



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 24, 2011**
Time: **Beginning at 9:30 AM**
Location: **Planning Department**
1650 Mission Street, Room 431
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	27-29 Liberty Street	Case No.:	2011.0602V
Cross Street(s):	Valencia and Guerrero	Building Permit:	2010.10.05.2271
Block /Lot No.:	3608/039	Applicant/Agent:	Geoffrey Gainer
Zoning District(s):	RH-3 / 40-X	Telephone:	(415) 643-3366
Area Plan:	Mission	E-Mail:	geof@actual-size.com
PROJECT DESCRIPTION			
<p>The proposal is to replace the existing noncomplying rear stair with a new rear stair for a two-family dwelling. The new rear stair would have a reduced footprint in comparison to the existing rear stair.</p> <p>PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 28 feet 9 inches, which is based upon the minimum 25% rear yard requirement. The existing building and stairs currently project into the required rear yard. The proposed rear stair would extend approximately 7 feet past the existing building and result in a rear yard of approximately 2 feet. Therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.</p> <p>PER SECTION 188 OF THE PLANNING CODE, noncomplying structures are not permitted to be expanded. The existing building is considered a legal noncomplying structure because portions of the building encroach into the required rear yard. The proposal would intensify the noncomplying structure by constructing a new rear stair, and would be contrary to Section 188. Thus, the project requires a variance from Planning Code Section 188.</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0602V.pdf</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Rich Sucre Telephone: (415) 575-9108 E-Mail: richard.sucre@sfgov.org</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property.

The mailing of such notification will be performed separately.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

Spring Residence, Exterior Stair Replacement

29 Liberty St / San Francisco CA 94110

Description:

Replace rear existing, non-conforming, required egress stair with code-compliant stair.

Block/Lot: 3608/39

Zoning: RH-3

Occupancy: R-2, 4-unit

Construction: Type V

Lot dim's: 25 x 114 = 2848 s.f.

ADJ Adjustable
ARCH Architectural
BD Board
BLDG Building
BLK Block
BLKG Blocking
BM Beam
B.O. Bottom of
BSMT Basement
CRT Cabinet
C.J. Control Joint
CLG Ceiling
CLR Clear

CL Center line
CONC Concrete
DET Detail
D Diameter
DIM Dimension
DN Down
DRWG Drawing
DS Downspout
(E) Existing
EJ Expansion Joint
EQ Equal
FIN Finish
FLUOR Fluorescent
F.O.C. Face of Concrete
F.O.F. Face of Finish
F.O.S. Face of Stud
G.I. Galvanized Iron
GL Glass
G.B. Gypsum board
HB Hose Bib
HDWD Hardwood
HT Height
LT Light
MECH Mechanical
MEMB Membrane
MIN Minimum
(N) New
NIC Not In Contract
NTC Not To Scale
o / Over
O.A. Overall
P.L. Property Line
P.W.D. Plywood
R Riser
RAD Radius
REINF Reinforced
RC Resilient Channel
R.O. Rough Opening
R.S. Rough-sawn
RWL Rain Water Leader
S.C. Solid Core
SSD See Structural Drawings
S.D. Smoke Detector
SIM Similar
SL Slope
SS Stainless Steel
STOR Storage
T Tread
T.O.P. Top of Plate
TYP Typical
UON Unless Otherwise Noted
WH Water Heater
W.T. Water

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Owner

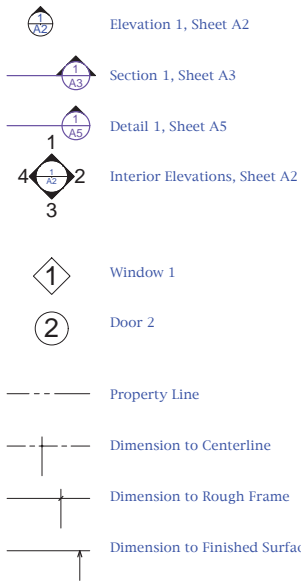
Bettie Spring, Leslie Spring, and
Geoffrey Gainer
29 Liberty Street
San Francisco, CA 94110
(415) 206-9961

Architect

Geoffrey S. Gainer
Actual-Size Architecture
29 Liberty Street
San Francisco, CA 94110
(415) 643-3366

Engineer

Michael Hicks, PE
Fulcrum Structural Engineering
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San Francisco, CA 94107
(415) 543-0161



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A0 Site
A1.1 Existing Plans: G, I
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A2.1 East Elevation
A2.2 West Elevation
A2.3 Sect'n, Rear Elev'n
A9 Photos

Pre-Application Findings:

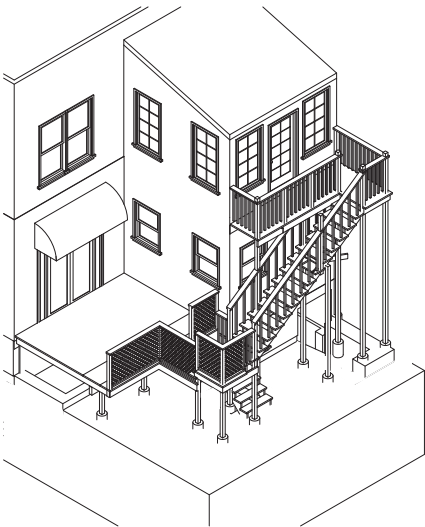
TO: Tom Le, DBI, and Lt. Gerald Zari, SFD
RE: Pre-Application Meeting Findings, 29 Liberty St Back Stair

Thanks for the informative meeting this morning. The following summarizes the findings from our discussion:

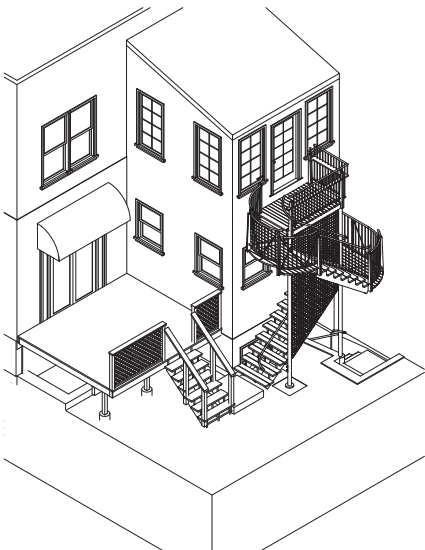
- The stair serves only one unit within the R-2 occupancy. Would a maximum 7-3/4" riser, and a minimum 10" tread be allowed? (SFBC Sec. 009.3 Exception 4)
Finding: 7-3/4" riser and 10" tread are allowed since the stair serves only one unit in the building.
- Would winders be allowed? (SFBC Sec. 1009.3.1)
Finding: Winders are allowed since the stair is considered within a unit.
- The stair replaces an existing stair. Does the maximum 8" riser, minimum 9" tread of Chapter 34 apply? (SFBC Sec. 3411.3)
Finding: An 8" riser/ 9" tread is not allowed. Section 3411 is interpreted as applying to repairs only.
- If Chapter 34 applies, would the non-combustible / solid wood riser and tread requirement for exterior stairs apply? (SFBC Sec. 3411.5)
Finding: Chapter 34 does not apply. Section 1009.3.3, Exception 1 applies since the existing unit is not accessible. The 4" sphere rule applies to the spaces where the risers would be.
- The existing stair falls within required open space. The rebuilt stair, though in the same location, would be to the minimum dimensions allowable by building code, will have a smaller footprint which would increase open space, and will have a smaller visual impact (due to a lighter guard rail and a fewer number of structural supports) than the original. Is this reduction in size allowable without a variance? (SF Planning Code Sec. 188a)
Finding: This question will be addressed by Planning.
- The existing stair is, and the new stair would remain, not visible from any part of any public street or public place. Would the proposed stair be required to be routed through Landmarks Preservation Advisory Board? (SF Planning Code Sec. 1005(c))
Finding: This question will be addressed by Planning.
- The existing stair is, and the new stair would have to remain, within 5' of the rear (south) property line. The frame of the stair would be steel, and the treads nominal 2" lumber. A firewall the height of the stair in this location would greatly increase the apparent mass in the open space. The adjacent property to the south is not allowed to build further into its rear setback. Would the proposed stair be required to have a fire wall on its south side? (SF Planning Code Sec. 134, SFBC Ch.7)
Finding: No fire walls will be required due to the improvements in life safety of the new design: by means of a more direct egress route, access to the street, and an increased distance from existing openings.

Thinks,
Geoff
Geoffrey Gainer, architect
(415) 643-3366

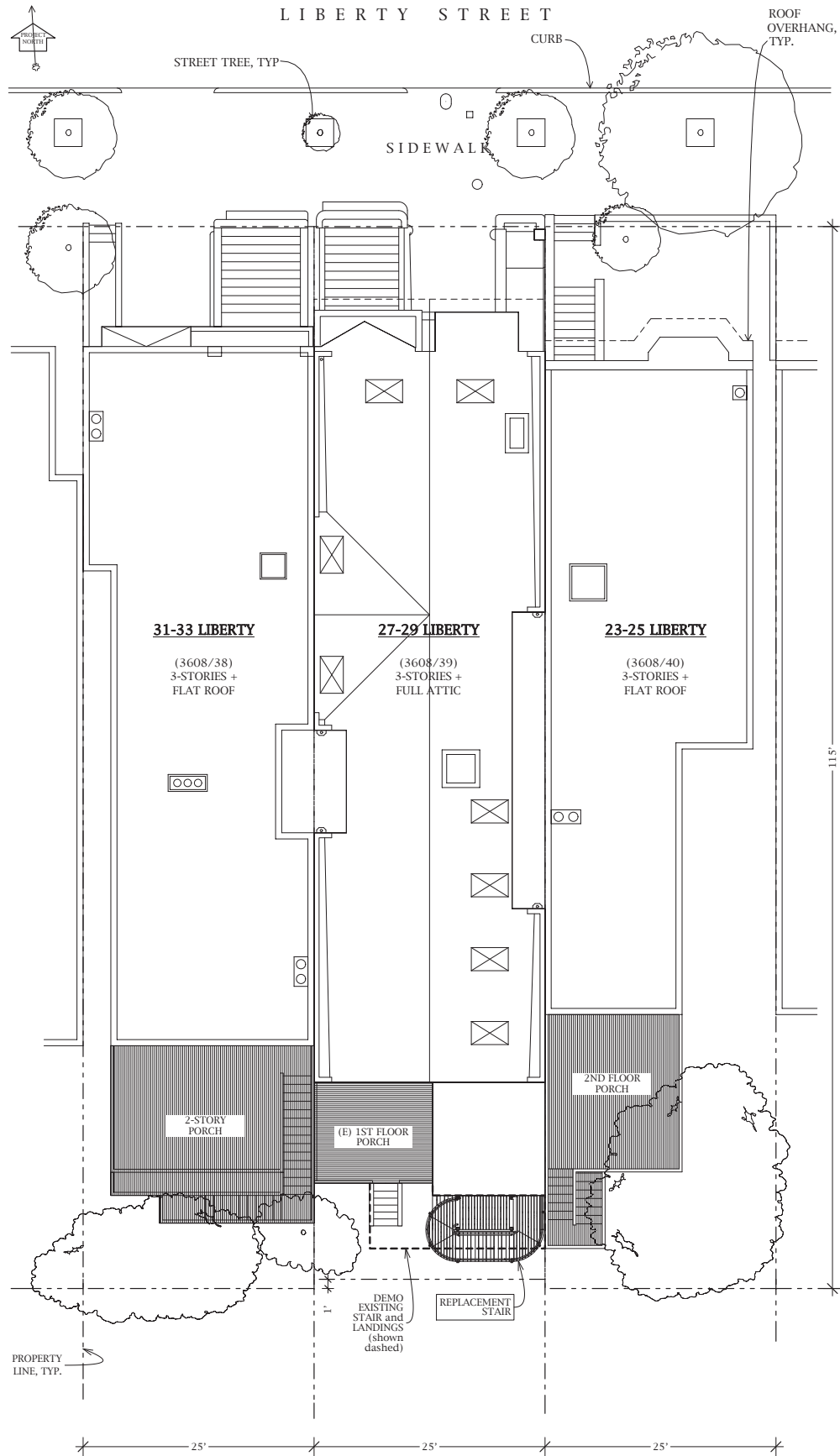
REVIEWED & ACCEPTED:
Thomas Le
THOMAS LE, PE
PLAN REVIEW SERVICES - D.B.I.
LT. G. Zari
1/22/09



1 Iso, Existing Stair fr SW



2 Iso, Proposed Stair fr SW



3 Site Plan
Scale: 1/8" = 1'-0"

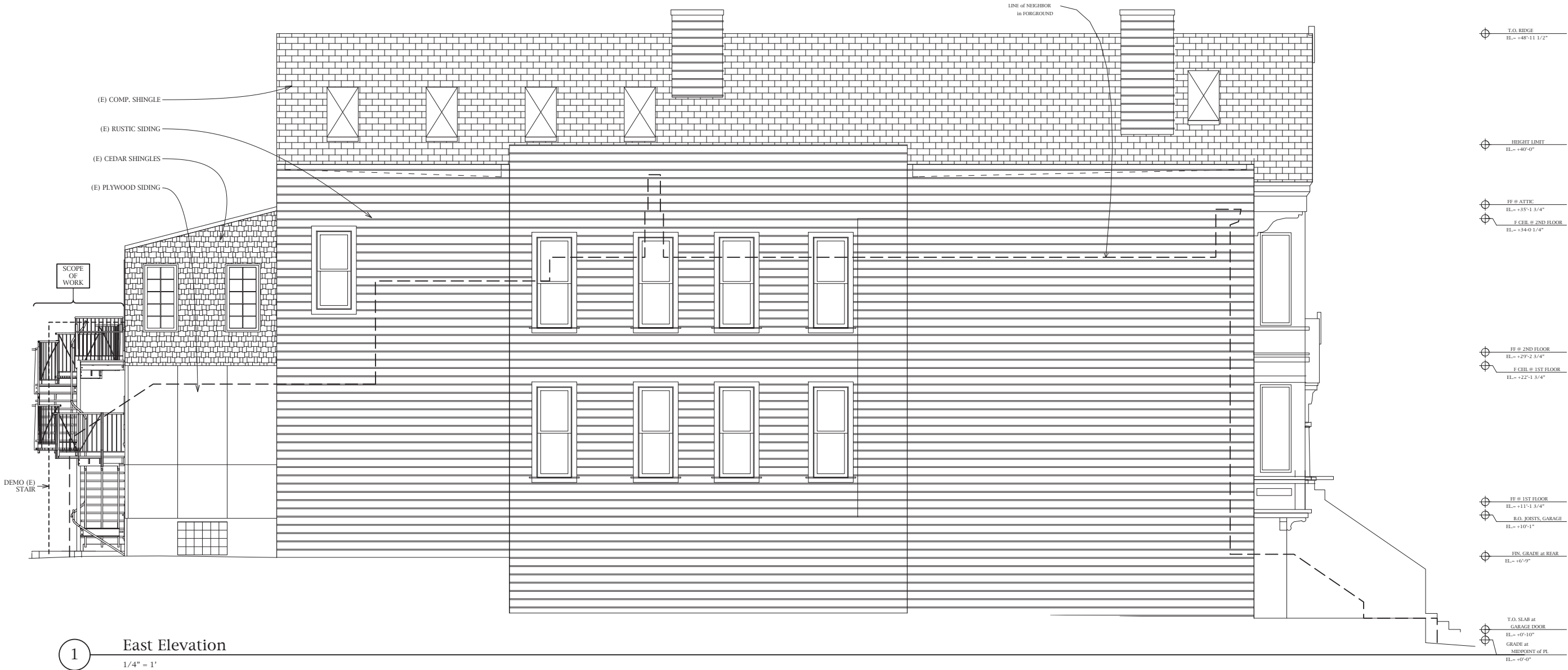
Project Initiated October 2005
REVISIONS:
9/10/10
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ARCHITECTURE
Geoffrey Scott Gainer, Architect
29 Liberty St San Francisco, CA 94110
geo@actual-size.com ph/fax 643-3366

Site

Exterior Stair Replacement
Spring Residence
29 Liberty St
San Francisco, CA 94110

A0
Site



1

East Elevation

1/4" = 1'

Project Initiated October 2005
REVISIONS:
9/10/10 PLANNING
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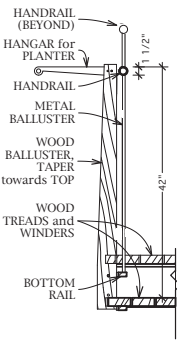
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Geoffrey Scott Gainer, Architect
29 Liberty St San Francisco, CA 94110
geo@actual-size.com ph/fax 643-3366

East Elevation

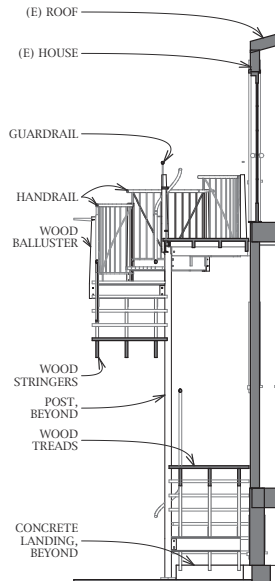
Exterior Stair Replacement
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A2.1
East Elevation

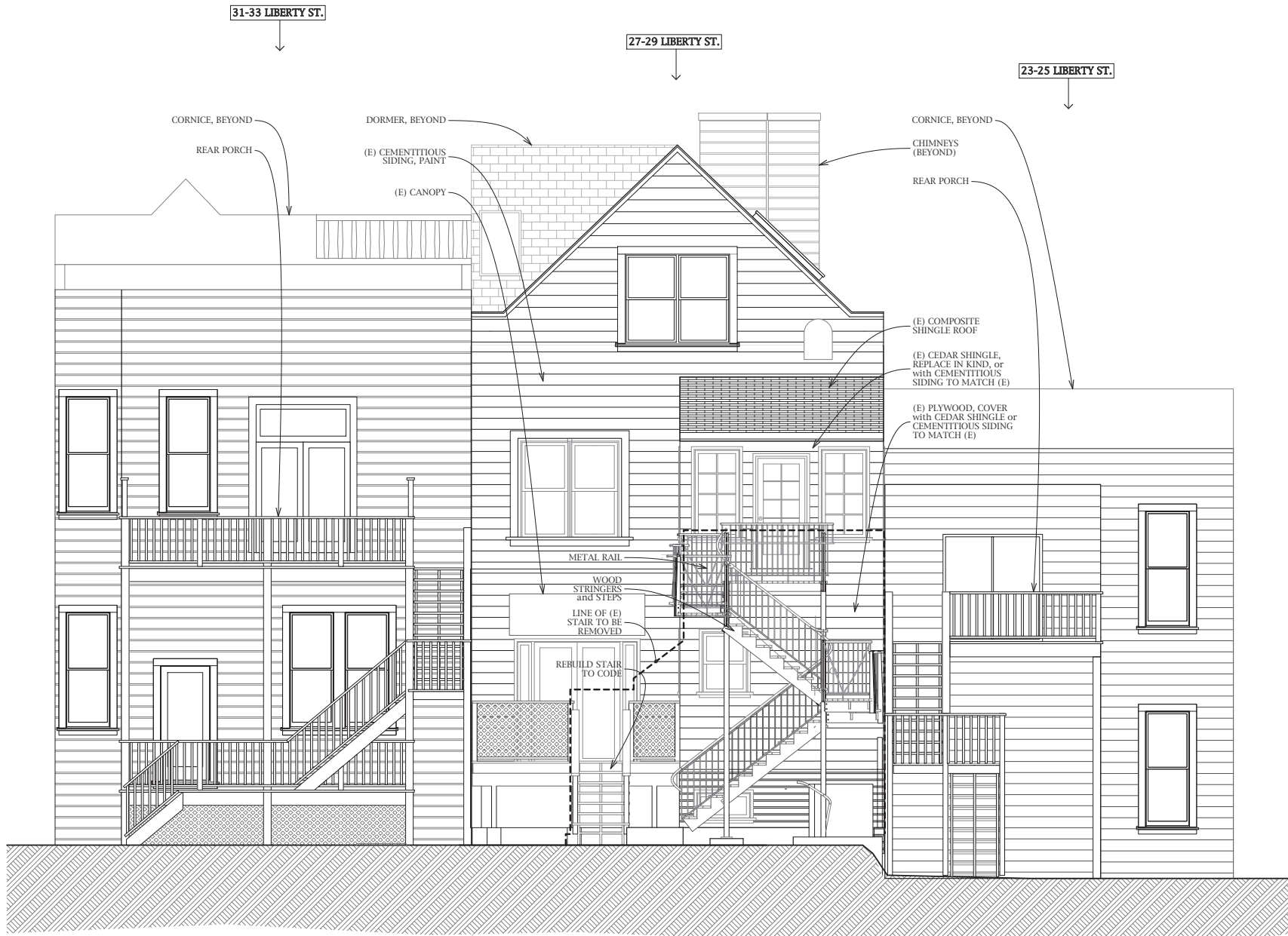




3 Handrail Detail
Scale: 3/4" = 1'-0"



2 Section thro' Stair
Scale: 1/4" = 1'-0"



1 South Elev'n with Neighbors
Scale: 1/4" = 1'-0"



Sect'n, Rear Elev'n