SAN FRANCISCO
**PLANNING DEPARTMENT**

**MEMO**

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# Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

SAN FRANCISCO
**PLANNING DEPARTMENT**
1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 22, 2012**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | | APPLICATION INFORMATION | |
|---|---|---|---|
| Project Address: | **601 Dolores Street** | Case No.: | **2011.0584V** |
| Cross Street(s): | **SE corner at 19th St.** | Building Permit: | **TBD** |
| Block /Lot No.: | **3598/060** | Applicant/Agent: | **Valerie Veronin** |
| Zoning District(s): | **RH-3 / 40-X** | Telephone: | **(650) 704.4396** |
| Area Plan: | **n/a** | E-Mail: | **vveronin@sbcglobal.net** |

## PROJECT DESCRIPTION

The proposal is to add a roof deck to the southern portion of the roof. The roof deck would consist of a new elevator/stair penthouse, roof deck guardrail and windscreen, mechanical room, and mechanical vents. The roof deck would be set back from the edges of the roof.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 42 feet. The proposed roof deck and penthouse addition would extend to within 12'-6" of the rear property line, encroaching 29'-6" into the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

**PER SECTION 151 OF THE PLANNING CODE** one off-street parking space is required for every six classrooms. The project would not provide any off-street parking where two spaces are required; therefore, the project requires a variance from the parking requirement of the Planning Code.

**PER SECTION 188 OF THE PLANNING CODE** a noncomplying structure cannot be enlarged in a manner that would increase the degree of noncompliance. The rear portion of the building is legal noncomplying because it already extends to within 7'-6" of the rear property line, encroaching 34'-6" into the required rear yard. Therefore, the addition of a roof deck and penthouse to the noncomplying portion of the building requires a variance from Section 188 of the Planning Code.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0584V.pdf

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**
Planner: **Michael Smith** Telephone: **(415) 558-6322** E-Mail: **michael.e.smith@sfgov.org**

中文詢問請電: **558.6378**
Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

**VARIANCE HEARING INFORMATION**

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

**BUILDING PERMIT APPLICATION INFORMATION**

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On DATE, the Department issued the required Section 311/312 notification for this project (expires DATE) <OR> The mailing of such notification will be performed separately.**

**BOARD OF APPEALS**

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

**ABOUT THIS NOTICE**

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

# CDS DOLORES PARK MIDDLE SCHOOL

## CONDITIONAL USE - RECORD SET
## JULY 20, 2012

## ABBREVIATIONS

| | | |
|---|---|---|
| & | & | AND |
| | < | ANGLE |
| | @ | AT |
| A | A.B. | ANCHOR BOLT |
| | ABV. | ABOVE |
| | ACOUS. | ACOUSTICAL |
| | A.D. | AREA DRAIN |
| | ADJ. | ADJUSTABLE |
| | A.F.F. | ABOVE FINISH FLOOR |
| | AGGR. | AGGREGATE |
| | ALUM. | ALUMINUM |
| | ALT. | ALTERNATE |
| | APPROX. | APPROXIMATE |
| | ARCH. | ARCHITECT |
| | ARCH'L. | ARCHITECTURAL |
| | ASPH. | ASPHALT |
| B | B. | BATHROOM |
| | BD. | BOARD |
| | B.H.C.S. | BUTTON HEAD CAP SCREW |
| | BITUM. | BITUMINOUS |
| | BLDG. | BUILDING |
| | BLK. | BLOCKING |
| | BM. | BEAM |
| | B.O. | BOTTOM OF |
| | BR. | BEDROOM |
| | BTM. | BOTTOM |
| | B.U. | BUILT UP |
| C | CAB. | CABINET |
| | CARP. | CARPET |
| | C.B. | CATCH BASIN |
| | CHAN. | CHANNEL |
| | C.H. | CEILING HEIGHT |
| | C.I. | CAST IRON |
| | C.J. | CONTROL JOINT |
| | CL. | CENTER LINE |
| | C.G. | CORNER GUARD |
| | CLG. | CEILING |
| | CLKG. | CAULKING |
| | CLO. | CLOSET |
| | C.O. | CLEAN OUT |
| | CLR. | CLEAR |
| | COL. | COLUMN |
| | COMP. | COMPOSITION |
| | CONC. | CONCRETE |
| | CONN. | CONNECTION |
| | CONSTR. | CONSTRUCTION |
| | CONT. | CONTINUOUS |
| | C.M.U. | CONCRETE MASONRY UNIT |
| | C.T. | CERAMIC TILE |
| | CTR. | CENTER |
| | CTSK. | COUNTERSINK |
| | C.W. | COLD WATER |
| D | DBL. | DOUBLE |
| | DEPT. | DEPARTMENT |
| | DET. | DETAIL |
| | D.F. | DRINKING FOUNTAIN |
| | Ø | DIAMETER |
| | DIA. | DIAMETER |
| | DIM. | DIMENSION |
| | DISP. | DISPENSER |
| | DN. | DOWN |
| | D.O. | DOOR OPENING |
| | DR. | DOOR |
| | DS. | DOWNSPOUT |
| | DWG(S). | DRAWING(S) |
| | DWR. | DRAWER |
| E | (E) | EXISTING |
| | E. | EAST |
| | EA. | EACH |
| | E.F. | EXHAUST FAN |
| | E.J. | EXPANSION JOINT |
| | EL. | ELEVATION |
| | ELEC. | ELECTRICAL |
| | ELEV. | ELEVATOR |
| | E.ER. | EMERGENCY |
| | ENG. | ENGINEER |
| | EQ. | EQUAL |
| | EQPT. | EQUIPMENT |
| | E.S. | EACH SIDE |
| | EXT. | EXTERIOR |
| F | F.A. | FIRE ALARM |
| | F.A.U. | FORCED AIR UNIT |
| | F.B. | FLAT BAR |
| | F.D. | FLOOR DRAIN |
| | F.E. | FIRE EXTENGUISHER |
| | F.E.C. | FIRE EXTINGUISHER CABINET |
| | F.C.O. | FLOOR CLEAN OUT |
| | F.F. | FINISH FLOOR |
| | F.H.C.S. | FLAT HEAD CAP SCREW |
| | F.H.M.S. | FLAT HEAD MACHINE SCREW |
| | F.H.W.S. | FLAT HEAD WOOD SCREW |
| | FIN. | FINISH |
| | FIXT. | FIXTURE |
| | FLR. | FLOOR |
| | FLASH. | FLASHING |
| | FLUOR. | FLUORESCENT |
| | FND. | FOUNDATION |
| | F.O. | FACE OF |
| | F.O.C. | FACE OF CONCRETE |
| | F.O.F. | FACE OF FINISH |
| | F.O.M. | FACE OF MASONRY |
| | F.O.S. | FACE OF STUDS |
| | FPRF. | FIREPROOF |
| | F.S. | FIRE SPRINKLER |
| | F.T. | FIRE TREATED |
| | FT. | FOOT OR FEET |
| | FTG. | FOOTING |
| | FR. | FRAME |
| G | GA. | GAUGE |
| | GALV. | GALVANIZED |
| | G.B. | GRAB BAR |
| | G.F.R.C. | GLASS FIBER REINFORCED CONCRETE |
| | GL. | GLASS |
| | GND. | GROUND |
| | GR. | GRADE |
| | G.S.M. | GALVANIZED SHEET METAL |
| | GYP. BD. | GYPSUM BOARD |
| H | H.B. | HOSE BIB |
| | H.C. | HOLLOW CORE |
| | H.D.G. | HOT-DIPPED GALVANIZED |
| | HDR. | HEADER |
| | HDWD. | HARDWOOD |
| | HGT. | HEIGHT |
| | H.H.B. | HEX HEAD BOLT |
| | H.H.C.S. | HEX HEAD CAP SCREW |
| | H.M. | HOLLOW METAL |
| | HORIZ. | HORIZONTAL |
| | H.R. | HAND RAIL |
| | HR. | HOUR |
| | H.W. | HOT WATER |
| I | I.D. | INSIDE DIAMETER |
| | INSUL. | INSULATION |
| | INT. | INTERIOR |
| | INV. | INVERT |
| J | JAN. | JANITOR |
| | JT. | JOINT |
| K | KIT. | KITCHEN |
| L | LAM. | LAMINATE |
| | LAV. | LAVATORY |
| | LBS. | POUNDS |
| | LKR. | LOCKER |
| | LOC. | LOCATION |
| | LTG. | LIGHTING |
| M | MACH. | MACHINE |
| | MAG. | MAGNATIC |
| | MATL. | MATERIAL |
| | MAX. | MAXIMUM |
| | M.B. | MACHINE BOLT |
| | M.C. | MEDICINE CABINET |
| | M.D.F. | MEDIUM DENSITY FIBERBOARD |
| | M.D.O. | MEDIUM DENSITY OVERLAY (BOARD) |
| | MECH. | MECHANICAL |
| | MEMB. | MEMBRANE |
| | MFR. | MANUFACTURER |
| | MH. | MANHOLE |
| | MIN. | MINIMUM / MINUTE |
| | MISC. | MISCELLANEOUS |
| | M.P. | MEASURING POINT |
| | MTD. | MOUNTED |
| | MTL. | METAL |
| | MUL. | MULLION |
| N | (N) | NEW |
| | N. | NORTH |
| | NAT. | NATURAL |
| | N.I.C. | NOT IN CONTRACT |
| | NO. | NUMBER |
| | NOM. | NOMINAL |
| | N.T.S. | NOT TO SCALE |
| O | OBS. | OBSCURE |
| | O.C. | ON CENTER |
| | O.D. | OUTSIDE DIAMETER (DIM.) |
| | OFF. | OFFICE |
| | OPER. | OPERABLE |
| | OPNG. | OPENING |
| | OPP. | OPPOSITE |
| | OPP. HD. | OPPOSITE HAND |
| P | PAV. | PAVING |
| | PERF. | PERFORATED |
| | PERP. | PERPENDICULAR |
| | PL. | PLATE |
| | P.L. | PROPERTY LINE |
| | P.LAM. | PLASTIC LAMINATE |
| | PLAS. | PLASTER |
| | PLYWD. | PLYWOOD |
| | PR. | PAIR |
| | PROP. | PROPERTY |
| | PT. | PAINT |
| | P.T. | PRESSURE TREATED |
| | PTD. | PAINTED |
| | P.V.C. | POLY VINYL CLORIDE |
| Q | Q.T. | QUARRY TILE |
| | QTY. | QUANTITY |
| R | R. | RISER |
| | RAD. | RADIUS |
| | R.C. | RESILIENT CHANNEL |
| | R.C.P. | REFLECTED CEILING PLAN |
| | R.D. | ROOF DRAIN |
| | REF. | REFERENCE |
| | REFR. | REFRIGERATOR |
| | RGTR. | REGISTER |
| | REINF. | REINFORCED |
| | REQD. | REQUIRED |
| | REQMT.(S) | REQUIREMENT(S) |
| | RESIL. | RESILIENT |
| | REV. | REVISION |
| | R.H.W.S. | ROUND HEAD WOOD SCREW |
| | R.H.M.S. | ROUND HEAD MACHINE SCREW |
| | RM. | ROOM |
| | R.O. | ROUGH OPENING |
| | RWD. | REDWOOD |
| | R.W.L. | RAIN WATER LEADER |
| S | S. | SOUTH |
| | S.A.D. | SEE ARCHITECTURAL DRAWINGS |
| | S.C. | SOLID CORE |
| | SCHED. | SCHEDULE |
| | S.E.D. | SEE ELECTRICAL DWGS. |
| | SECT. | SECTION |
| | S.H.C.S. | SOCKET HEAD CAP SCREW |
| | SHT. | SHEET |
| | SHTG. | SHEATHING |
| | SIM. | SIMILAR |
| | S.J. | SEISMIC JOINT |
| | S.L.D. | SEE LANDSCAPE DWGS. |
| | S.M.D. | SEE MECHANICAL DWGS. |
| | SPEC. | SPECIFICATION |
| | SQ. | SQUARE |
| | S.S.D. | SEE STRUCTURAL DWGS. |
| | S.S. | STAINLESS STEEL |
| | STA. | STATION |
| | STL. | STEEL |
| | STD. | STANDARD |
| | STOR. | STORAGE |
| | STRUC. | STRUCTURAL |
| | SUSP. | SUSPENDED |
| T | T. | TREAD |
| | TEL. | TELEPHONE |
| | TEMP. | TEMPERED |
| | T. & G. | TONGUE AND GROOVE |
| | THK. | THICK |
| | THRU. | THROUGH |
| | TN. | TOENAIL |
| | T.O. | TOP OF |
| | T.O.P. | TOP OF PLATE |
| | T.O.S. | TOP OF SLAB / SHEATHING |
| | T.V. | TELEVISION |
| | T.O.W. | TOP OF WALL |
| | TYP. | TYPICAL |
| U | UNF. | UNFINISHED |
| | U.O.N. | UNLESS OTHERWISE NOTED |
| | UR. | URINAL |
| V | VAR. | VARIES |
| | V.C.T. | VINYL COMPOSITION TILE |
| | VER. | VERIFY |
| | VERT. | VERTICAL |
| | V.G.D.F. | VERTICAL GRAIN DOUGLAS FIR |
| | V.I.F. | VERIFY IN FIELD |
| W | W. | WEST |
| | W/ | WITH |
| | W.C. | WATER CLOSET |
| | WD. | WOOD |
| | W/D | WASHER / DRYER |
| | WDW. | WINDOW |
| | W.G. | WIRE GLASS |
| | W.H. | WATER HEATER |
| | W.M. | WALL MOUNT |
| | W.O. | WHERE OCCURS |
| | W/O | WITHOUT |
| | WP. | WATER PROOF(ING) |
| | W.R. | WEATHER RESISTANT |
| | WSCT. | WAINSCOT |
| | WT. | WEIGHT |
| | W.W.F. | WIRE WELDED FABRIC |
| | W.W.M. | WOVEN WIRE MESH |

## PROJECT SUMMARY

| | | | |
|---|---|---|---|
| **DESCRIPTION:** | THIS PROJECT CONSISTS OF THE CONVERSION OF AN EXISTING CHURCH STRUCTURE, CURRENTLY USED AS A DWELLING, INTO SCHOOL USE.<br><br>THE BUILDING WILL BE OCCUPIED BY AN EXSITING K-8TH GRADE SCHOOL WITH NEARBY CAMPUS/FACILITIES. PROPOSED PROGRAM INCLUDES MIDDLE SCHOOL CLASSROOMS, ADMINISTRATION OFFICES AND A MULITPURPOSE SPACE. | | |
| **PLANNING DATA:** | | | |
| PROJECT ADDRESS | 601 DOLORES STREET, SAN FRANCISCO, CA 94110 | | |
| BLOCK AND LOT | 3598 / 060 | | |
| ZONING DISTRICT | RH-3, RESIDENTIAL - HOUSE, THREE FAMILY | | |
| BULK & HEIGHT DISTRICT | 40-X | | |
| PLANNING DISTRICT | 8 | | |
| SPECIAL USE DISTRICT | | | |
| PLANNING QUADRANT | SOUTHWEST | | |
| LANDMARK STATUS | NONE | | |
| LOT AREA | 9,690 SQ. FT. | | |
| **SETBACKS:** | **EXISTING** | **PROPOSED** | **REQ'D. / ALLOWABLE** |
| FRONT SETBACK | NONE | NO CHANGE | |
| REAR SET BACK | NONE | NO CHANGE | |
| SIDE YARD SETBACK | VARIES | NO CHANGE | |
| **BUILDING DATA:** | **EXISTING** | **PROPOSED** | **REQ'D. / ALLOWABLE** |
| CONSTRUCTION TYPE | TYPE III-B | TYPE III-A | |
| STORIES OF OCCUPANCY | 2 | 3 | |
| BASEMENTS | NONE | NONE | |
| FLOOR AREA | 17,633 SQ. FT. | 16,123 SQ. FT. | |
| BUILDING HEIGHT | VARIES | VARIES | - |
| BUILDING USE | SINGLE FAMILY DWELLING | EDUCATIONAL | |
| OCCUPANCY GROUP | R-1 | E | |
| FIRE SPRINKLERS | NO | YES | |
| FIRE ALARM SYSTEM | NO | YES | |
| OFF-STREET PARKING SPACES | 3 | NONE | |
| NO. DWELLING UNITS | 1 | NONE | |

## BUILDING AREA CALCULATIONS

| FLOOR AREA: | EXISTING | PROPOSED |
|---|---|---|
| ROOF | 400 SQ. FT. | 0 SQ. FT. |
| THIRD FLOOR (PREVIOUS MEZZANINE) | - | 3,548 SQ. FT. |
| MEZZANINE | 2,477 SQ. FT. | - |
| 2ND FLOOR | 7,304 SQ. FT. | 6,379 SQ. FT. |
| 1ST FLOOR | 7,452 SQ. FT. | 6,196 SQ. FT. |
| | | |
| **TOTAL FLOOR AREA:** | 17,633 SQ. FT. | 16,123 SQ. FT. |

## APPLICABLE CODES

| | |
|---|---|
| **BUILDING CODES:** | 2010 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS |
| | 2010 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS |
| | 2010 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS |
| | 2010 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS |
| | 2010 CALIFORNIA ENERGY CODE |
| | 2010 CALIFORNIA FIRE CODE |
| | 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE |

## LOCATION MAP

## GENERAL NOTES

1. CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS AT THE SITE. BRING ANY INCONSISTENCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.

2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS IN WRITING PRIOR TO COMMENCEMENT OF WORK.

3. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.

4. COORDINATE EXACT LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS WITH ARCHITECT IN THE FIELD.

5. COORDINATE EXACT LOCATION OF MECHANICAL EQUIPMENT, DUCTS, GRILLES, REGISTERS, FLUES AND VENTS WITH ARCHITECTURAL DRAWINGS.

6. INSTALL ALL MATERIALS, EQUIPMENT AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER.

7. PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR: LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, HEATING EQUIPMENT, CASEWORK AND ALL OTHER ITEMS REQUIRING SUPPORT.

8. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING ON-SITE UTILITIES DURING WORK.

9. ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.

10. SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATIONS

## DRAWING INDEX


| | |
|---|---|
| **GENERAL** | |
| G1.01 | COVER SHEET/PROJECT DATA |
| G1.31 | EXISTING PLOT PLAN |
| G1.32 | EXISTING CONDITIONS / PHOTOS |
| G1.33 | EXISTING STREETSCAPE PHOTOS |
| G3.01 | EXISTING FLOOR AREA CALCULATIONS |
| G3.02 | PROPOSED FLOOR AREA CALCULATIONS |
| G3.11 | PROPOSED ROOF PLAN / PLANNING CODE ANALYSIS |
| G3.12 | PROPOSED BUILDING SECTION / PLANNING CODE ANALYSIS |
| **ARCHITECTURAL** | |
| A1.01 | EXISTING SITE PLAN |
| A1.02 | PROPOSED SITE PLAN |
| A1.11 | EXISTING FIRST FLOOR PLAN |
| A1.12 | SECOND FLOOR PROTECTION PLAN |
| A1.13 | EXISTING MEZZANINE PLAN |
| A1.14 | EXISTING TOWER & ROOF PLAN |
| A1.21 | EXISTING NORTH ELEVATION (19TH ST.) |
| A1.22 | EXISTING WEST ELEVATION (DOLORES ST.) |
| A1.23 | EXISTING SOUTH ELEVATION |
| A1.24 | EXISTING EAST ELEVATION |
| A1.25 | EXISTING BUILDING SECTION |
| A2.01 | PROPOSED FIRST FLOOR PLAN |
| A2.02 | PROPOSED SECOND FLOOR PLAN |
| A2.03 | PROPOSED THIRD FLOOR PLAN |
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| A4.01 | PROPOSED NORTH ELEVATION (19TH ST.) |
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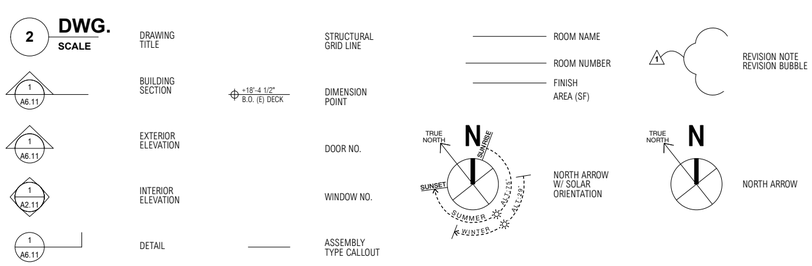
| A4.03 | PROPOSED SOUTH ELEVATION |
| A4.04 | PROPOSED EAST ELEVATION |
| A4.05 | PROPOSED ROOF ELEVATIONS |
| A4.06 | PROPOSED ROOF ELEVATIONS |
| A5.01 | PROPOSED BUILDING SECTION |
| A5.02 | PROPOSED BUILDING SECTION |


## SYMBOLS




## PROJECT DIRECTORY

**CLIENT:**
CHILDREN'S DAY SCHOOL
333 DOLORES STREET
SAN FRANCISCO, CA 94110-1006
T. (415) 861-5432
F. (415) 861-5419
CONTACT: BONNIE WHITLER

**PROJECT MANAGER/OWNER'S REP.:**
VALERIE VERONIN
1925 EATON AVENUE
SAN CARLOS, CA 94070
T. (650) 704-4396
C. (650) 704-4396
CONTACT: VALERIE VERONIN

**GENERAL CONTRACTOR:**
PLANT CONSTRUCTION CO., L.P.
300 NEWHALL STREET
SAN FRANCISCO, CA 94124
T. (415) 285-0500
F. (415) 550-1357
CONTACT: NATHAN DUNN

**HISTORIC CONSULTANT:**
VERPLANCK HISTORIC PRESERVATION CONSULTING
57 POST STREET, SUITE 512
SAN FRANCISCO, CA 94104
T. (415) 391-7486
F. (415) 391-7486
CONTACT: CHRIS VERPLANCK

**LAND SURVEYOR:**
MARTIN M. RON ASSOCIATES
859 HARRISON STREET
SAN FRANCISCO, CA 94107
T. (415) 543-4500 EXT. 15
F. (415) 543-6255
CONTACT: BEN RON

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ACOUSTIC ARTS AND ENGINEERING
2217 ROOSEVELT AVENUE, SUITE B
BERKELEY, CA 94703
T. (510) 845-2661
C. (415) 425-0943
CONTACT: TIM SCHMIDT

**THEATRICAL CONSULTANT:**
THE SHALLECK COLLABORATIVE, INC.
400 MONTGOMERY STREET, SUITE 500
SAN FRANCISCO, CA 94104
T. (415) 956-4100
F. (415) 840-0494
CONTACT: JEDD DE LUCIA
IAN HUNTER

**ARCHITECT:**
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SAN FRANCISCO, CA 94103
T. (415) 348-9650
F. (415) 348-9651
CONTACT: LAURA MESSIER
FRANK MERRITT

**STRUCTURAL ENGINEER:**
TIPPING MAR + ASSOCIATES
1906 SHATTUCK AVENUE
BERKELEY, CA 94704
T. (510) 549-1906 EXT. 238
F. (510) 549-1912
CONTACT: MARC STEYER
LEO PANIAN

**GEOTECHNICAL ENGINEER:**
ROLLO & RIDLEY
360 POST STREET, SUITE 505
SAN FRANCISCO, CA 94108
T. (415) 670-9123
F.
CONTACT: FRANK ROLLO

**TRAFFIC CONSULTANT:**
ATKINS GLOBAL
1200 2ND STREET
SACRAMENTO, CA 95814
T. (916) 325-1437
F. (916) 325-4810
CONTACT: BRAD LANE
JAMES SONGCO

**MEP/F, AV/IT/SECURITY ENGINEER:**
WSP FLACK + KURTZ (F+K)
405 HOWARD STREET, SUITE 500
SAN FRANCISCO, CA 94105
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F. (415) 433-5311
CONTACT: JAMES GRONEK
ADAM KYLE (BUILT ECOLOGY)

**CIVIL ENGINEER:**
SANDIS
1721 BROADWAY, SUITE 201
OAKLAND, CA 94612
T. (510) 873-8866
F. (510) 873-8868
CONTACT: HENRY PHILLIPS
BRIAN SHICK

**CODE & PERMIT CONSULTANT:**
A.R. SANCHEZ-COREA & ASSOCIATES, INC.
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F. (415) 333-8990
CONTACT: TONY SANCHEZ-COREA
PATRICK OTELLINI


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ISSUES & REVISIONS

SHEET
COVER SHEET / PROJECT DATA

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | N.T.S. |

HALF SIZE

G1.01

1 **EXISTING PLOT PLAN**
1/32" = 1'-0"

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ISSUES & REVISIONS

SHEET
**EXISTING PLOT PLAN**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/32" = 1'-0" |

HALF SIZE

**G1.31**

NORTH AERIAL

WEST AERIAL

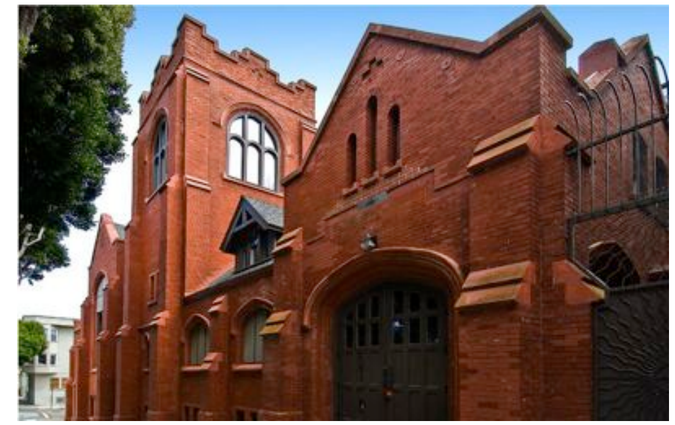
SOUTH AERIAL

## 2 AERIAL VIEWS

NTS

DOLORES STREET FACADE FROM NORTHWEST

CORNER OF DOLORES AND 19TH STREET



DOLORES STREET FACADE FROM SOUTHWEST

## 1 EXISTING CONDITIONS / PHOTOS

NTS

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EXISTING CONDITIONS / PHOTOS

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | N.T.S. |

HALF SIZE

G1.32

| | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|
| 15 UNITS | 2 UNITS | 2 UNITS | 3 UNITS | 3 UNITS | 4 UNITS | 4 UNITS | 6 UNITS | 2 UNITS | 2 UNITS | 41 UNITS | MIXED USED COMMERCIAL |
| 595-99 DOLORES ST. 3578-029 | 3694-96 19th ST. 3578-028 | 3674-76 19th ST. 3578-027 | 3670-72 19th ST. 3578-026 | 3664-68 19th ST. 3578-025A | 3660-62 19th ST. 3578-025 | 3644-50 19th ST. 3578-022 | 3638-40 19th ST. 3578-021 | 3634-36 19th ST. 3578-020 | 3628 19th ST. 3578-019 | 3628 19th ST. 3578-113-153 | 696-698 GUERRERO ST. 3578-015 |

## 4 19TH STREET - FACING NORTH (ACROSS THE STREET)

NTS

| | | | | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 6 UNITS | 4 UNITS | 2 UNITS | 2 UNITS | 2 UNITS | 3 UNITS | 3 UNITS | 2 UNITS | 3 UNITS | 3 UNITS | 12 UNITS | 3 UNITS | 4 UNITS | 5 UNITS | 4 UNITS | 3 UNITS | 601 DOLORES ST. 3598-060 | |
| 3601-3611 19th ST. 3598-001 | 3615 19th ST. 3598-074 | 3617-19 19th ST. 3598-074 | 3623-25 19th ST. 3598-125/126 | 3627-31 19th ST. 3598-102/103 | 3631A-33 19th ST. 3598-090/92 | 3635-37 19th ST. 3598-070 | 3639-41 19th ST. 3598-069A | 3643-45B 19th ST. 3598-099/101 | 3647-51 19th ST. 3598-067 | 3661 19th ST. 3598-075 | 3667-71 19th ST. 3598-065 | 3667-71 19th ST. 3598-064 | 3673-75B 19th ST. 3598-063 | 3677-79 19th ST. 3598-062 | 3681-85 19th ST. 3598-061 | | |

## 3 19TH STREET - NORTH ELEVATION

NTS

DOLORES PARK

## 2 DOLORES - FACING WEST (ACROSS THE STREET)

NTS

| | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| COMMMERCIAL | 3 UNITS | 6 UNITS | 3 UNITS | 6 UNITS | 4 UNITS | 4 UNITS | 2 UNITS | 6 UNITS | 3 UNITS | 2 UNITS | 6 UNITS | 3 UNITS | 3 UNITS | 3 UNITS | 6 UNITS | 6 UNITS | 6 UNITS | 601 DOLORES ST. 3598-060 | 3 UNITS | 1 UNIT | 4 UNITS | | |
| 501-03 DOLORES ST. 3598-046 | 505-09 DOLORES ST. 3598-045 | 513-17 DOLORES ST. 3598-044 | 519-23 DOLORES ST. 3598-043 | 527 DOLORES ST. 3598-042 | 531-35 DOLORES ST. 3598-041 | 537-41 DOLORES ST. 3598-040 | 543-45 DOLORES ST. 3598-084/85 | 547 DOLORES ST. 3598-038 | 553-57 DOLORES ST. 3598-107-109 | 561-63 DOLORES ST. 3598-036 | 565-69 DOLORES ST. 3598-035 | 571-73 DOLORES ST. 3598-34 | 575-77 DOLORES ST. 3598-033 | 581-83 DOLORES ST. 3598-032 | 585-87 DOLORES ST. 3598-031 | 589-91 DOLORES ST. 3598-031 | 595-99 DOLORES ST. 3598-030 | | 625-29 DOLORES ST. 3598-059 | 635 DOLORES ST. 3598-058 | 637-639 DOLORES ST. 3598-121-124 | | |

## 1 DOLORES - WEST ELEVATION

NTS


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ISSUES & REVISIONS

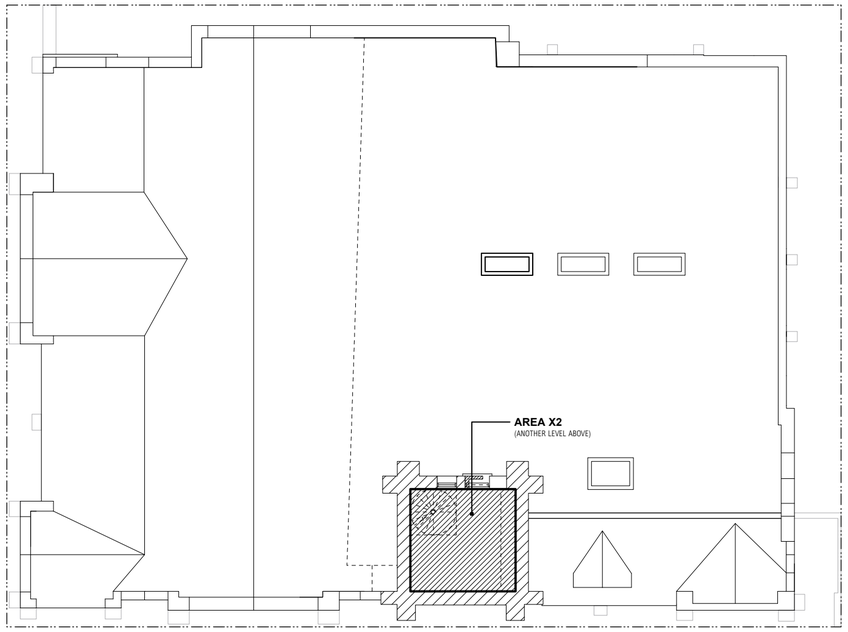
SHEET

EXISTING STREETSCAPE PHOTOS

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | N.T.S. |

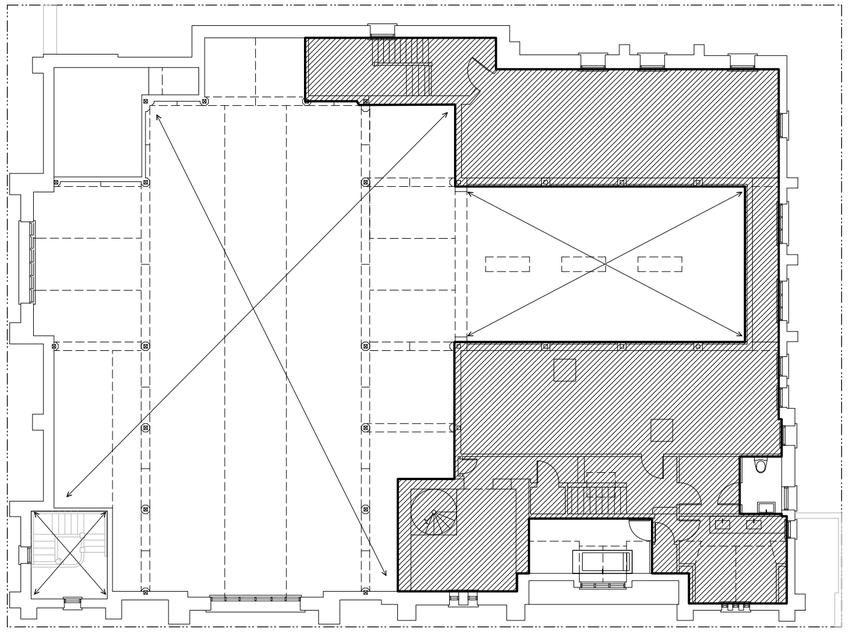
HALF SIZE

G1.33



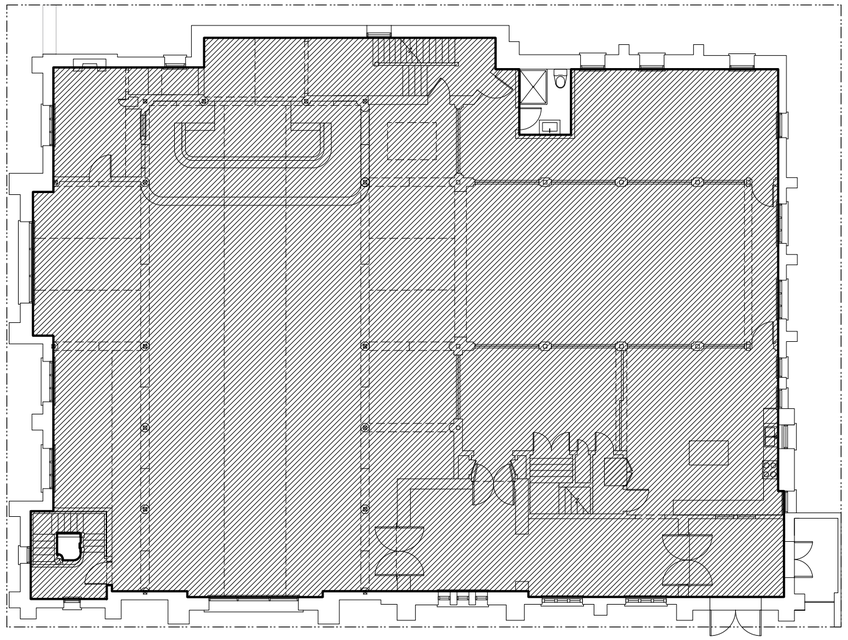

TOTAL FLOOR AREA:
200 SF X 2 = 400 SF

4 EXISTING ROOF PLAN - OCCUPIED FLOOR AREA



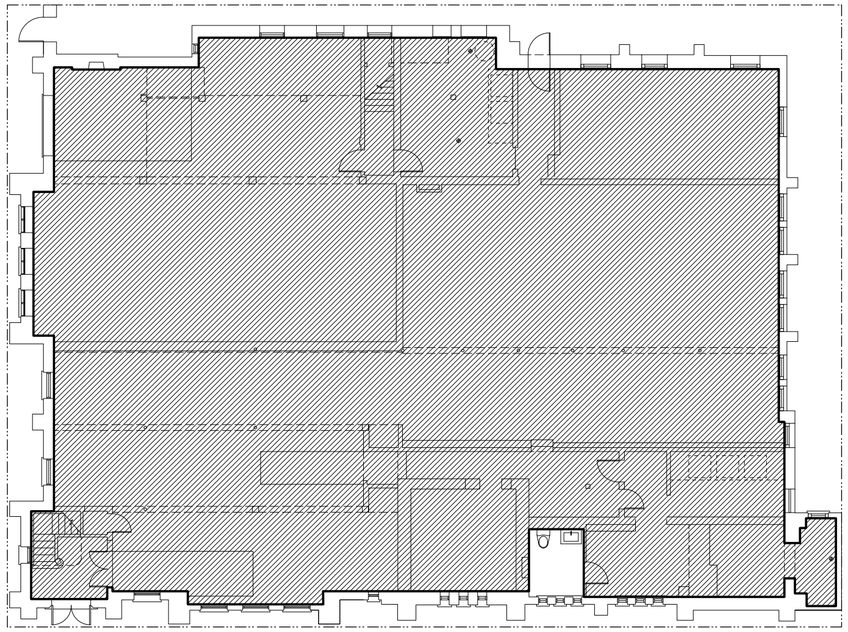
TOTAL FLOOR
AREA: 2,477 SF

3 EXISTING MEZZANINE FLOOR PLAN - OCCUPIED FLOOR AREA



TOTAL FLOOR
AREA: 7,304 SF

2 EXISTING SECOND FLOOR PLAN - OCCUPIED FLOOR AREA



TOTAL FLOOR
AREA: 7,452 SF

1 EXISTING FIRST FLOOR PLAN - OCCUPIED FLOOR AREA

## ALLOWABLE FLOOR AREA CALCULATIONS

| LOT AREA | F.A.R. | LOT AREA X F.A.R. = ALLOWABLE FLOOR AREA |
|---|---|---|
| 9,690 SF | 1.8 : 1 | 1.8 X 9,690 SF = 17,442 SF |
| **ALLOWABLE FLOOR AREA** | | **17,442 SF** |
| **w/ PREMIUM X 1.25** | | **21,802.5 SF** |

NOTE:
1. PER SEC. 125(a): 25% FLOOR AREA PREMIUM FOR CORNER LOT.

## FLOOR AREA (EXISTING):

| FLOOR | FLOOR AREA |
|---|---|
| 1 | 7,452 SF |
| 2 | 7,304 SF |
| MEZZ. | 2,477 SF |
| ROOF | 400 SF |
| **TOTAL** | **17,633 SF** |

## LEGEND:

AREA INCLUDED IN CALCULATIONS

AREA EXCLUDED FROM CALCULATIONS

0' 2' 4' 8' 16'

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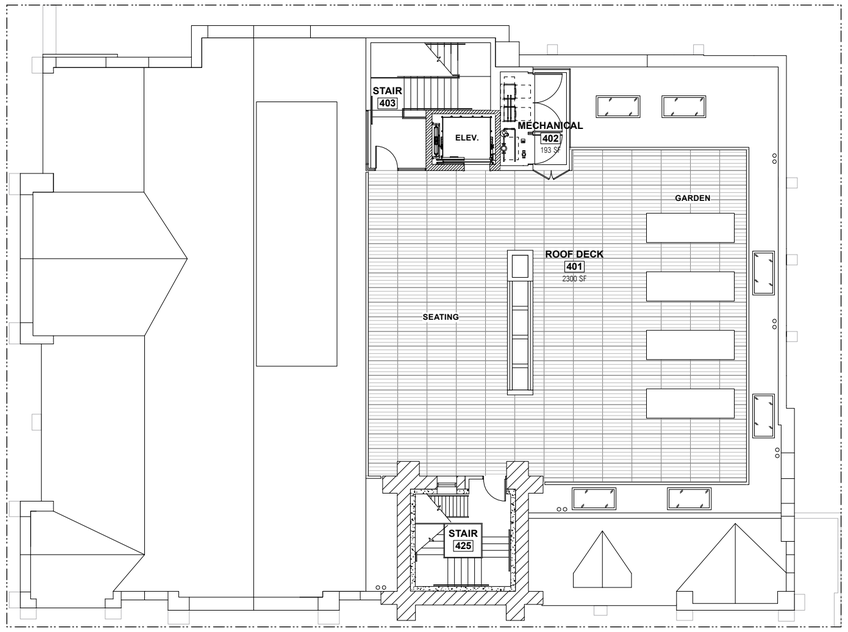
SHEET
EXISTING FLOOR AREA CALCULATIONS

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/8" = 1'-0" |

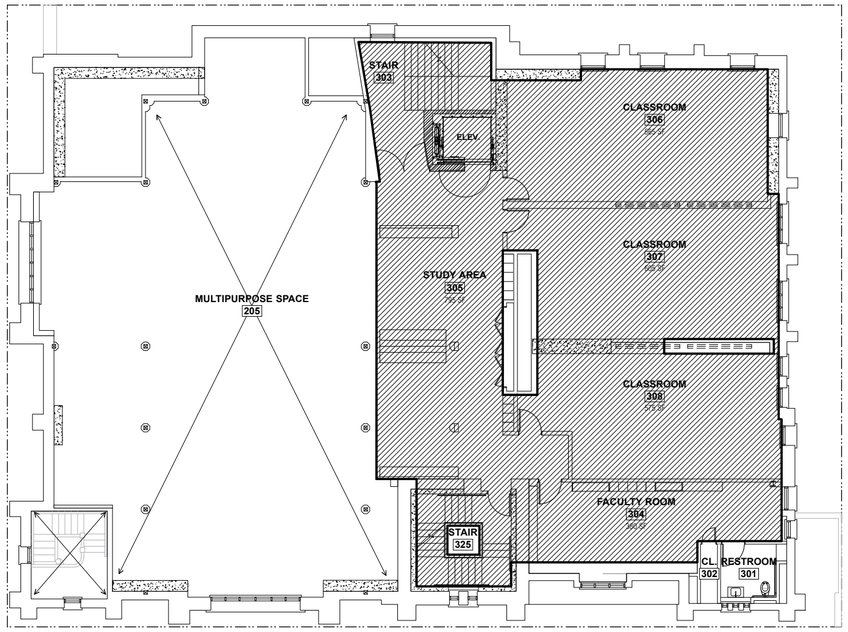
HALF SIZE

G3.01



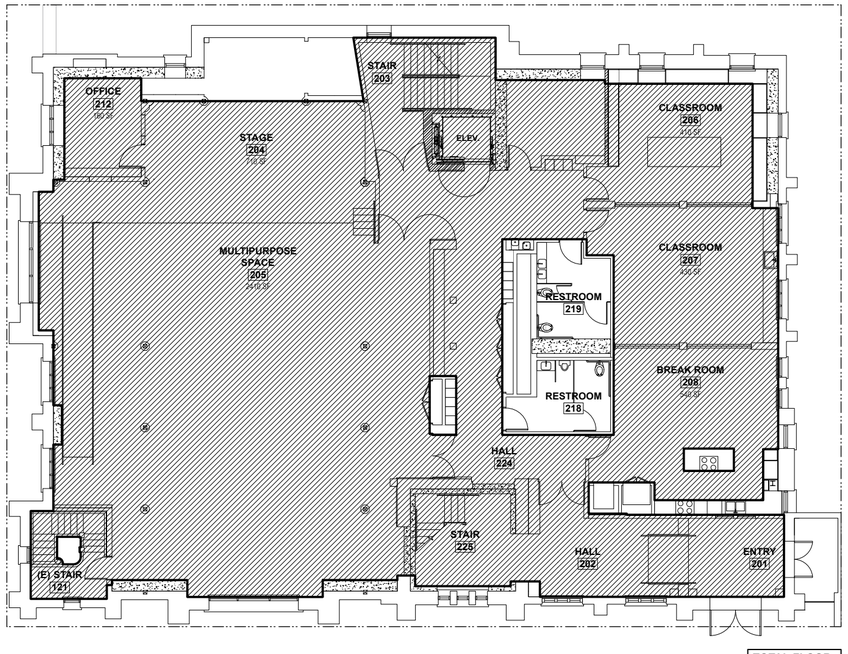

TOTAL FLOOR AREA: 0 SF

## 4 PROPOSED ROOF PLAN - OCCUPIED FLOOR AREA



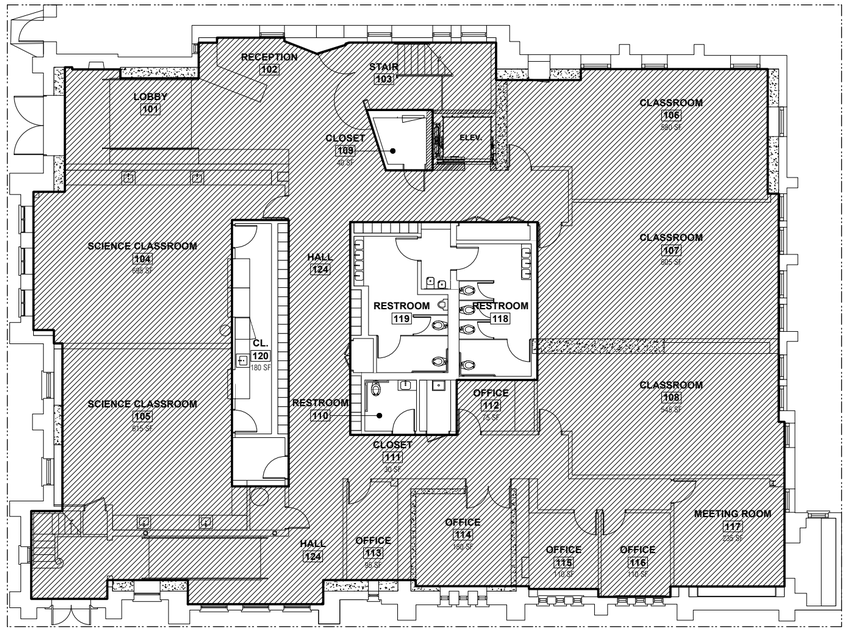

TOTAL FLOOR AREA: 3,548 SF

## 3 PROPOSED THIRD FLOOR PLAN - OCCUPIED FLOOR AREA




TOTAL FLOOR AREA: 6,379 SF

## 2 PROPOSED SECOND FLOOR PLAN - OCCUPIED FLOOR AREA




TOTAL FLOOR AREA: 6,196 SF

## 1 PROPOSED FIRST FLOOR PLAN - OCCUPIED FLOOR AREA

### ALLOWABLE FLOOR AREA CALCULATIONS

| LOT AREA | F.A.R. | LOT AREA X F.A.R. = ALLOWABLE FLOOR AREA |
|---|---|---|
| 9,690 SF | 1.8 : 1 | 1.8 X 9,690 SF = 17,442 SF |
| **ALLOWABLE FLOOR AREA** | | **17,442 SF** |
| **w/ PREMIUM X 1.25** | | **21,802.5 SF** |

NOTE:
1. PER SEC. 125(a): 25% FLOOR AREA PREMIUM FOR CORNER LOT.

### FLOOR AREA (PROPOSED):

| FLOOR | FLOOR AREA |
|---|---|
| 1 | 6,196 SF |
| 2 | 6,379 SF |
| 3 | 3,548 SF |
| ROOF | 0 SF |
| **TOTAL** | **16,123 SF** |

### LEGEND:

AREA INCLUDED IN CALCULATIONS

AREA EXCLUDED FROM CALCULATIONS

0' 2' 4' 8' 16'

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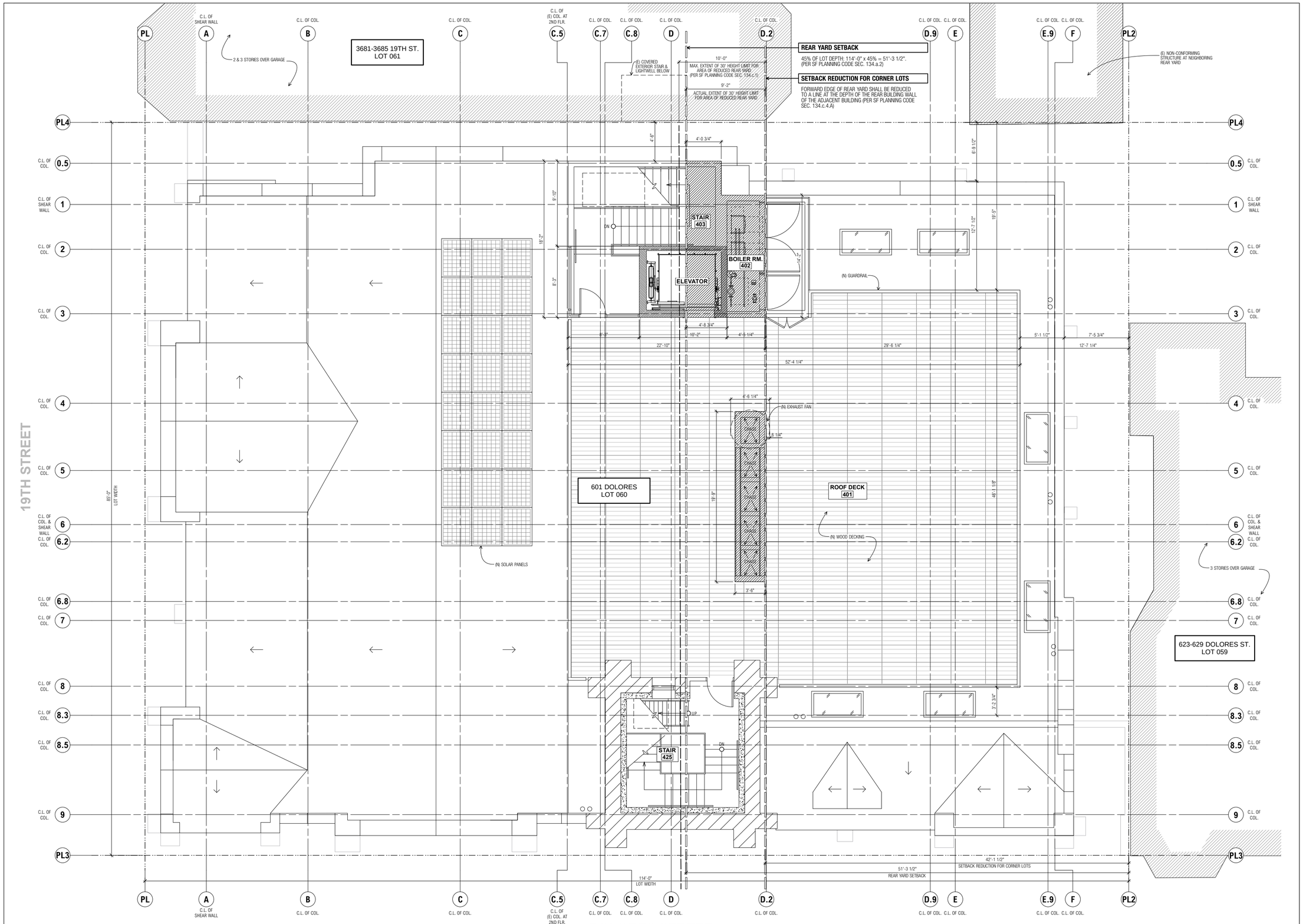
PROPOSED FLOOR AREA CALCULATIONS

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/8" = 1'-0" |

HALF SIZE

G3.02




## 1 PROPOSED ROOF PLAN / PLANNING CODE ANALYSIS

**Scale: 1/4" = 1'-0"**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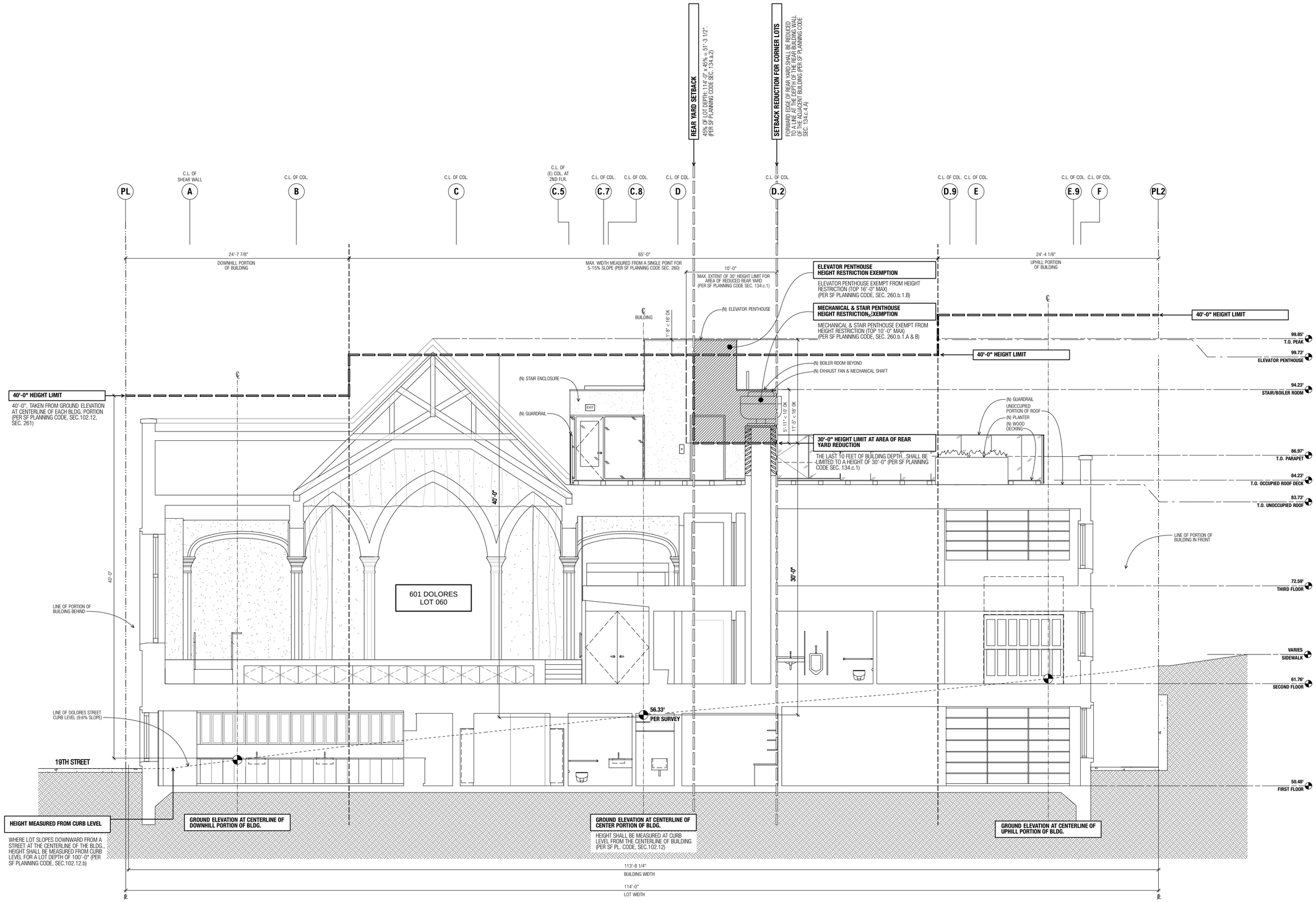
**PROPOSED ROOF PLAN / PLANNING CODE ANALYSIS**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**G3.11**




1 **PROPOSED BUILDING SECTION / PLANNING CODE ANALYSIS**

**Scale: 1/4" = 1'-0"**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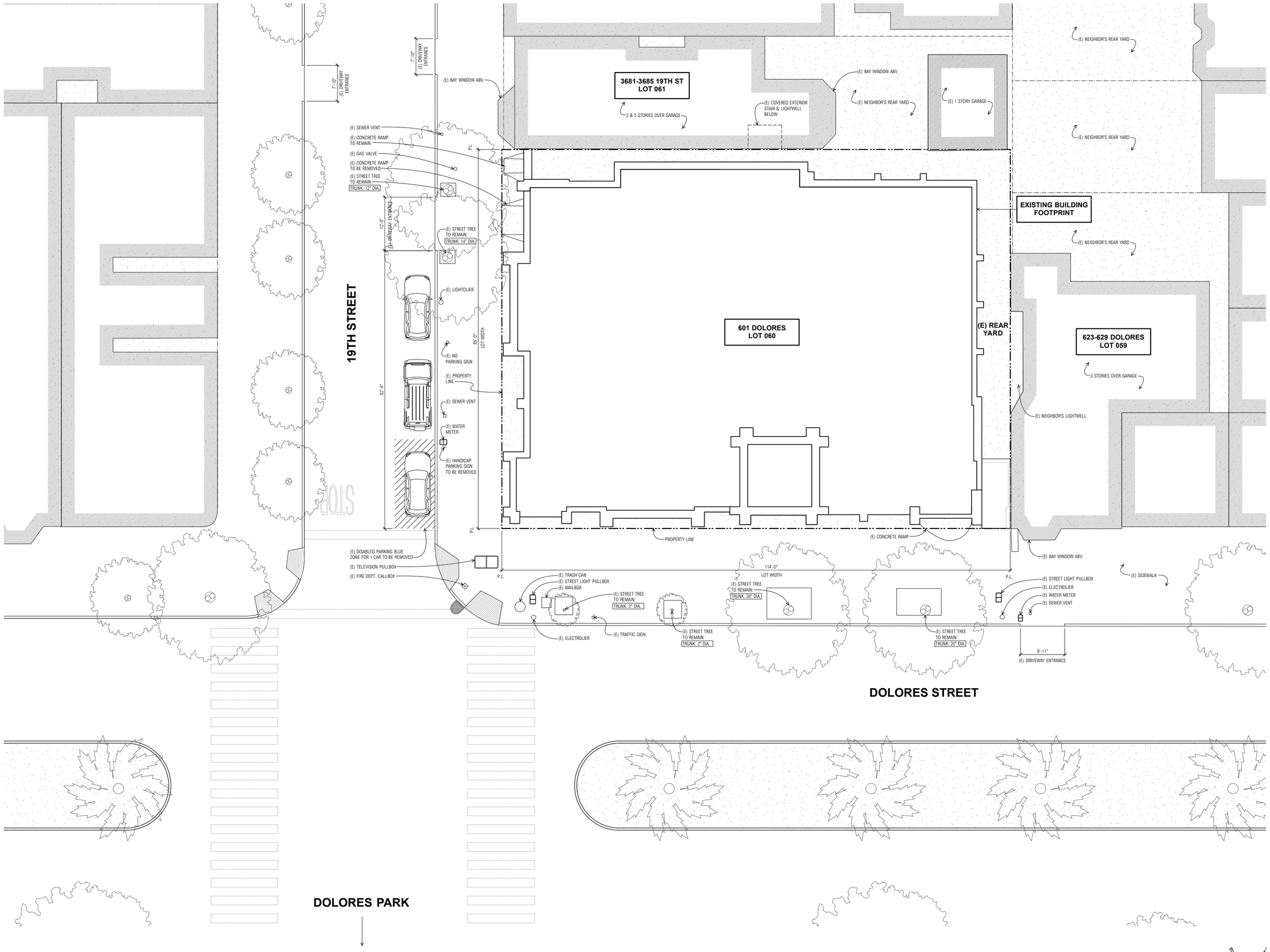
**PROPOSED BUILDING SECTION / PLANNING CODE ANALYSIS**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**G3.12**




1 **EXISTING SITE PLAN**
1/8" = 1'-0"

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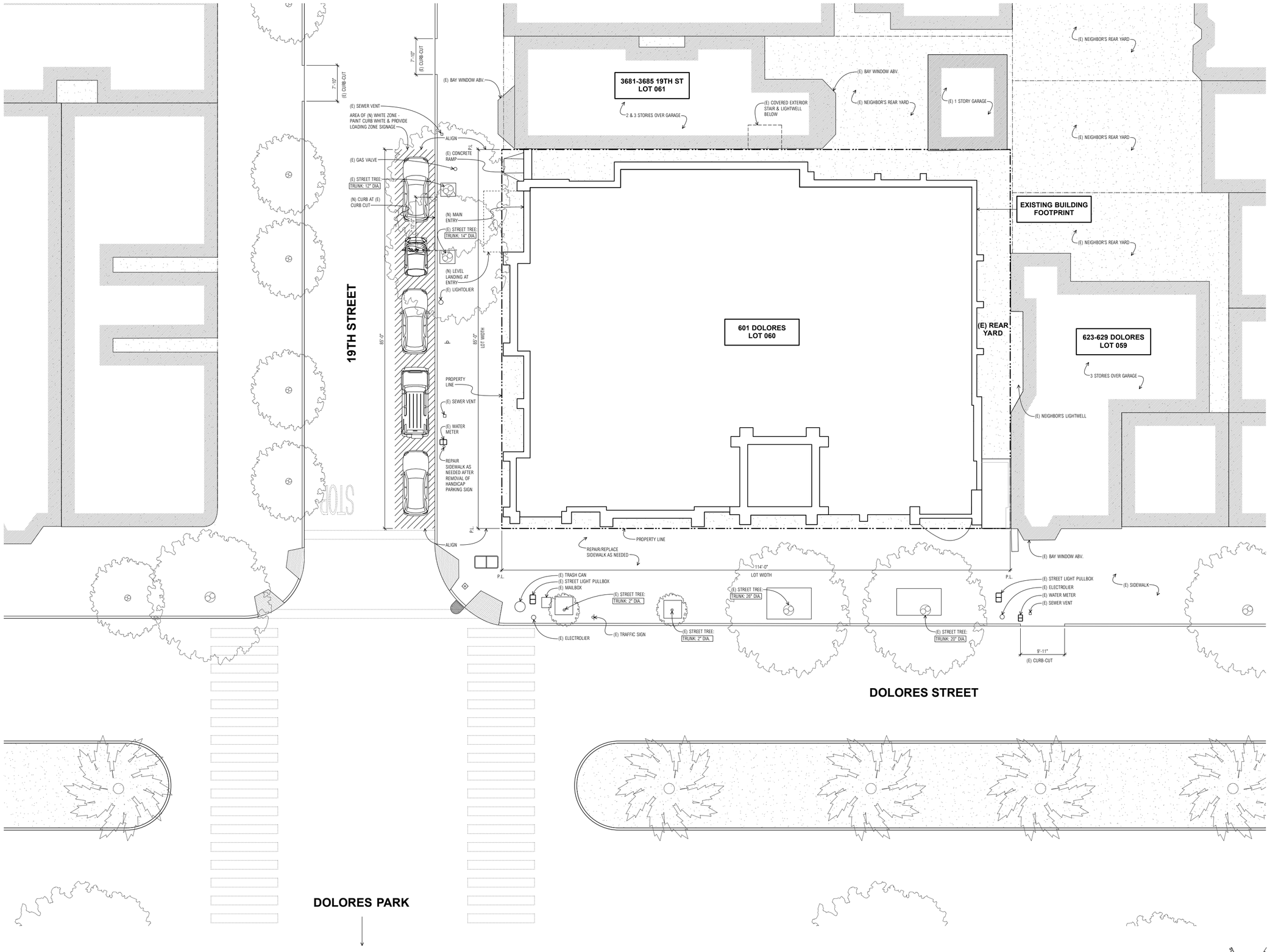
**EXISTING SITE PLAN**

DATE 7/20/12
PHASE DESIGN DEVELOPMENT
SCALE 1/8" = 1'-0"
HALF SIZE

**A1.01**




1 **PROPOSED SITE PLAN**
1"=10'-0"

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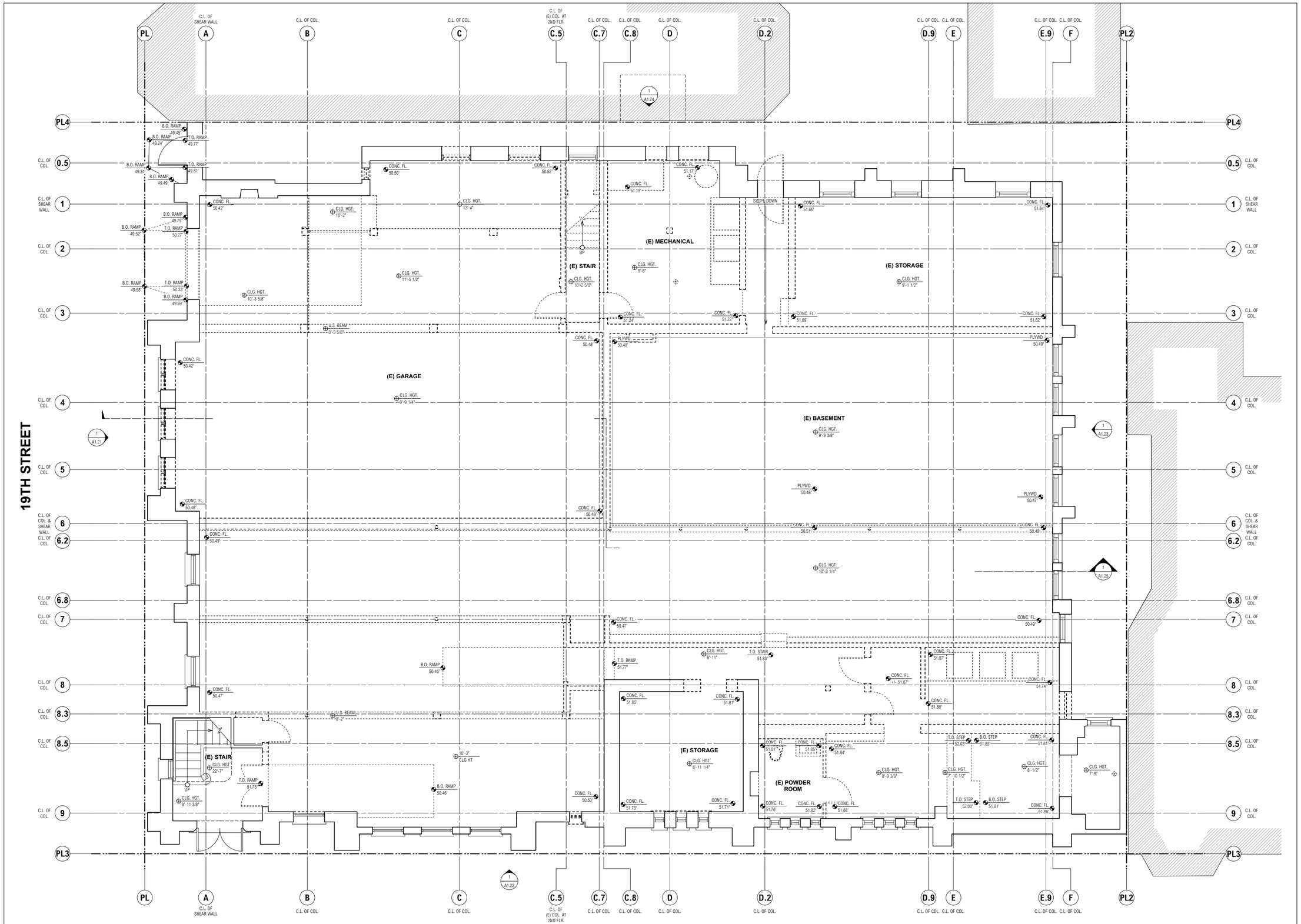
**PROPOSED SITE PLAN**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/8" = 1'-0" |

HALF SIZE

**A1.02**




1 **EXISTING FIRST FLOOR PLAN**

**Scale: 1/4" = 1'-0"**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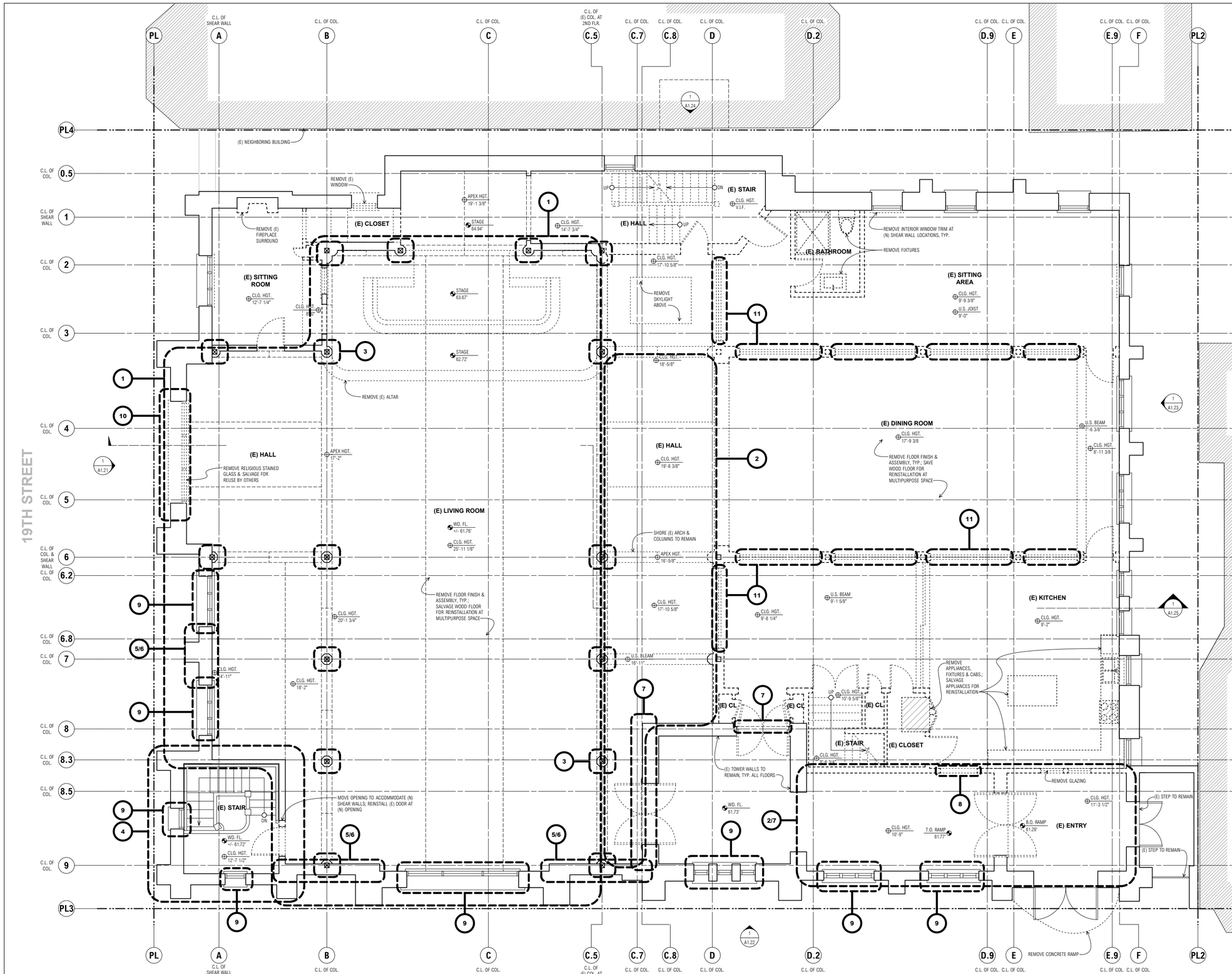
**EXISTING FIRST FLOOR PLAN**

DATE 7/20/12

PHASE DESIGN DEVELOPMENT

SCALE 1/4" = 1'-0" HALF SIZE

**A1.11**




## 1 SECOND FLOOR PROTECTION PLAN

Scale: 1/4" = 1'-0"

## GENERAL NOTES:

1. CONTRACTOR SHALL PROTECT ALL (E) MATERIALS & FINISHES SHOWN TO REMAIN, SAFE FROM DAMAGE DURING CONSTRUCTION.

2. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO HISTORIC MATERIALS DURING CONSTRUCTION.

3. REPAIR/REPLACEMENT OF HISTORIC MATERIALS, IF NECESSARY, TO MATCH (E).

## DEFINITIONS:

DEMOLITION: REMOVAL OF ITEMS FOR DISPOSAL.

REMOVE: DETACH ITEMS FROM (E) CONSTRUCTION & LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED & SALVAGED, OR REMOVED & REINSTALLED.

REMOVE & SALVAGE: DETACH ITEMS FROM (E) CONSTRUCTION & PROVIDE THEM FOR OWNER'S USE.

REMOVE, SALVAGE & REINSTALL: DETACH ITEMS FROM (E) CONSTRUCTION, STORE & PROTECT AGAINST DAMAGE, PREPARE THEM FOR REUSE, & INSTALL WHERE INDICATED.

RETAIN & PROTECT IN PLACE: RETAIN THE IDENTIFIED MATERIALS & ASSEMBLIES IN PLACE DURING CONSTRUCTION, & PROTECT SUCH MATERIAL & ASSEMBLIES AGAINST DAMAGE & DETERIORATION THROUGHOUT CONSTRUCTION. PROTECTION REQUIREMENTS INCLUDE THE INSTALLATION OF PHYSICAL BARRIERS TO PREVENT DAMAGE FROM CONSTRUCTION ACTIVITIES. BARRIER MATERIALS ARE TO BE INSTALLED WITHOUT ATTACHMENT TO THE MATERIALS & ASSEMBLIES REQUIRING PROTECTION.

## INTERIOR KEY NOTES:

1. RETAIN & PROTECT IN PLACE WOOD CEILINGS AT LOCATIONS NOTED.
2. REMOVE, SALVAGE & REINSTALL WOOD CEILINGS AT LOCATIONS NOTED.
3. RETAIN & PROTECT IN PLACE PLASTER COLUMNS, TYP. OF 16.
4. RETAIN & PROTECT IN PLACE NORTHWEST STAIR.
5. REMOVE PLASTER FROM SURFACES TO RECEIVE SHOTCRETE FOR SEISMIC REINFORCEMENT. INSTALL (N) PLASTER TO MATCH ORIGINAL PROFILE & APPEARANCE AT LOCATIONS NOTED. PREPARE & PAINT.
6. REMOVE, SALVAGE & REINSTALL WOOD WAINSCOT &/OR TRIM AT LOCATIONS NOTED.
7. RETAIN & PROTECT IN PLACE WOOD WAINSCOT &/OR TRIM AT LOCATIONS NOTED.
8. INSTALL NEW WOOD WAINSCOT &/OR TRIM TO MATCH (E) AT LOCATIONS NOTED.
9. RETAIN & PROTECT IN PLACE ART-GLASS WINDOWS.
10. REMOVE & SALVAGE FOR REUSE BY OTHERS RELIGIOUS STAINED GLASS AT TRANSEPT.
11. REMOVE & SALVAGE ROLL-UP DOORS, TYP. OF 10.

## WALL/DEMO LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING ELEMENT TO BE DEMOLISHED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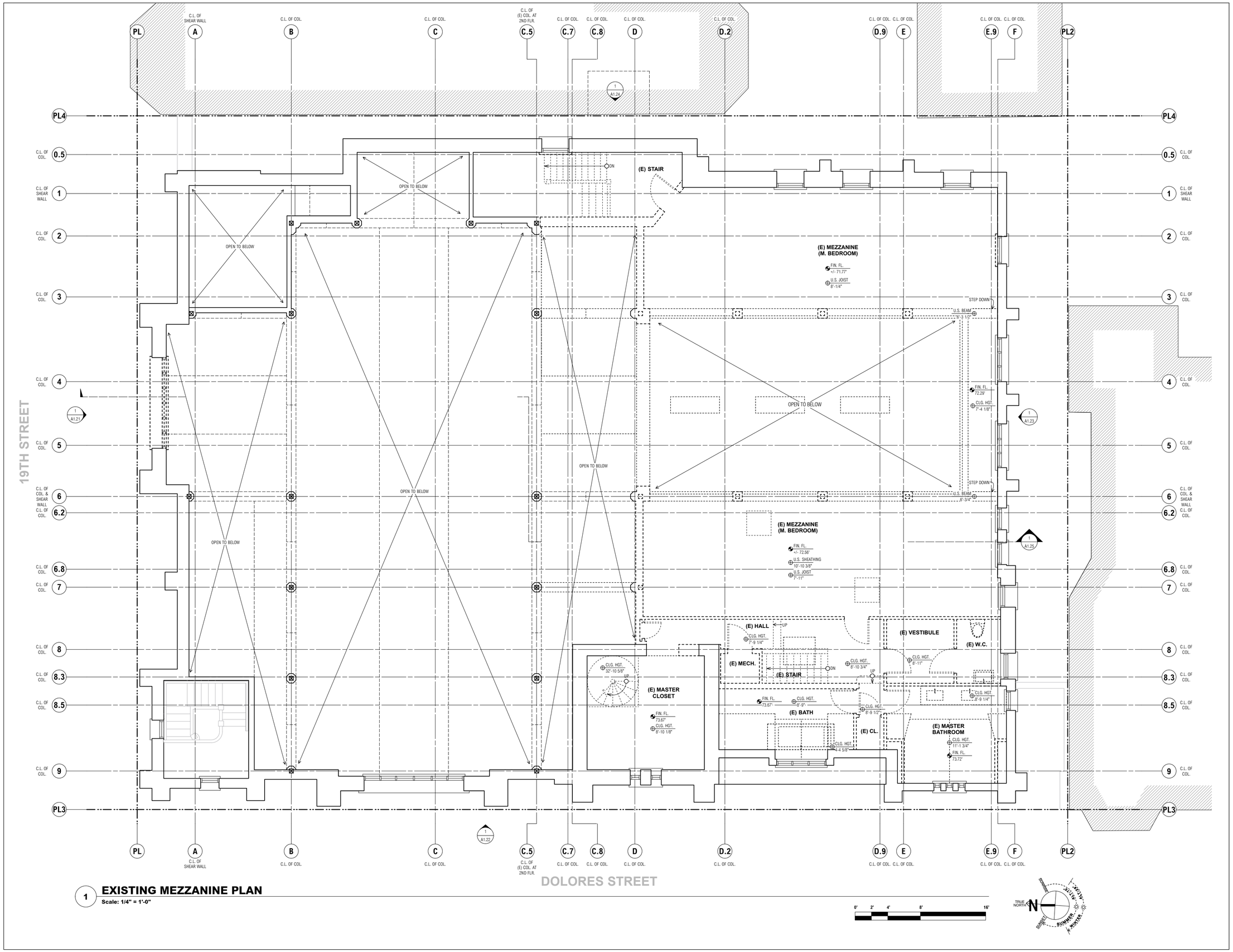
SHEET

SECOND FLOOR PROTECTION PLAN

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" HALF SIZE |

A1.12




## 1 EXISTING MEZZANINE PLAN

Scale: 1/4" = 1'-0"

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EXISTING MEZZANINE PLAN

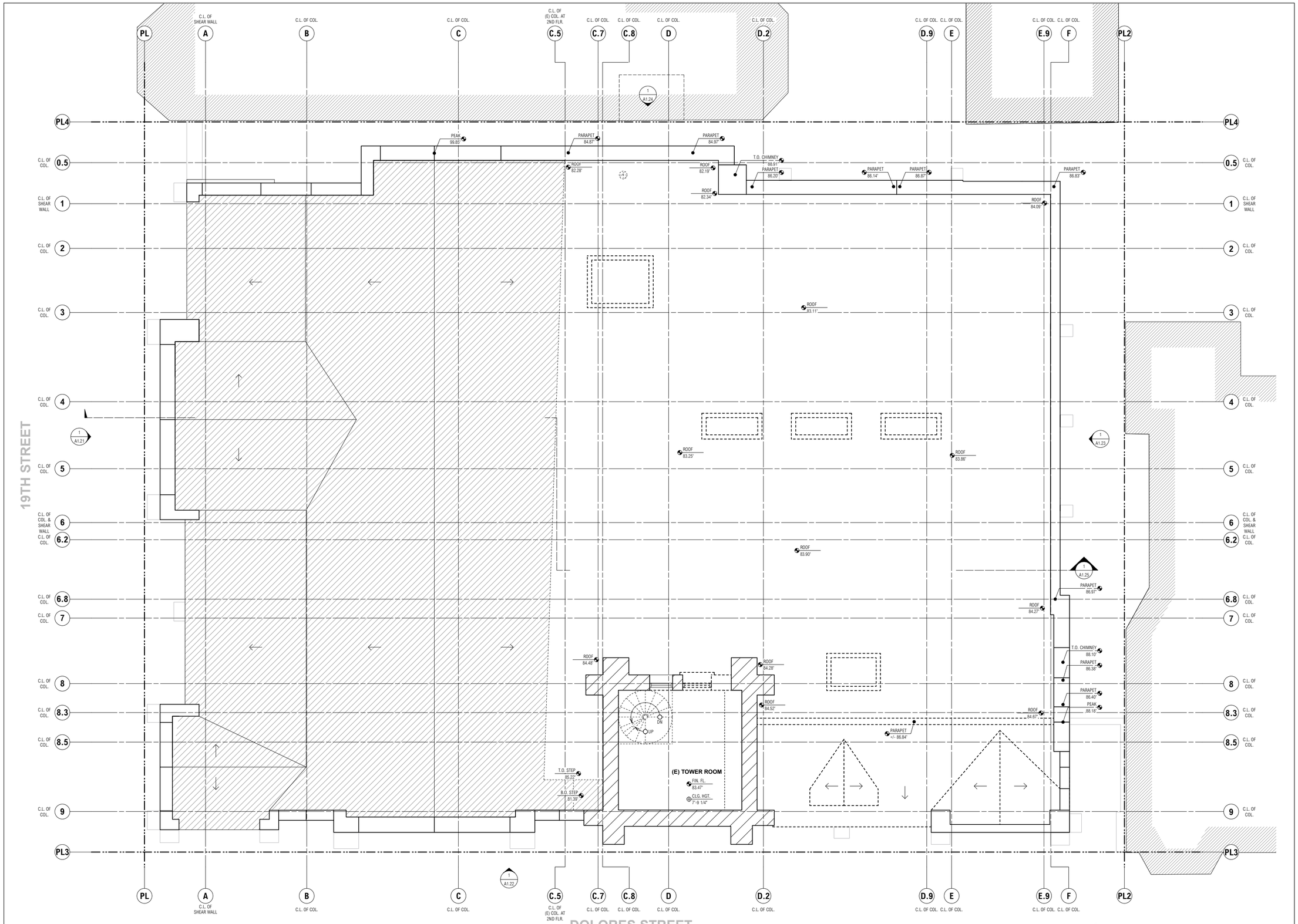
DATE 7/20/12

PHASE DESIGN DEVELOPMENT

SCALE 1/4" = 1'-0"

HALF SIZE

A1.13




## 1 EXISTING TOWER & ROOF PLAN

Scale: 1/4" = 1'-0"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EXISTING TOWER & ROOF PLAN

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

A1.14

1 **EXISTING NORTH ELEVATION (19TH STREET)**

**Scale: 1/4" = 1'-0"**

0' 2' 4' 8' 16'

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**EXISTING NORTH ELEVATION (19TH ST.)**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**A1.21**

1 **EXISTING WEST ELEVATION (DOLORES STREET)**

Scale: 1/4" = 1'-0"

0' 2' 4' 8' 16'

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**EXISTING WEST ELEVATION (DOLORES ST.)**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**A1.22**

## 1 EXISTING SOUTH ELEVATION

Scale: 1/4" = 1'-0"

0' 2' 4' 8' 16'

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EXISTING SOUTH ELEVATION

| | |
|---|---|
| DATE | 7/2012 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

A1.23

## 1 EXISTING EAST ELEVATION

**Scale: 1/4" = 1'-0"**

0' 2' 4' 8' 16'

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**EXISTING EAST ELEVATION**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**A1.24**

## 1 EXISTING BUILDING SECTION

Scale: 1/4" = 1'-0"

0' 2' 4' 8' 16'

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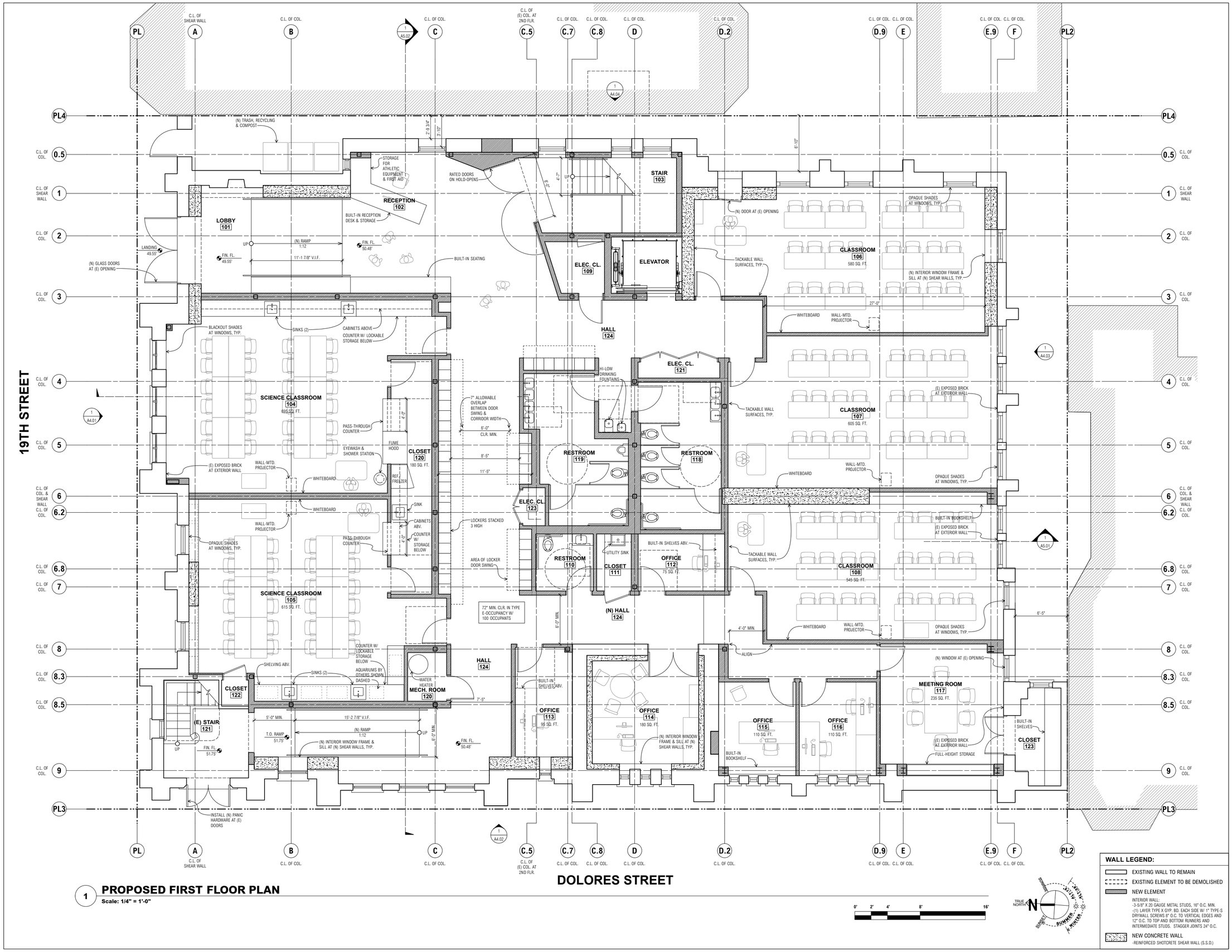
EXISTING BUILDING SECTION

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

A1.25




1 **PROPOSED FIRST FLOOR PLAN**
Scale: 1/4" = 1'-0"

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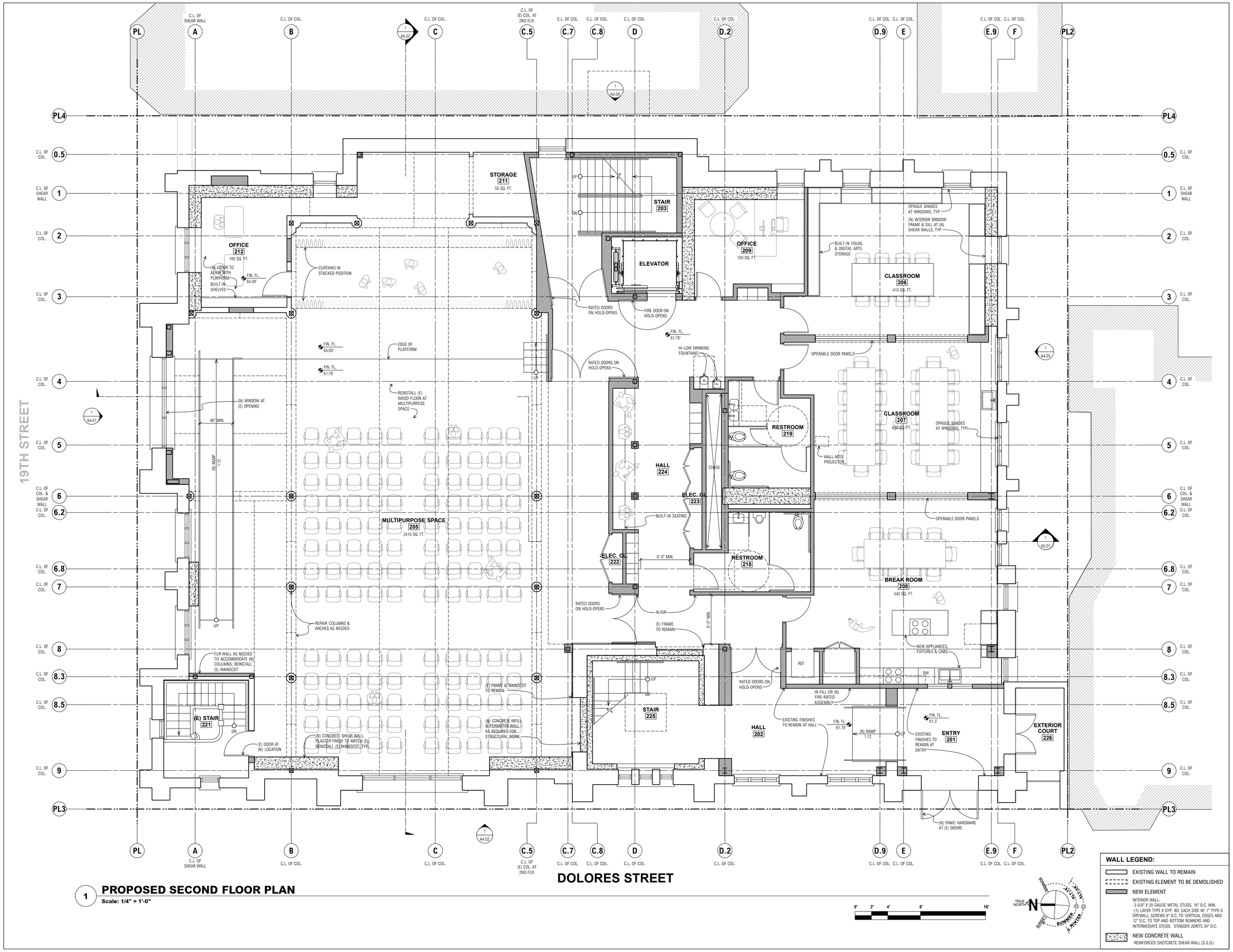
SHEET
PROPOSED FIRST FLOOR PLAN

DATE 7/20/12
PHASE DESIGN DEVELOPMENT
SCALE 1/4" = 1'-0" HALF SIZE

A2.01




## 1 PROPOSED SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

**WALL LEGEND:**

- EXISTING WALL TO REMAIN
- EXISTING ELEMENT TO BE DEMOLISHED
- NEW ELEMENT
  INTERIOR WALL:
  -3-5/8" X 20 GAUGE METAL STUDS, 16" O.C. MIN.
  -(1) LAYER TYPE X GYP. BD. EACH SIDE W/ 1" TYPE-S DRYWALL SCREWS 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS. STAGGER JOINTS 24" O.C.
- NEW CONCRETE WALL
  -REINFORCED SHOTCRETE SHEAR WALL (S.S.D.)

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PROPOSED SECOND FLOOR PLAN

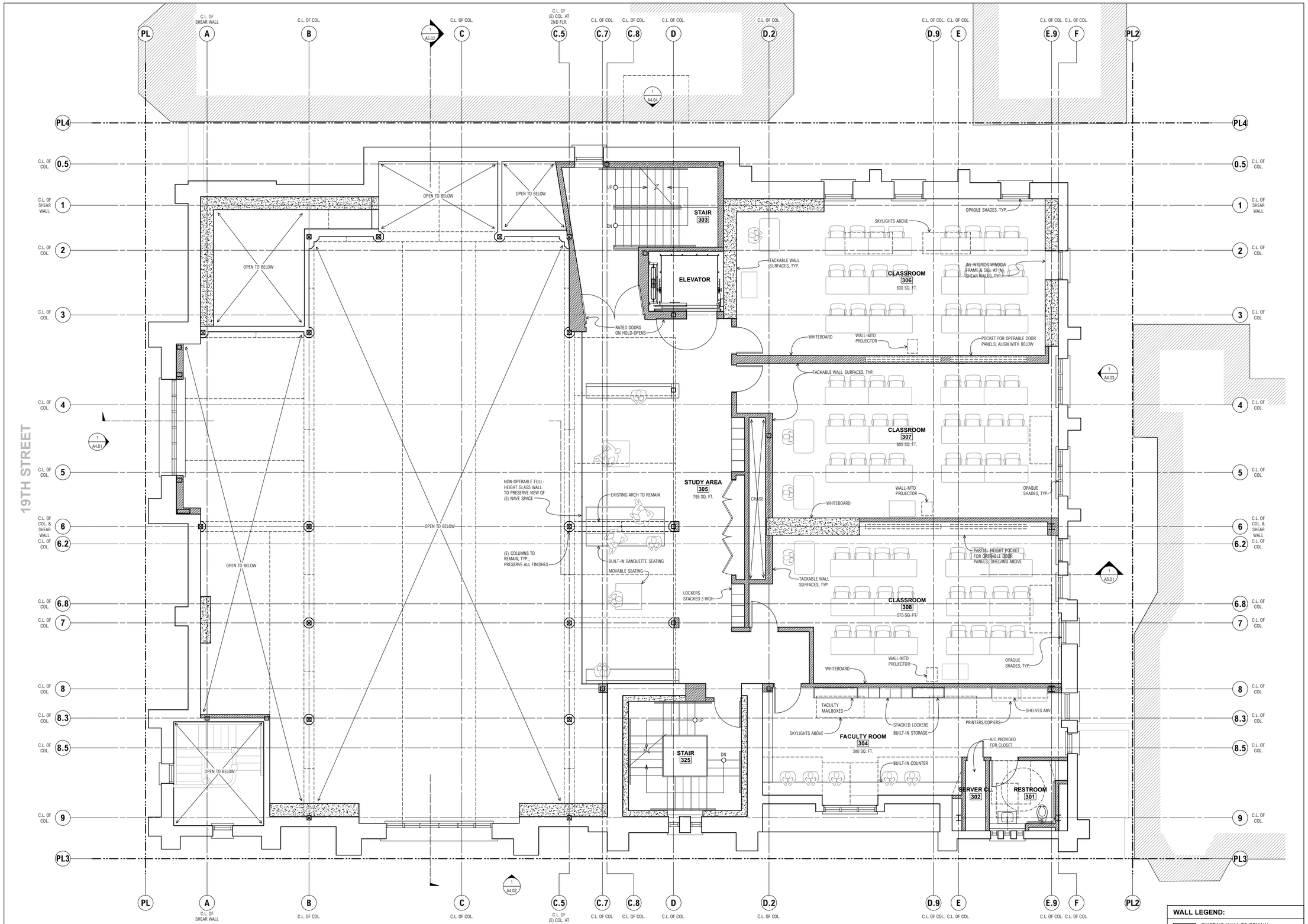
DATE 7/20/12

PHASE DESIGN DEVELOPMENT

SCALE 1/4" = 1'-0"

HALF SIZE

A2.02




## 1 PROPOSED THIRD FLOOR PLAN

**Scale: 1/4" = 1'-0"**

**WALL LEGEND:**

- EXISTING WALL TO REMAIN
- EXISTING ELEMENT TO BE DEMOLISHED
- NEW ELEMENT

INTERIOR WALL:
-3-5/8" X 20 GAUGE METAL STUDS, 16" O.C. MIN.
-(1) LAYER TYPE X GYP. BD. EACH SIDE W/ 1" TYPE-S DRYWALL SCREWS 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS. STAGGER JOINTS 24" O.C.

- NEW CONCRETE WALL
  -REINFORCED SHOTCRETE SHEAR WALL (S.S.D.)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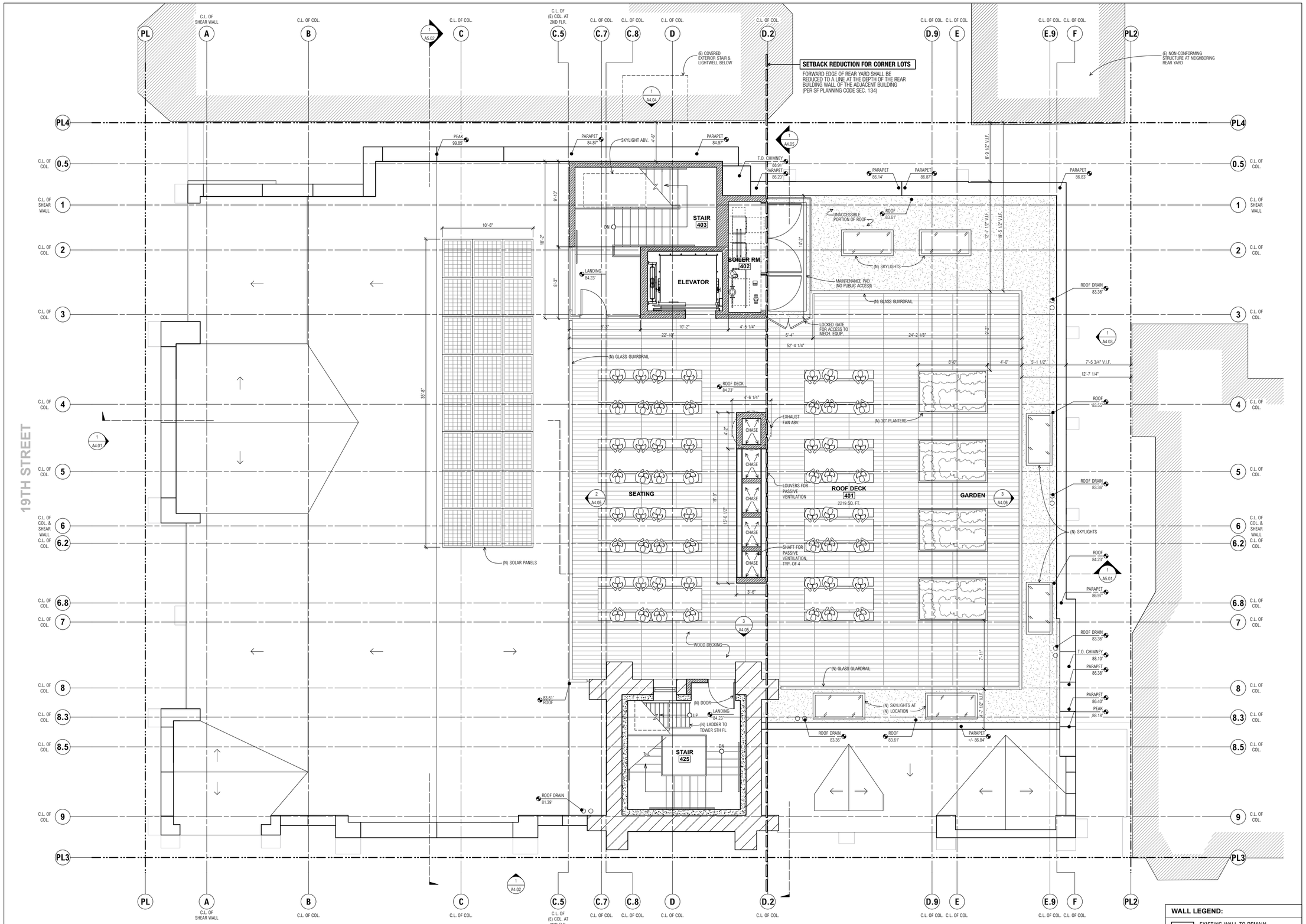
**PROPOSED THIRD FLOOR PLAN**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**A2.03**




1 **PROPOSED TOWER & ROOF PLAN**

**Scale: 1/4" = 1'-0"**

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**PROPOSED TOWER & ROOF PLAN**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**A2.04**

1 **PROPOSED NORTH ELEVATION (19TH STREET)**

**Scale: 1/4" = 1'-0"**

0' 2' 4' 8' 16'

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**PROPOSED NORTH ELEVATION (19TH ST.)**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**A4.01**

## 1 PROPOSED WEST ELEVATION (DOLORES STREET)

**Scale: 1/4" = 1'-0"**

0' 2' 4' 8' 16'

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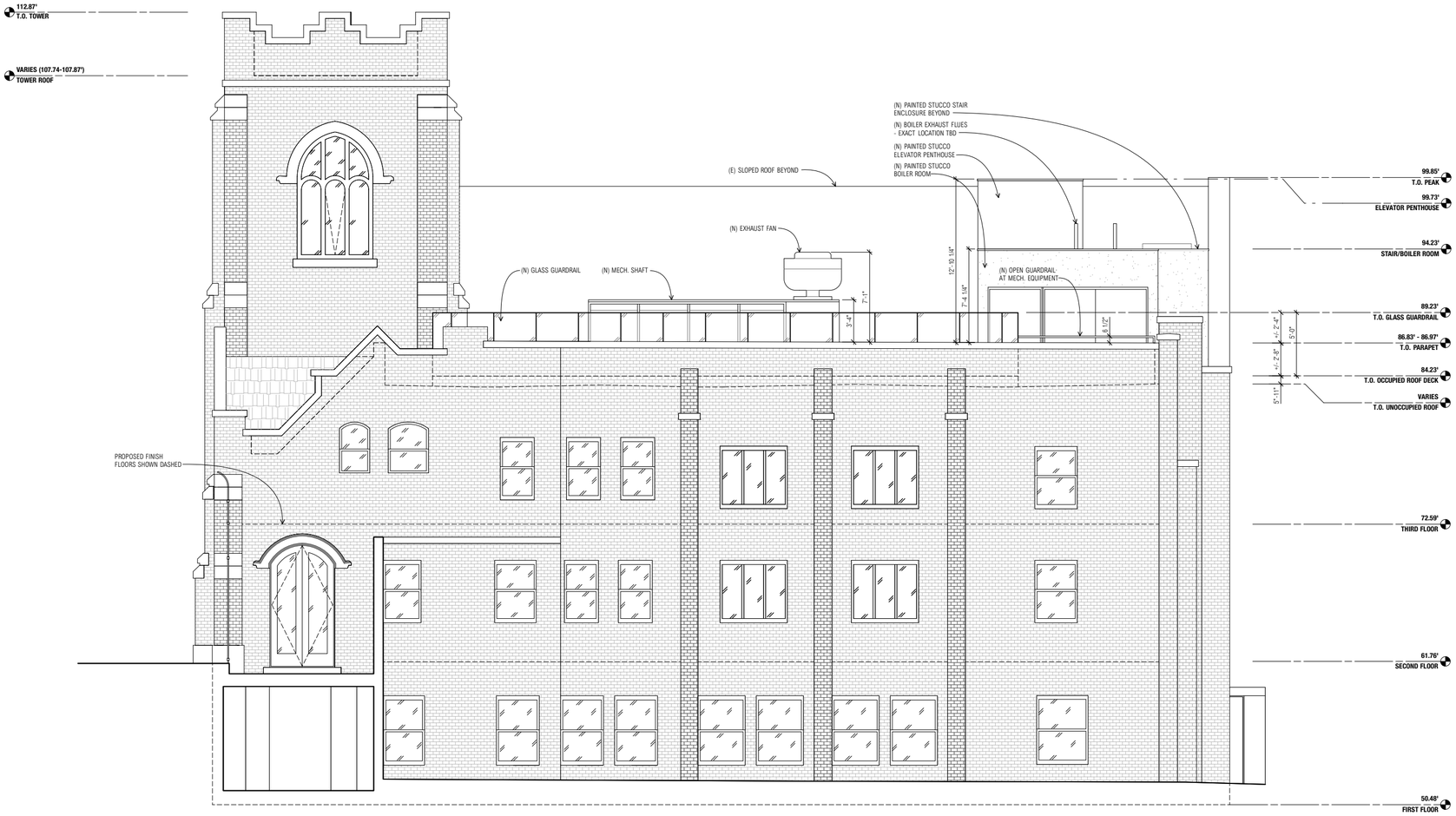
**PROPOSED WEST ELEVATION (DOLORES ST.)**

DATE 7/20/12
PHASE DESIGN DEVELOPMENT
SCALE 1/4" = 1'-0"

HALF SIZE

**A4.02**




## 1 PROPOSED SOUTH ELEVATION

**Scale: 1/4" = 1'-0"**

0' 2' 4' 8' 16'

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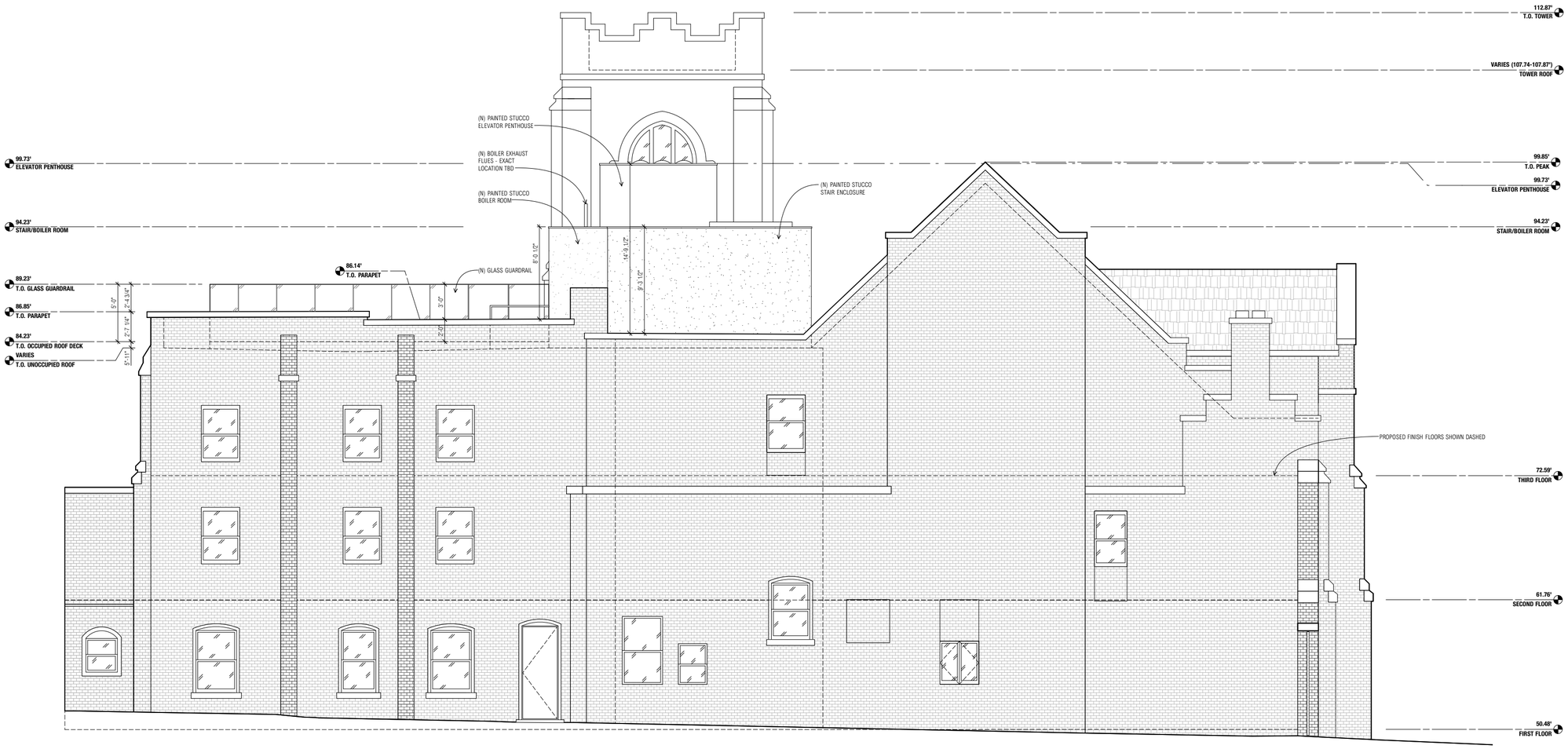
**PROPOSED SOUTH ELEVATION**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**A4.03**




## 1 PROPOSED EAST ELEVATION

Scale: 1/4" = 1'-0"

0' 2' 4' 8' 16'

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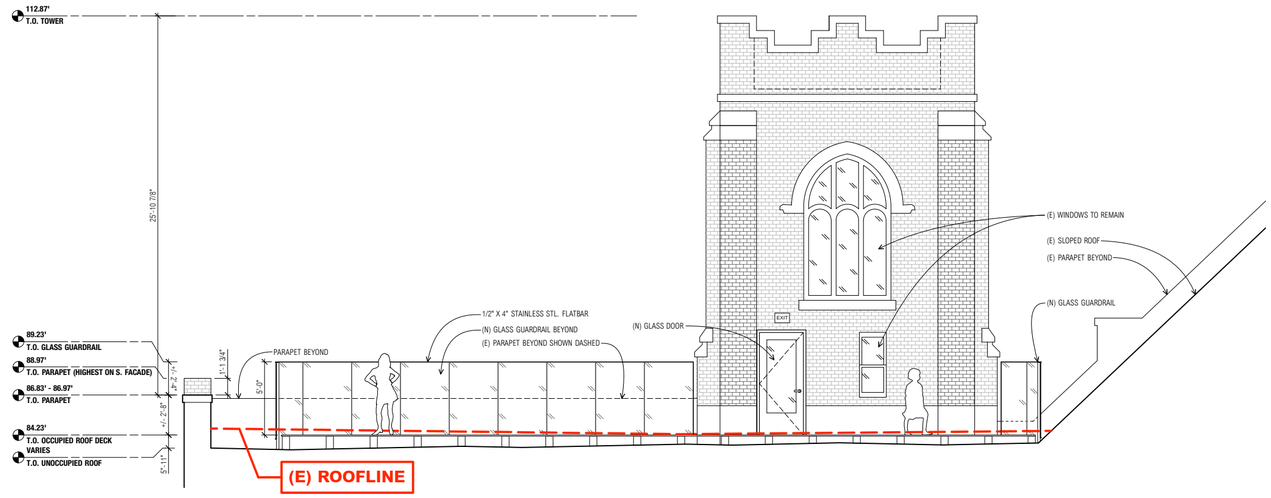
PROPOSED EAST ELEVATION

DATE 7/20/12
PHASE DESIGN DEVELOPMENT
SCALE 1/4" = 1'-0"

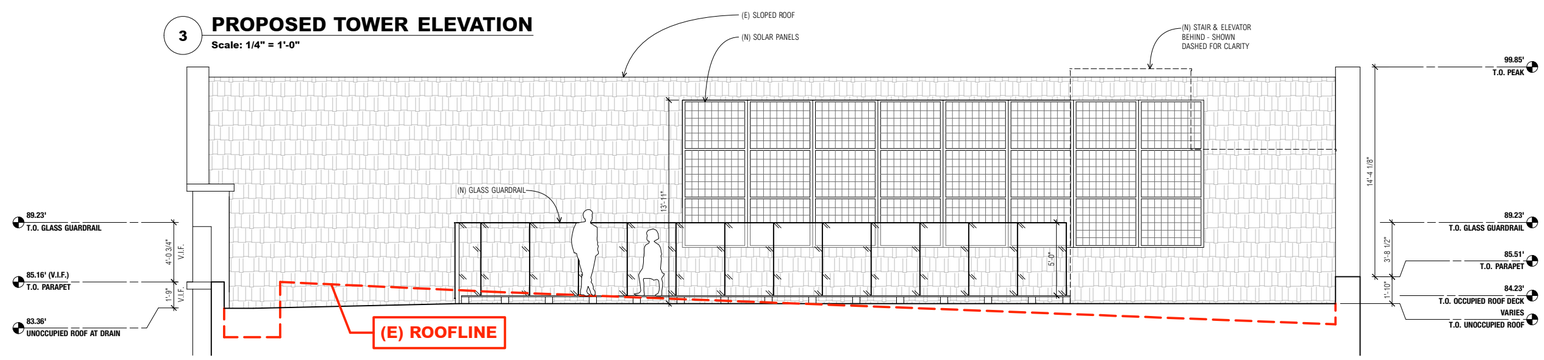
HALF SIZE

A4.04



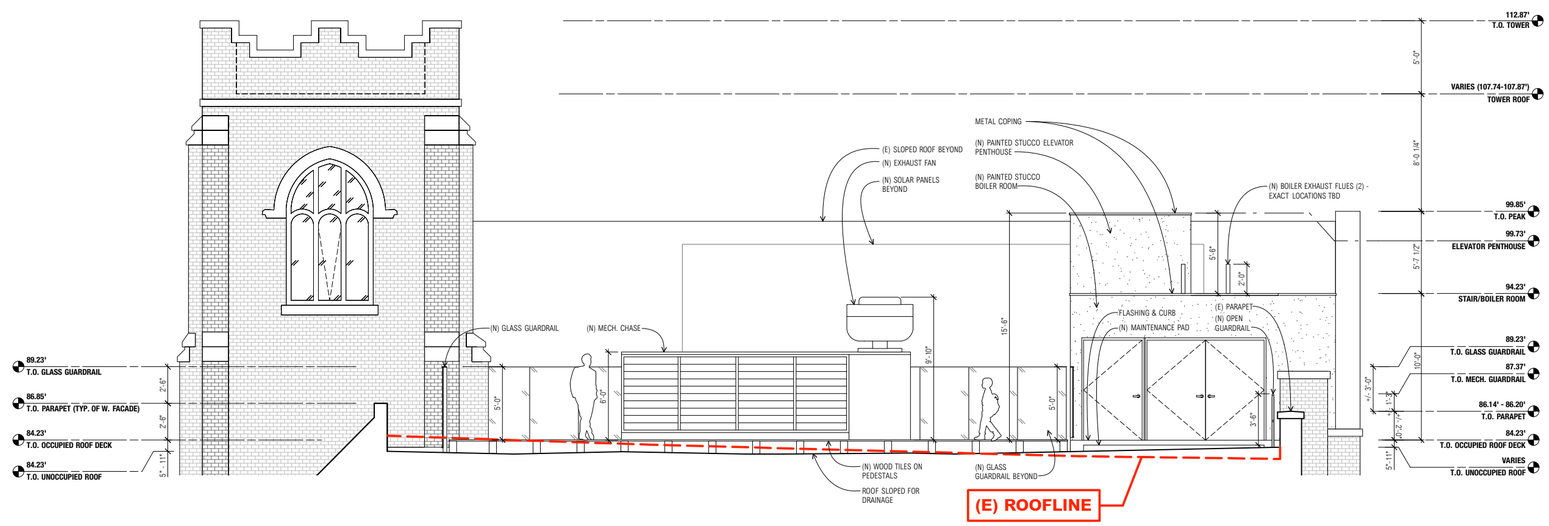

## 3 PROPOSED TOWER ELEVATION

Scale: 1/4" = 1'-0"




## 2 PROPOSED ROOF ELEVATION

Scale: 1/4" = 1'-0"




## 1 PROPOSED ROOF ELEVATION

Scale: 1/4" = 1'-0"

0' 2' 4' 8' 16'

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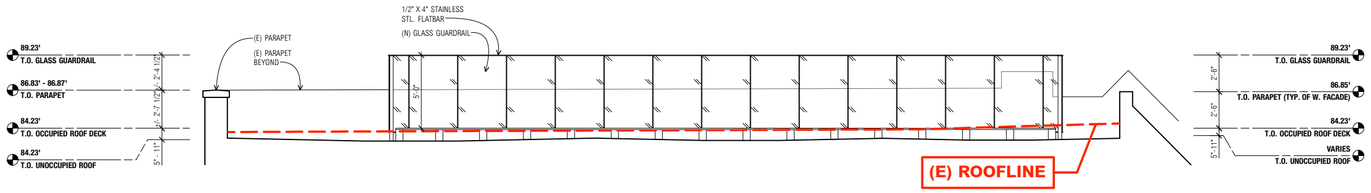
PROPOSED ROOF ELEVATIONS

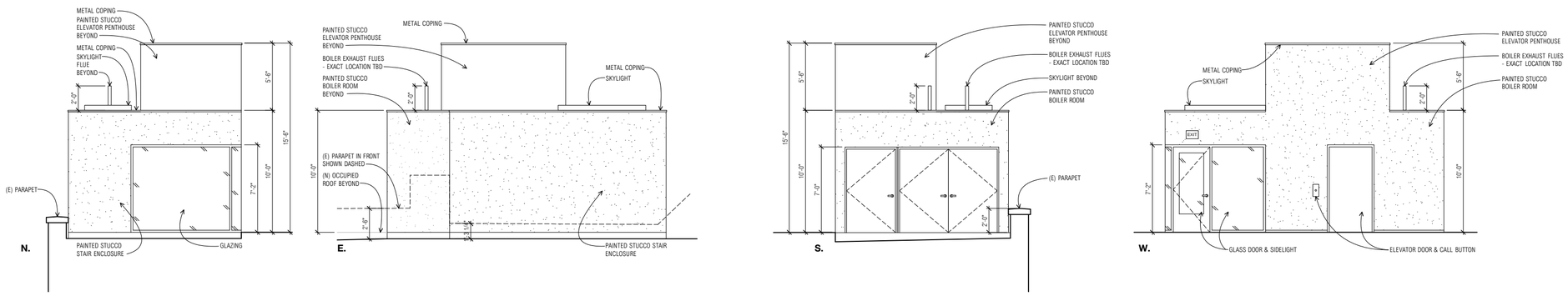
DATE 7/20/12
PHASE DESIGN DEVELOPMENT
SCALE 1/4" = 1'-0" HALF SIZE

A4.05



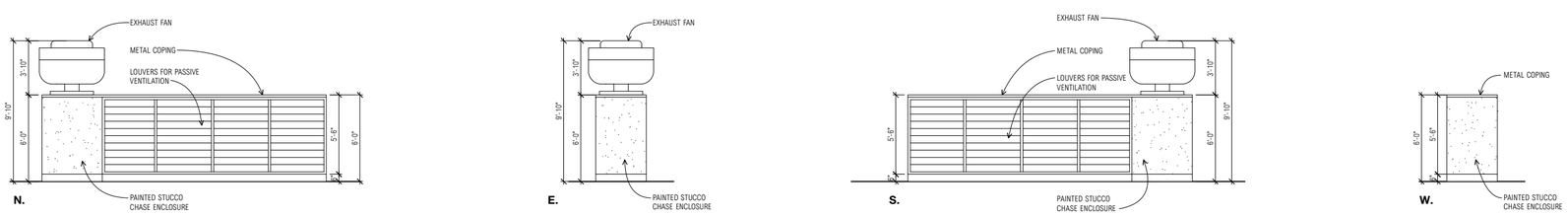

## 3 PROPOSED ROOF ELEVATION

**Scale: 1/4" = 1'-0"**




## 2 STAIR, ELEVATOR & BOILER ROOM ELEVATIONS

**Scale: 1/4" = 1'-0"**




## 1 MECHANICAL CHASE ELEVATIONS

**Scale: 1/4" = 1'-0"**

0' 2' 4' 8' 16'

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PROPOSED ROOF ELEVATIONS

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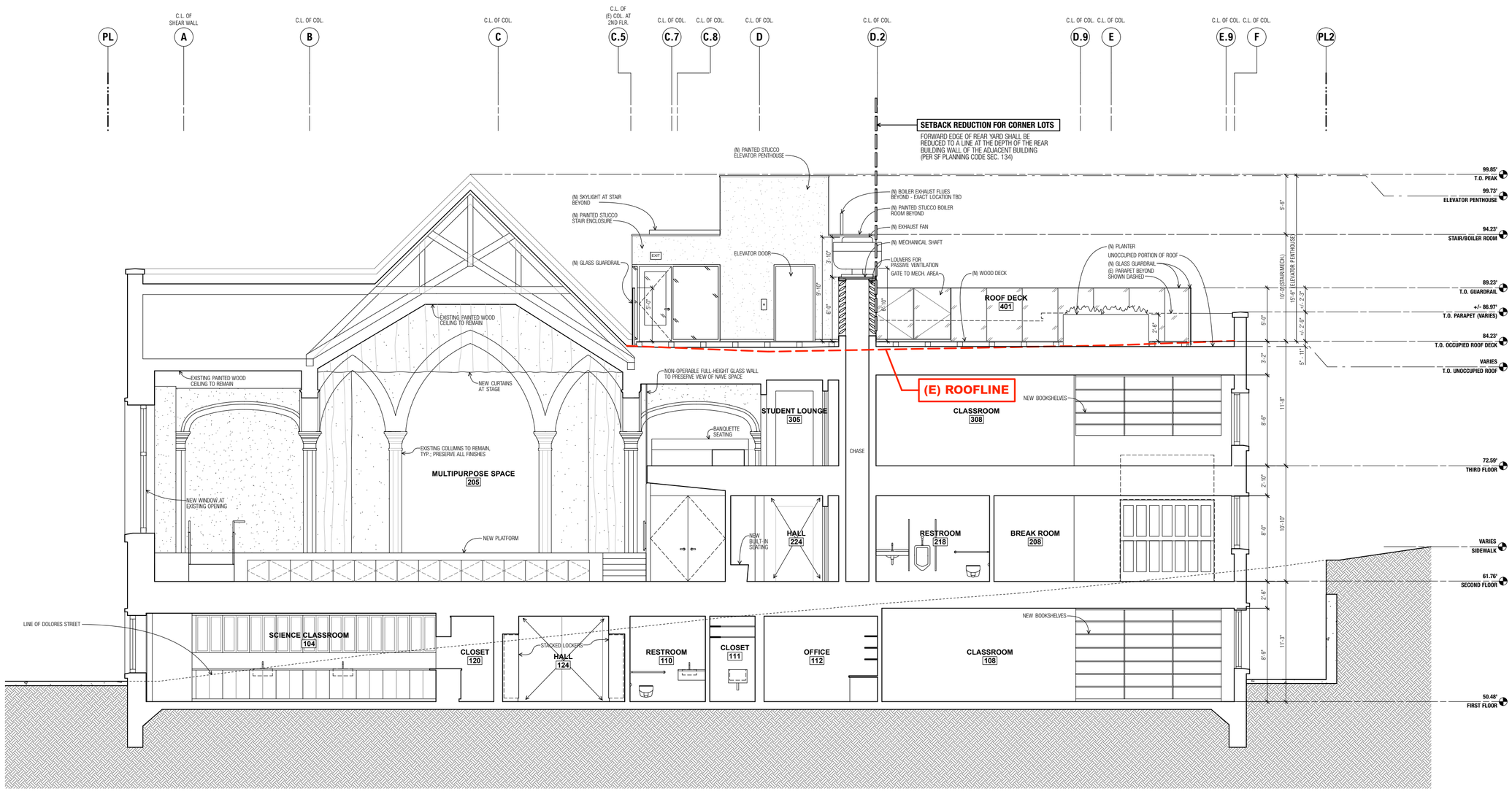
PHASE DESIGN DEVELOPMENT
SCALE 1/4" = 1'-0"
HALF SIZE

A4.06




1 **PROPOSED BUILDING SECTION**

Scale: 1/4" = 1'-0"

JENSEN

JENSEN ARCHITECTS
832 MARKET STREET 7th FLOOR
SAN FRANCISCO, CA 94103
tel 415.348.9650 fax 415.348.9651
JENSEN-ARCHITECTS.COM

STAMP

CONSULTANTS

PROJECT

**CDS DOLORES PARK**

601 DOLORES STREET
SAN FRANCISCO, CA 94110

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ISSUES & REVISIONS

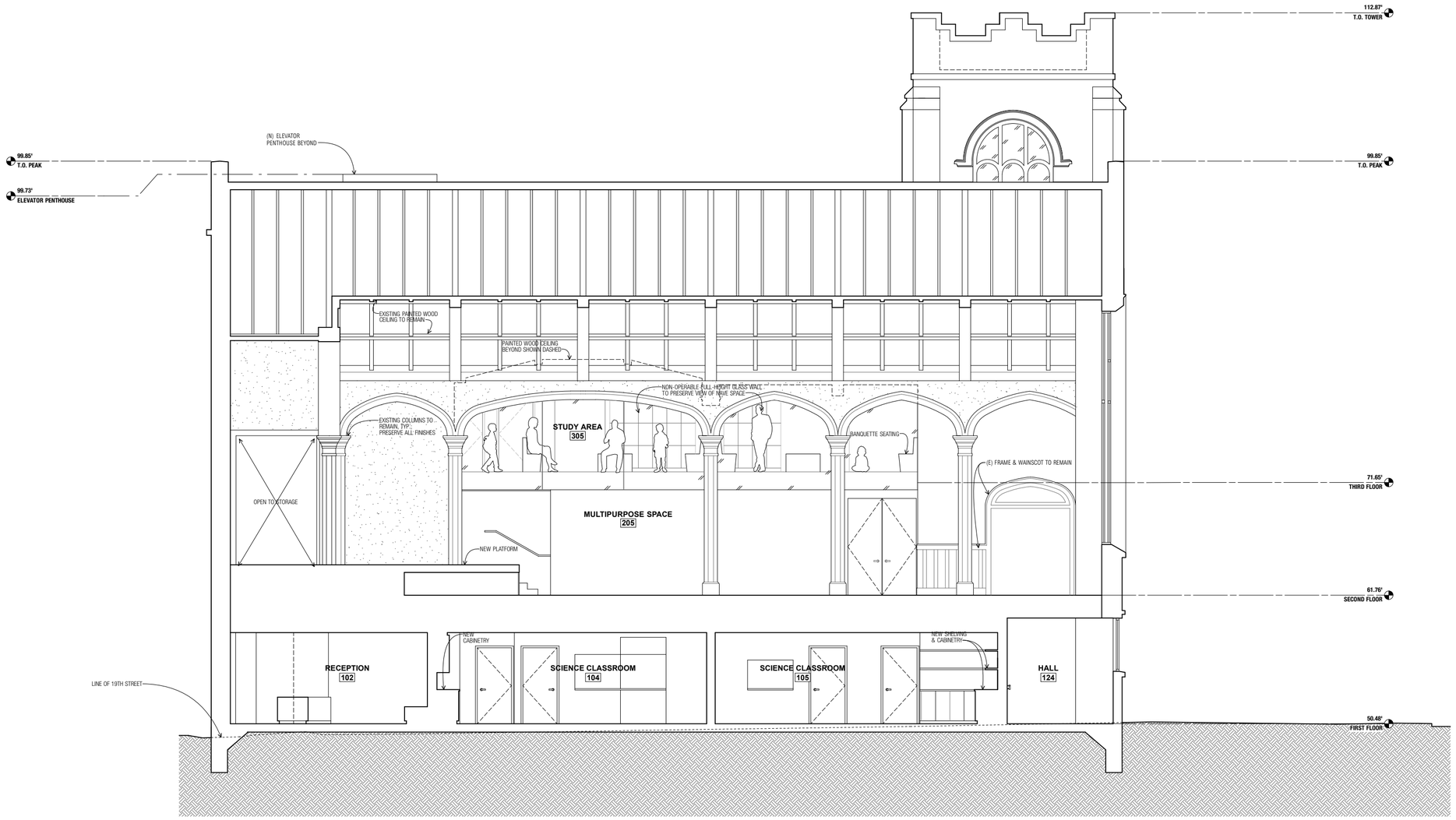
SHEET

**PROPOSED BUILDING SECTION**

| | |
|---|---|
| DATE | 7/20/12 |
| PHASE | DESIGN DEVELOPMENT |
| SCALE | 1/4" = 1'-0" |

HALF SIZE

**A5.01**




1 **PROPOSED BUILDING SECTION**

**Scale: 1/4" = 1'-0"**

0' 2' 4' 8' 16'

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ISSUES & REVISIONS

SHEET

PROPOSED BUILDING SECTION

DATE 7/20/12

PHASE DESIGN DEVELOPMENT

SCALE 1/4" = 1'-0"

HALF SIZE

A5.02