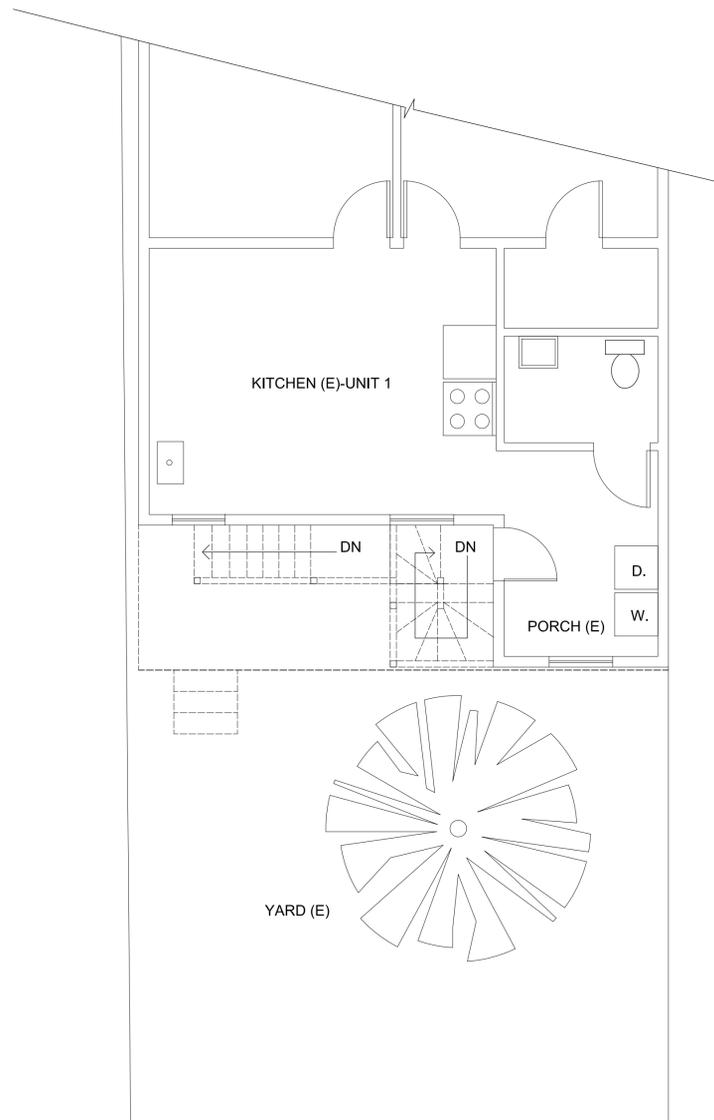


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GUNN DECK
 3657 FOLSOM ST
 SAN FRANCISCO, CA 94110

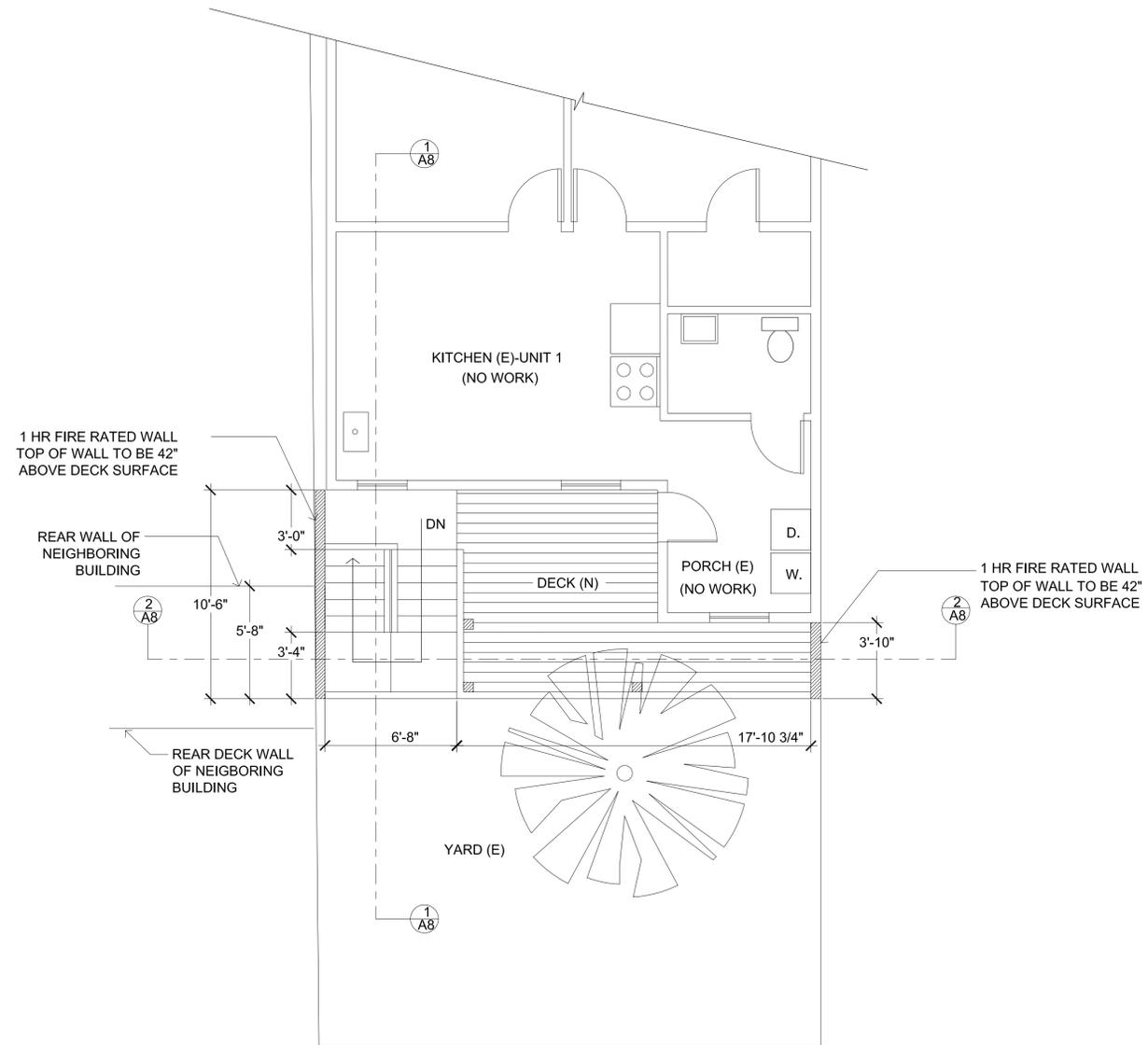
EXISTING 2ND FLOOR PLAN
 PROPOSED 2ND FLOOR PLAN

DATE:	4/16/2010
SCALE:	1/4" = 1'-0"
DRAWN BY:	TL/JLT
DES:	GUNN
SHEET:	A.3
	4 of 9



EXISTING THIRD FLOOR PLAN

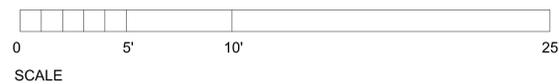
SCALE: 1/4"= 1'-0"



PROPOSED THIRD FLOOR DECK PLAN

SCALE: 1/4"= 1'-0"

WALL LEGEND	
	WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL



REVISION	BY

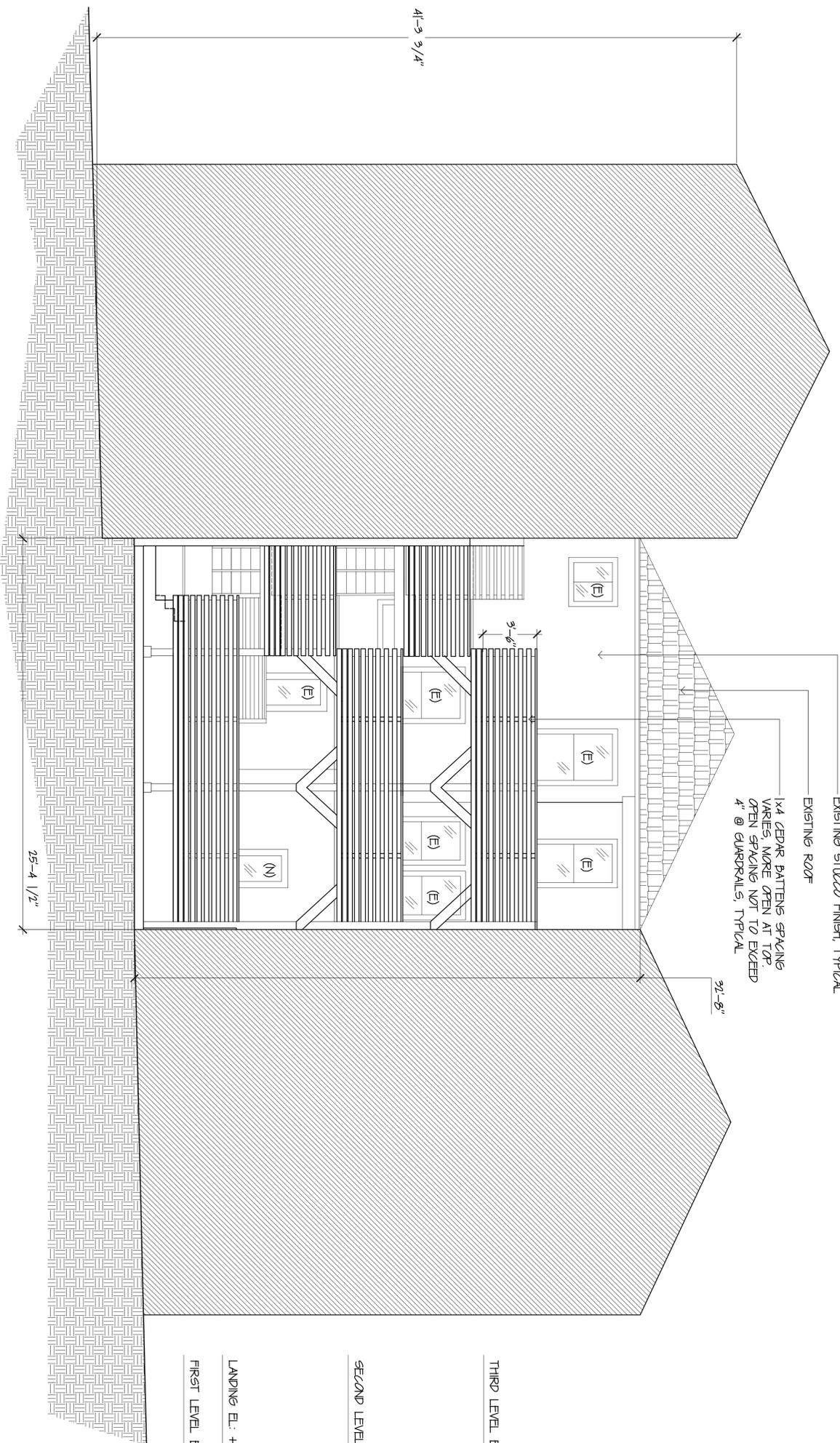


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GUNN DECK
 3857 FOLSOM ST.
 SAN FRANCISCO, CA 94110

EXISTING 3RD FLOOR PLAN
 PROPOSED 3RD FLOOR PLAN

DATE:	4/16/2010
SCALE:	1/4"= 1'-0"
DRAWN BY:	TL/JCT
JOB:	GUNN
SHEET:	A.4
	4 OF 9



EXISTING STUCCO FINISH, TYPICAL
 EXISTING ROOF
 1x4 CEDAR BATTENS SPACING VARIES, MORE OPEN AT TOP. OPEN SPACING NOT TO EXCEED 4\"/>

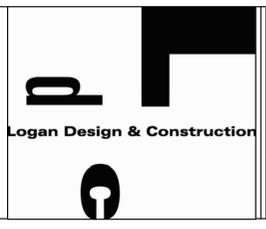
THIRD LEVEL EL.: +21'-8"
 SECOND LEVEL EL.: +19'-0"
 LANDING EL.: +4'-11"
 FIRST LEVEL EL.: +2'-5"

EAST ELEVATION

SCALE: 1/4" = 1'-0"



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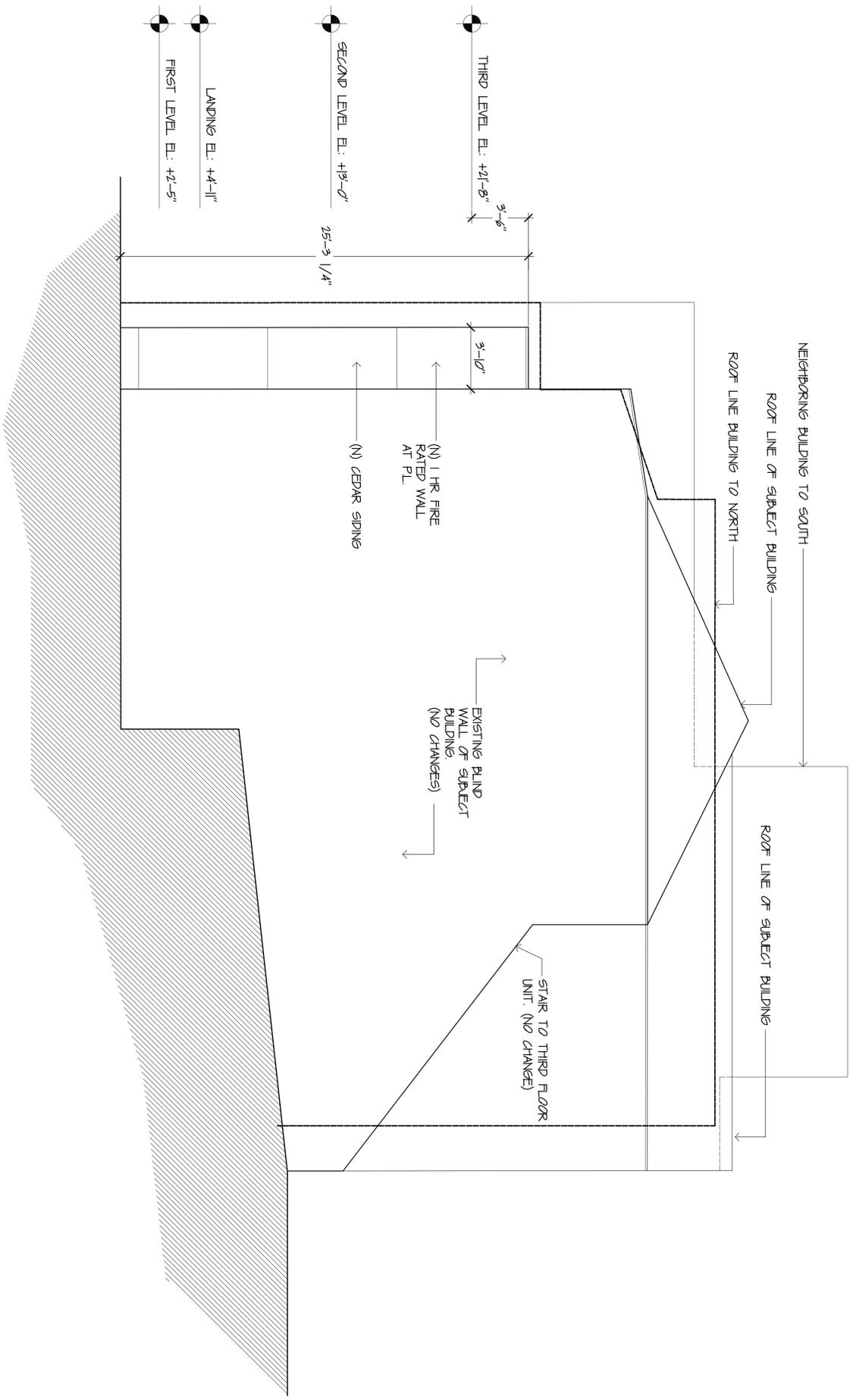


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GUNN DECK
 3657 FOLSOM ST.
 SAN FRANCISCO, CA 94110

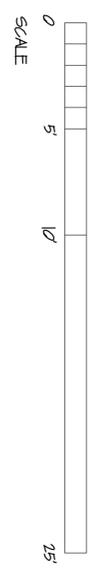
EAST ELEVATION

DATE:	4/16/2010
SCALE:	1/4" = 1'-0"
DRAWN BY:	TL/JLT
UP:	GUNN
SHEET:	A5
	6 of 9

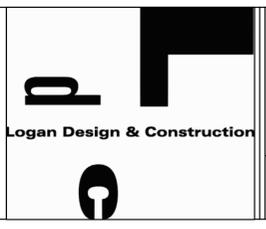


NORTH ELEVATION

SCALE: 1/4" = 1'-0"



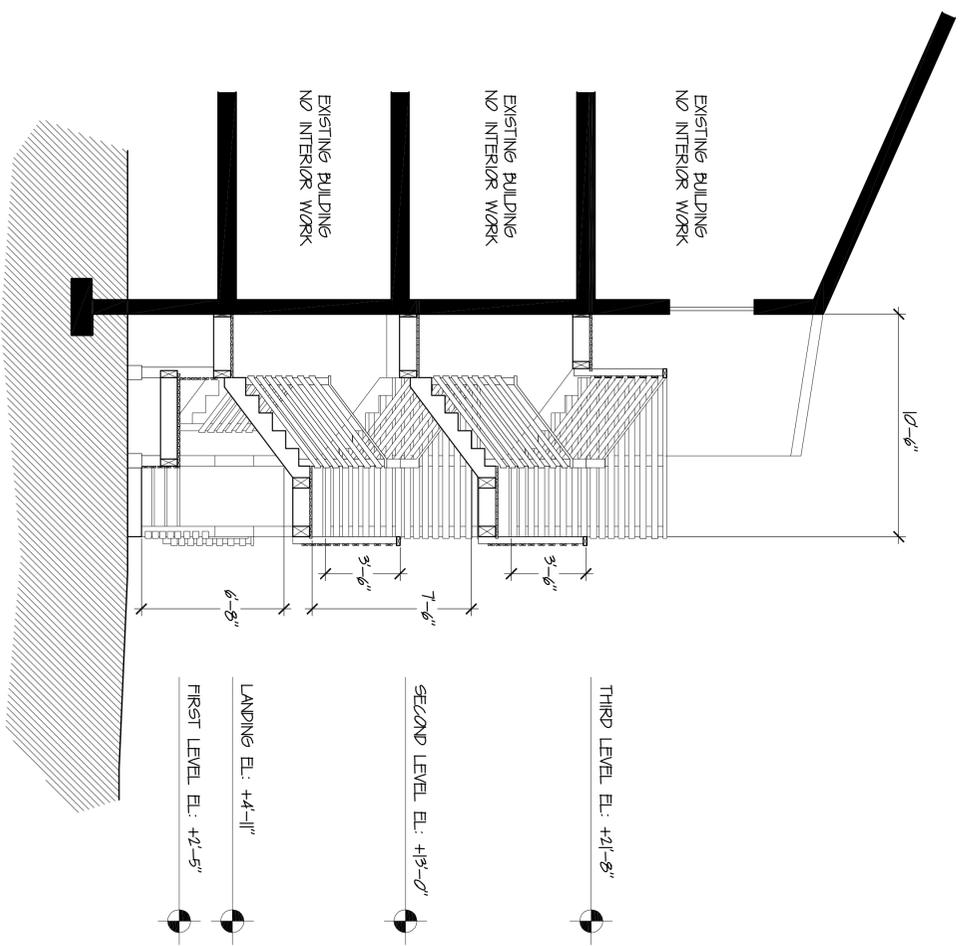
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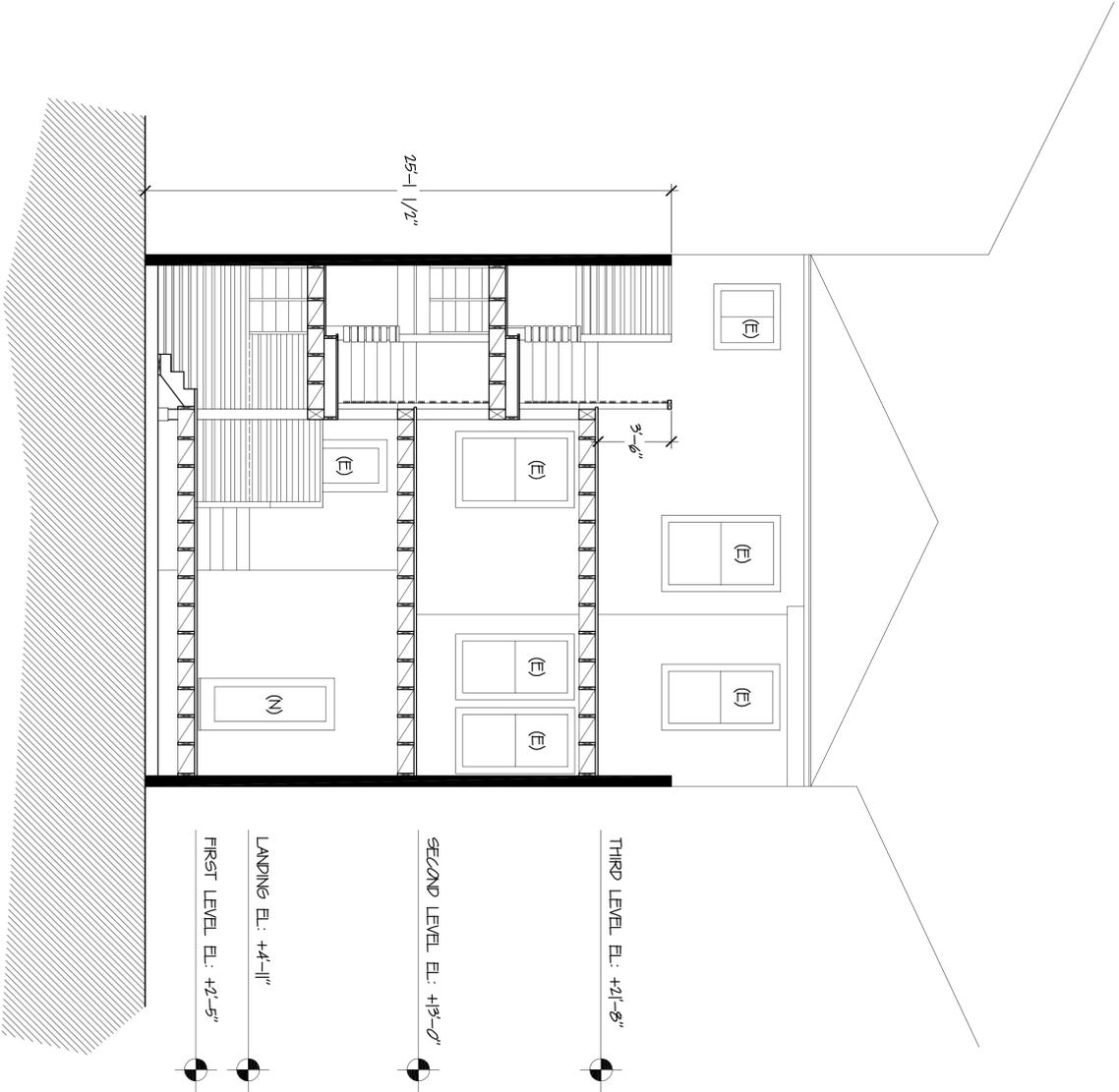
GUNN DECK
 3657 FOLSOM ST.
 SAN FRANCISCO, CA 94110

DATE:	4/16/2010
SCALE:	1/4" = 1'-0"
DRAWN BY:	TL/UCJ
TOP:	GUNN
SHEET:	A.7
	8 of 9



SECTION 1: LOOKING NORTH THROUGH STAIRWELL

SCALE: 1/4" = 1'-0"



SECTION 2: LOOKING WEST THROUGH DECK

SCALE: 1/4" = 1'-0"



NOTE: SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

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PROPOSED DECK SECTIONS

DATE:	4/16/2010
SCALE:	1/4" = 1'-0"
DRAWN BY:	JLT
JOB:	GUNN
SHEET:	A.8
	9 of 9