MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

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415.558.6409

Planning Information: 415.558.6377

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, August 24, 2011

Time: **Beginning at 9:30 AM**Location: **Planning Department**

1650 Mission Street, Room 431

Case Type: Variance (Rear Yard, Noncomplying Structure,

Dwelling Unit Exposure, Open Space)

Hearing Body: Zoning Administrator

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1650 Chestnut Street	Case No.: Building Permit: Applicant/Agent: Telephone: E-Mail: smw	2011.0580V
Cross Street(s):	Octavia/Laguna		2010.05.07.1961
Block /Lot No.:	0482/014		Stephen M. Williams
Zoning District(s):	RH-3 / 40-X		(415) 292-3656
Area Plan:	n/a		@stevewilliamslaw.com

PROJECT DESCRIPTION

The proposal is to enlarge the two-story, single-family residence at the rear of the lot into a three-story, single-family residence and to construct a new four-story, two-unit building at the front of the lot.

PER PLANNING CODE SECTION 134, approximately 62 feet (45% of the lot depth) is required for the subject property. The existing building is entirely within the required rear yard, and the proposed alterations require a variance from the rear yard requirement (Section 134) of the Planning Code.

PER P.C. SEC. 140, dwelling units must face a public street. The proposed building at the front of the lot would eliminate the existing building's exposure to the street, and therefore requires a variance from the dwelling unit exposure requirement (Section 140) of the Planning Code.

PER P.C. SEC. 188, a noncomplying structure may be altered if no new discrepancy is created. The existing building is a noncomplying structure as it was constructed within the required rear yard area. The proposed alterations would create new discrepancies that would be contrary to Section 188.

PER P.C. SEC. 135, 100 sf of private open space is required for the existing unit at the rear of the lot. Private open space is proposed on a roof deck of the rear building; however as the open space does not provide at least 15 feet in every horizontal dimension as required, an open space (Section 135) variance for the rear unit is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Glenn Cabreros Telephone: (415) 558-6169 E-Mail: glenn.cabreros@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0580V.pdf

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **Building Permit Application No. 2010.05.07.1961** has been filed for the project, and the required Section 311 notification will be performed separately.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

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PROPERTY LINE 25.0'

XISTING 2-STORY STRUCTURE

PROPOSED ± 52'-2

PROPERTY LINE 137.5

17'-10"

ADJACENT STRUCTURE

CHESTNUT STREET

64'-5" PROPOSED

ADJACENT I-STORY

STRUCTURE

6'-||"

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OCCUPANCY)

± 1,353 SQ. FT. ± 413 SQ. FT. ± 444 SQ. FT.

± 2,710

SQ. FT.

FIRST FLOOR: (A) GARAGE SECOND FLOOR: (C) UNIT #I TOTAL UNIT #1: \times (B) UNIT #I: \mathcal{O} \dashv Z UNHEATED SPACES. 0 T \mathcal{U} ± 1,497 SQ. FT. 1+ ± 397 SQ. FT. 1,077 SQ. CUPANCY) 694 SQ. FT. FIRST FLOOR:

(A) PARKING/GARAGE

(B) ENTRY:

(C) UNIT #I: SECOND FLOOR:
(D) UNIT #I:
(E) UNIT #2:
(F) UNIT #3:
(G) CIRCULATION: \Box FIRST FLOOR TOTAL: ∇ \bigcirc \Box \bigcirc

TOTAL SQUARE FOOTAGE: 2,168 SQ. FT.

FOURTH FLOOR: (K) UNIT #2: (L) UNIT #3: THIRD FLOOR:: (H) UNIT #1: (I) UNIT #2: (H) UNIT #3: TOTAL SQUARE FOOTAGE: ± 9,334 SQ. FT. (INCLUDES PARKING, STAIRS, CIRCULATION, ETC.) FOURTH FLOOR THIRD FLOOR TOTAL: SECOND FLOOR TOTAL: TOTAL: ± 599 SQ. FT. ± 765 SQ. FT. ± 840 SQ. FT. ± 2,204 SQ. FT. ± 1,190 SQ. FT. ± 789 SQ. FT. ± 750 SQ. FT. ± 92 SQ. FT. ± 776 SQ. FT. ± 823 SQ. FT. ± 2,821 SQ. FT. ± 1,599 SQ. FT.

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SECTION 317 (b)(2)(B):
EXISTING PERIMETER: 158'-7-1/2"
REMOVED FACADES (ALL SIDES): 52'-7-1/2"
REMAINING FACADES: 106'-0"
THEREFORE, REMOVED FACADE IS 33% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED AT THE FOUNDATION LEVEL.

<u>SECTION 317 (b)(2)(C):</u> EXISTING VERTICAL ENVELOPE ELEMENTS AT FIRST LEVEL: 158'-7-1/2" EXISTING VERTICAL ENVELOPE ELEMENTS AT SECOND LEVEL: 170'-7" \times 9'-7 FLR. TO FLR. HEIGHT = 1,520 SQ. FT. \times 13'-10" FLR. TO TOP OF PARAPET = 2,360 SQ. FT.

TOTAL EXISTING VERTICAL ENVELOPE ELEMENTS = 3,880 SQ. FT.

REMOVED FACADES (ALL SIDES) AT FIRST LEVEL: 52'-7-1/2" × 9'-7 FLR. TO FLR. HEIGHT = 459 SQ. FT. FACADES (ALL SIDES) AT SECOND LEVEL: 74'-10" × 13'-10" FLR. TO TOP OF PARAPET = 1,035 SQ. FT.

1,494 SQ. FT.

THEREFORE, REMOVED VERTICAL ENVELOPE ELEMENTS IS ± 39%

TOTAL REMOVED VERTICAL ENVELOPE ELEMENTS

EXISTING HORIZONTAL ELEMENTS AT SECOND LEVEL: 1,130 SQ. FT. EXISTING HORIZONTAL ELEMENTS AT ROOF LEVEL: 1,077 SQ. FT.

TOTAL EXISTING HORIZONTAL ELEMENTS: 2,207 SQ. FT.

THEREFORE, ADDED HORIZONTAL ELEMENTS IS ± 8% ADDED HORIZONTAL ELEMENTS AT ROOF LEVEL: 167 SQ. FT

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70 \pm \dashv Ш

 \rightarrow \Rightarrow 0 0 INDEX <u>L</u>S Щ PLAN INDICATING 7 DWGS, PROJECT DESCRIPTION BUS STOP (

> \triangleright \gg -1 ω \mathcal{N} _ PROPOSED EXISTING PROPOSED (1) THIRD PROPOSED FIRST EAST & WEST EXTERIOR ELEVATIONS (1) FOURTH FLOOR PLANS **\$** SECOND FLOOR (1)

> \gg \bigcirc \mathcal{T} 4 EXISTING SITE PLAN PROPOSED BUILDING SECTION LOOKING EAST

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EXISTING

EXTERIOR

ELEVATIONS

OF TWO UNIT ALL WORK WORK: REMODEL AND ADDITION TO EXISTING BUILDING AT REAR OF TS IN NEW BUILDING AT FRONT OF PROPERTY. TO CONFORM WITH 2007 CBC STANDARDS AND REQUIREMENTS PROPERTY, ADDITION

70 \nearrow \sum \angle

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PROPOSED NORTH & SOUTH EXTERIOR ELEVATIONS \dashv \subset ∇ \gg PROPOSED PLANS DETAIL PLAN

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PHIPPS

ARCHITECTS

PC

1031 Post Street San Francisco, CA 94109-5602

t 415.776.1606 f 415.776.3972 www.dpaweb.com

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LOT

014

BLOCK

0482

1650 CHESTNUT STREE' SAN FRANCISCO, CA 94115

Scale: Date: <u>|</u>8 MAY 17, 2011 = |-0

Drawn: KCK/DP

Job: Revision:

PROPOSED TREES

PROPERTY LINE 25.0'

REAR

2 SETBACK (AVERAGE OF A

ADJACENT PRO

OPERTIES)

PROPERTY LINE 137.5'

45% REAR YARD SETBACK

ADJACENT
3-STORY
STRUCTURE

ADJACENT STRUCTURE

SUBJECT
PROPERTY

O CHESTNUT STREET

LOT: 014
BLOCK: 0482
ZONING: RH-3

PROPERTY KINE 125.0'

FLAT ROOF

NEW 3RD STORY ADDITION: OVER EXISTING SINGLE-UNIT RESIDENCE

-LINE OF BUILDING (4TH LEVEL) BELOW

PENTHOUSE STAIR

7

NEW 4-STORY STRUCTURE TWO-UNIT RESIDENCE

 \Diamond

- (E) STREET TREE

8" DIAMETER TRUNK

± 22'-0" TALL

± 20'-0" WIDE CANOPY

JULY 12, 2011

DECK

PENTHOUSE STAIR

ROOF DECK

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(E) CURB CUT

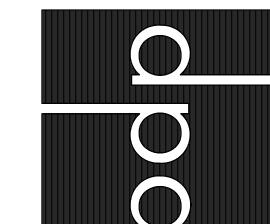
SITE / ROOF

PLAN

3-102

NORTH

[FILE NAME:: 0922-A3.DWG] [July 13 - Wednesday 2011 - 1:29pm] [Plotted by : kkwong] [XREF FILE NAME:: DPA3624P DPA3624L 922-ELEV 0922-WDW-FACADE-REV] 40'-0" 9'-2" 8'-6" 9'-2" 9'-2" Ш FIRST FLOOR CEILING FINISHED 0T AS REQ.'D Ш BE BONELLI, ALUMINUM WITH POWDER EXISTING \prod 6"=|-0" STREET 29'-11" Z S \Box 10'-0" PENTHOUSE 6'-6" S (N) ADDN. \prod Z J 70 \Box S Ш 8'-6" 9'-2" 9'-2" 9'-2" 40'-0" LIGHTWEL ± 8'-0"
(N) ADDN. NEW TREES FIRST FLOOR CEILING SECOND FLOOR CEILING SECOND FLOOR THIRD FLOOR CEILING 9'-6" MIN. CLEARANCE 9'-5" 9'-0" d A



DAN PHIPPS ARCHITECTS РC

1031 Post Street San Francisco, CA 94109-5602

t 415.776.1606 f 415.776.3972 www.dpaweb.com **BLOCK** 0482

LOT

014

1650 CHESTNUT STREE' SAN FRANCISCO, CA 94115

Scale: 1/8" = 1'-0", AS SHOW Date:

MAY 17, 2011

Drawn:

KCK/DP

Job:

Revision: JULY 12, 2011

-EXISTING STREET TREE

AND WINDOW ELEVATIONS EAST & WEST **PROPOSED**

DETAIL

2011

70 Z NOTE: ALL WINDOWS TO BE BONELLI, 70 \square ALUMINUM WITH POWDER-COATED FINISH Z \mathcal{O} Z

70

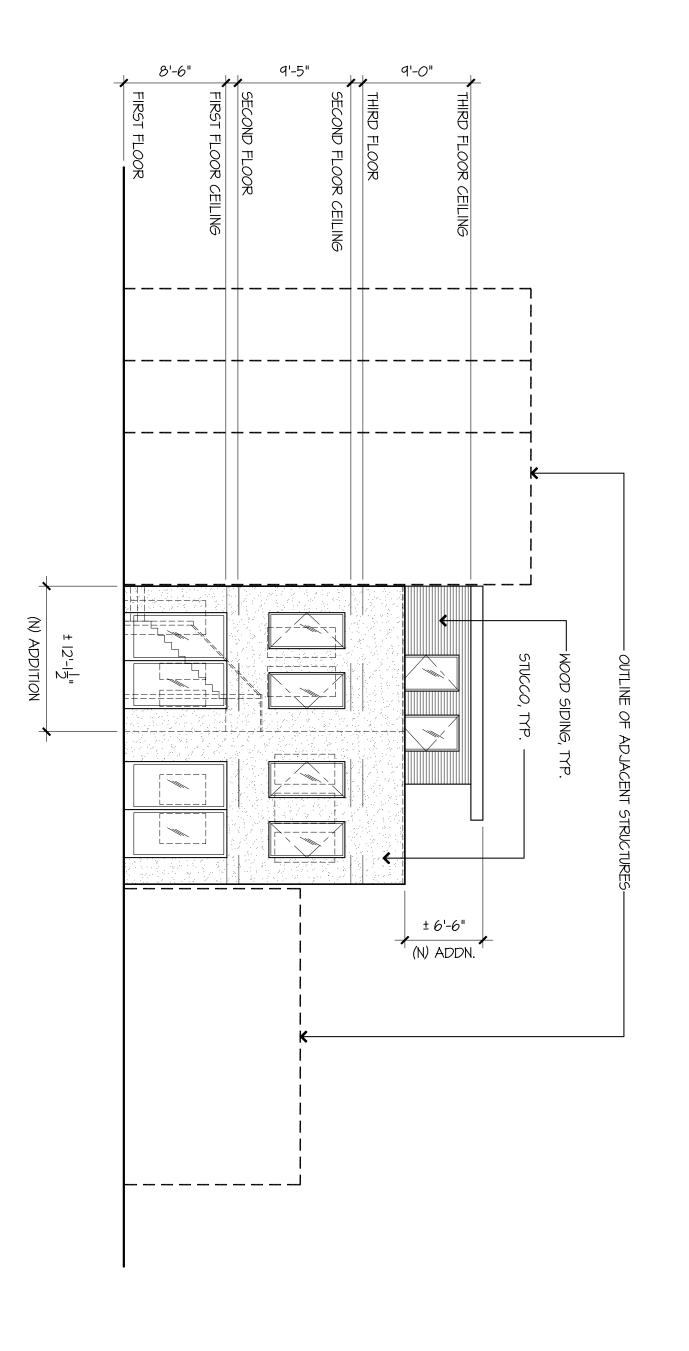
 \Box

S

8'-6" 9'-5" 9'-0" SECOND FLOOR CEILING FIRST FLOOR CEILING 工 ± 6'-6" (N) ADDN. STUCCO, TYP. OUTLINE OF ADJACENT STRUCTURES _____ WOOD SIDING,TYP.

A R BUI ALUMINUM WITH POWDER-COATED FINISH. Z \mathcal{O}





40'-0"

9'-2" 8'-6" 9'-2" 9'-2" Z THIRD FLOOR CEILING FIRST FLOOR CEILING SECOND FLOOR CEILING FOURTH FLOOR CEILING 0 工 Ш ____ Ш \gg \leftarrow 0 _=== Z \Box 70 \triangle \bigcirc S Ш \Box

9'-6"

MIN. CLEARANCE

BE BONELLI, ALUMINUM WITH POWDER-COATED FINISH.

ALL WINDOWS

OT



1031 Post Street San Francisco, CA 94109-5602

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 \Box

OUTLINE OF ADJACENT STRUCTURES ----

-BRONZE STANDING SEAM ROOF, TYP.

Job:

Revision:

JULY 12, 2011

Drawn:

KCK/DP

Scale:

|/8" = |'-0"

Date:

MAY 17, 2011

STUCCO, TYP.

NOTE: ALL WINDOWS TO BE BONELLI, ALUMINUM WITH POWDER-COATED FINISH.

1650 CHESTNUT STREE' SAN FRANCISCO, CA 94115

BLOCK

0482

LOT

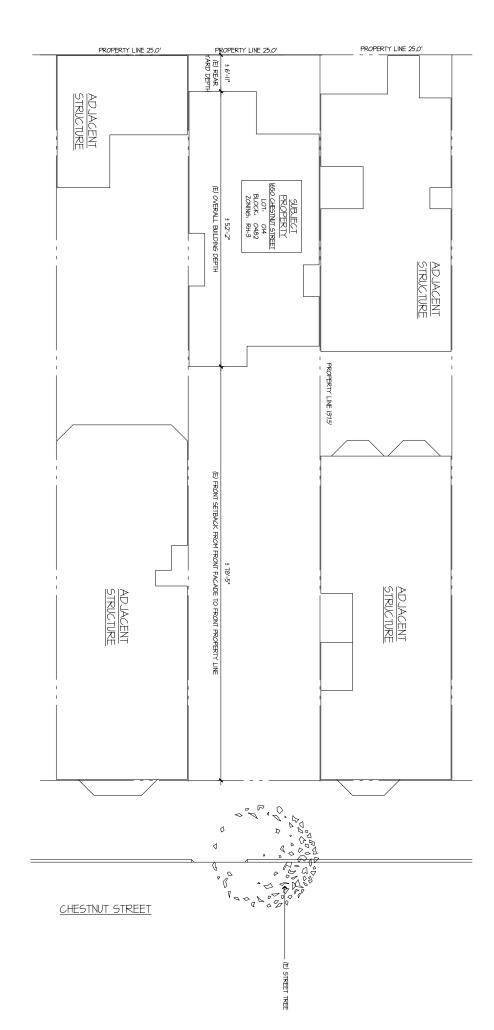
014

PROPOSED

NEIGHBORS ELEVATIONS NORTH & SOUTH WITH ADJACENT

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0



NORTH

Revision:

Drawn: KCK/DP

Job: 0922

Scale: |/8" = |'-0"

Date:

MARCH 28, 2011

t 415.776.1606 f 415.776.3972 www.dpaweb.com

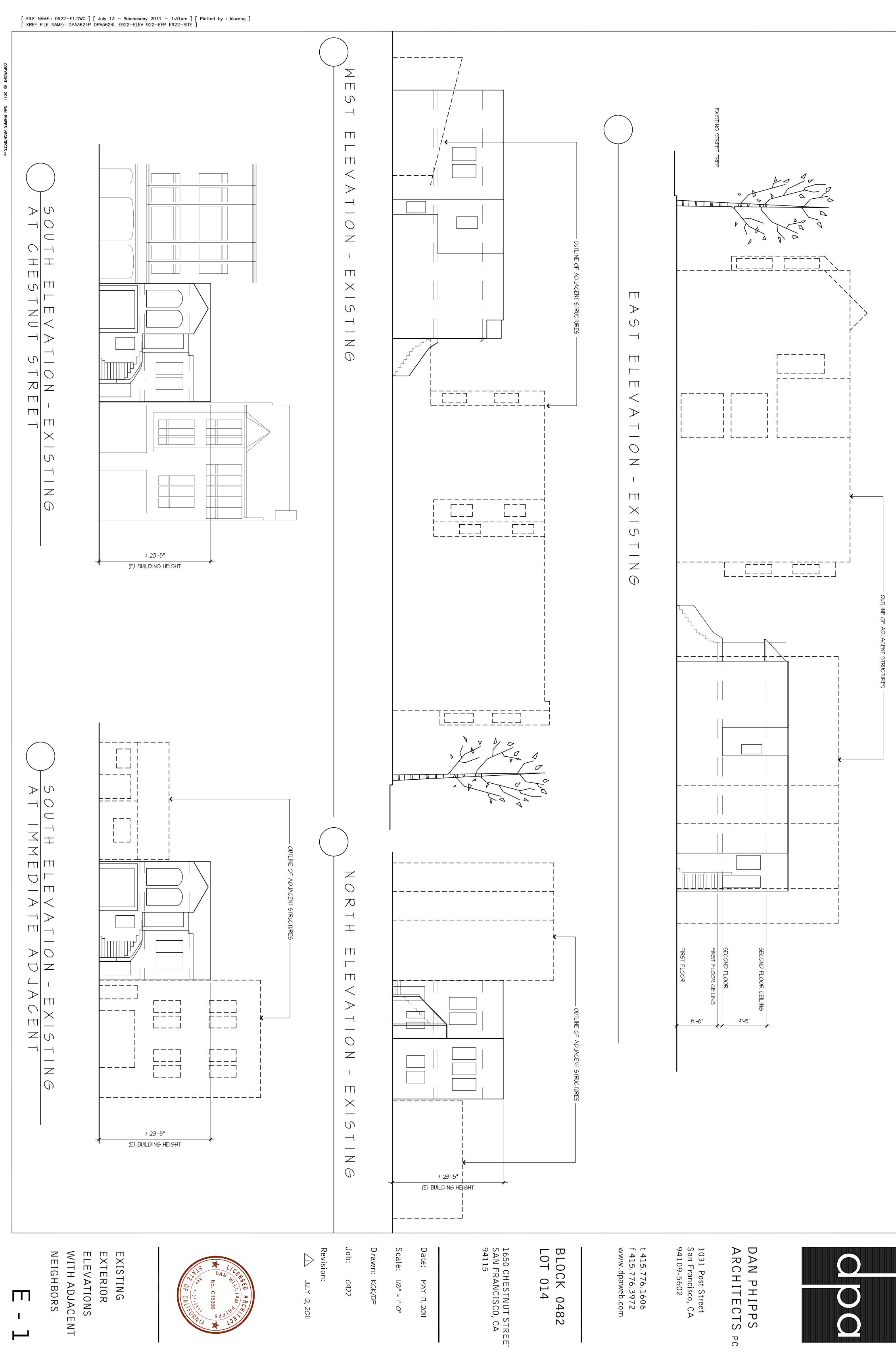
1031 Post Street San Francisco, CA 94109-5602

DAN PHIPPS ARCHITECTS PC

BLOCK 0482 LOT 014

1650 CHESTNUT STREET SAN FRANCISCO, CA 94115

SITE PLAN EXISTING



РC