



SAN FRANCISCO **PLANNING DEPARTMENT**

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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Information:
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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 24, 2011**
Time: **Beginning at 9:30 AM**
Location: **Planning Department
1650 Mission Street, Room 431**
Case Type: **Variance (Rear Yard, Noncomplying Structure,
Dwelling Unit Exposure, Open Space)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1650 Chestnut Street Cross Street(s): Octavia/Laguna Block /Lot No.: 0482/014 Zoning District(s): RH-3 / 40-X Area Plan: n/a	Case No.: 2011.0580V Building Permit: 2010.05.07.1961 Applicant/Agent: Stephen M. Williams Telephone: (415) 292-3656 E-Mail: smw@stevewilliamsllaw.com

PROJECT DESCRIPTION

The proposal is to enlarge the two-story, single-family residence at the rear of the lot into a three-story, single-family residence and to construct a new four-story, two-unit building at the front of the lot.

PER PLANNING CODE SECTION 134, approximately 62 feet (45% of the lot depth) is required for the subject property. The existing building is entirely within the required rear yard, and the proposed alterations require a variance from the rear yard requirement (Section 134) of the Planning Code.

PER P.C. SEC. 140, dwelling units must face a public street. The proposed building at the front of the lot would eliminate the existing building's exposure to the street, and therefore requires a variance from the dwelling unit exposure requirement (Section 140) of the Planning Code.

PER P.C. SEC. 188, a noncomplying structure may be altered if no new discrepancy is created. The existing building is a noncomplying structure as it was constructed within the required rear yard area. The proposed alterations would create new discrepancies that would be contrary to Section 188.

PER P.C. SEC. 135, 100 sf of private open space is required for the existing unit at the rear of the lot. Private open space is proposed on a roof deck of the rear building; however as the open space does not provide at least 15 feet in every horizontal dimension as required, an open space (Section 135) variance for the rear unit is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Glenn Cabreros** Telephone: **(415) 558-6169** E-Mail: glenn.cabreros@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0580V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **Building Permit Application No. 2010.05.07.1961 has been filed for the project, and the required Section 311 notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

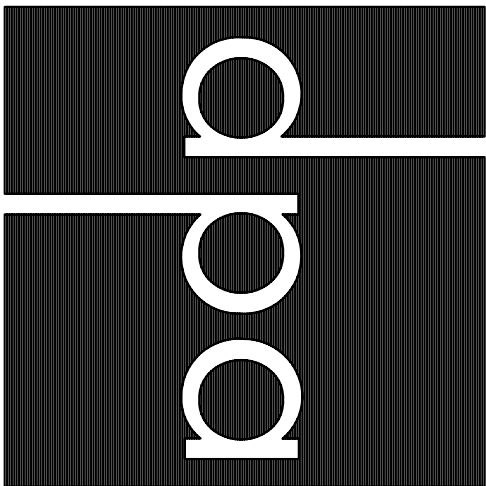
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



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BLOCK 0482
LOT 014

1650 CHESTNUT STREET
SAN FRANCISCO, CA
94115

Date: MAY 17, 2011

Scale: 1/8" = 1'-0", AS SHOWN

Drawn: KCKDP

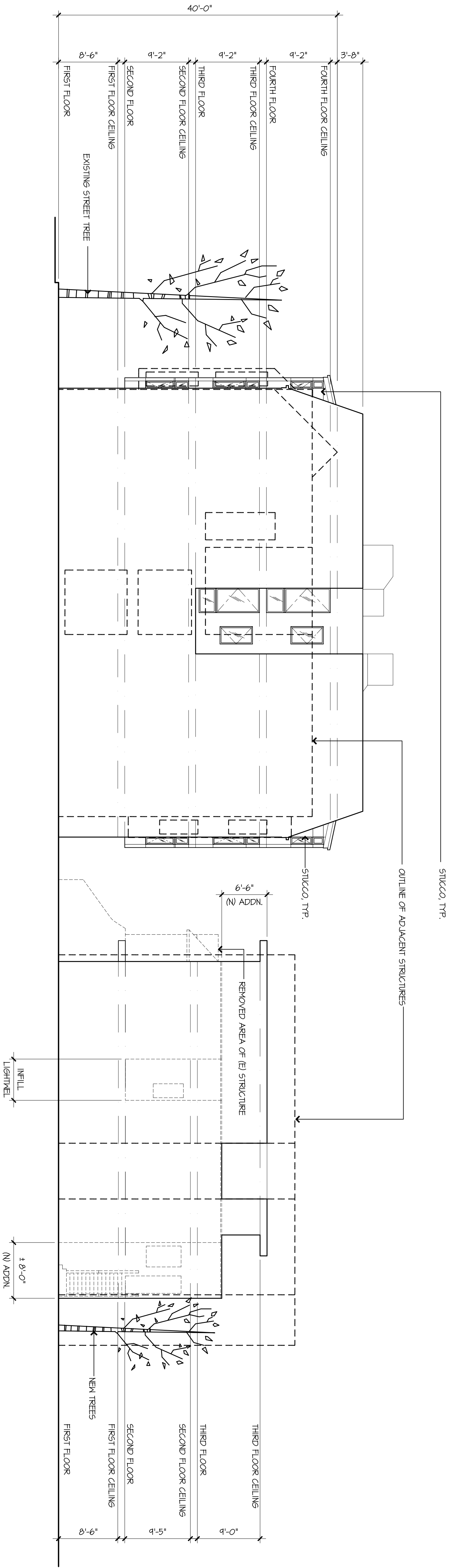
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Revision:

JULY 12, 2011

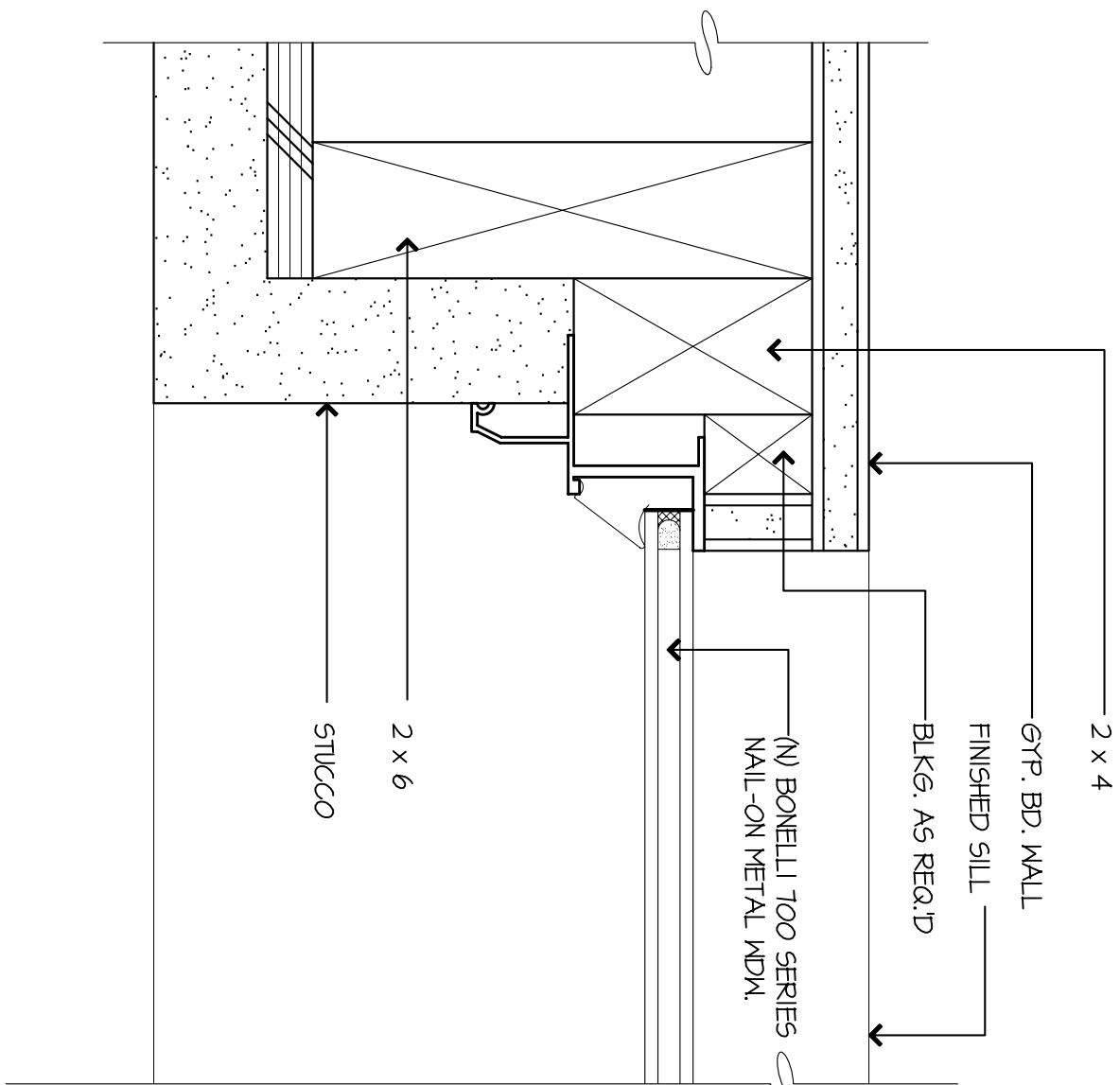


PROPOSED
EAST & WEST
ELEVATIONS
AND WINDOW
DETAIL



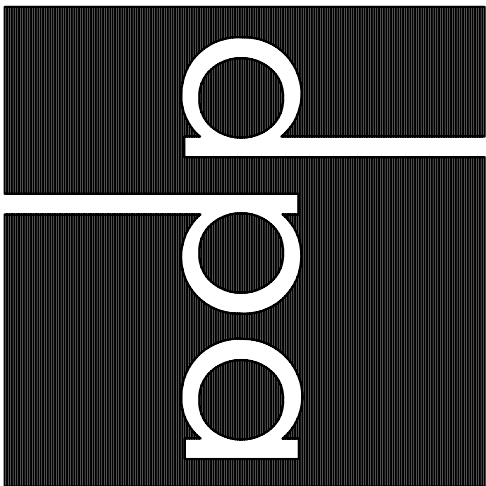
EAST ELEVATION - PROPOSED

NOTE: ALL WINDOWS TO BE BONELLI ALUMINUM WITH POWDER-COATED FINISH.



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0922-WDW-FACADE.dwg



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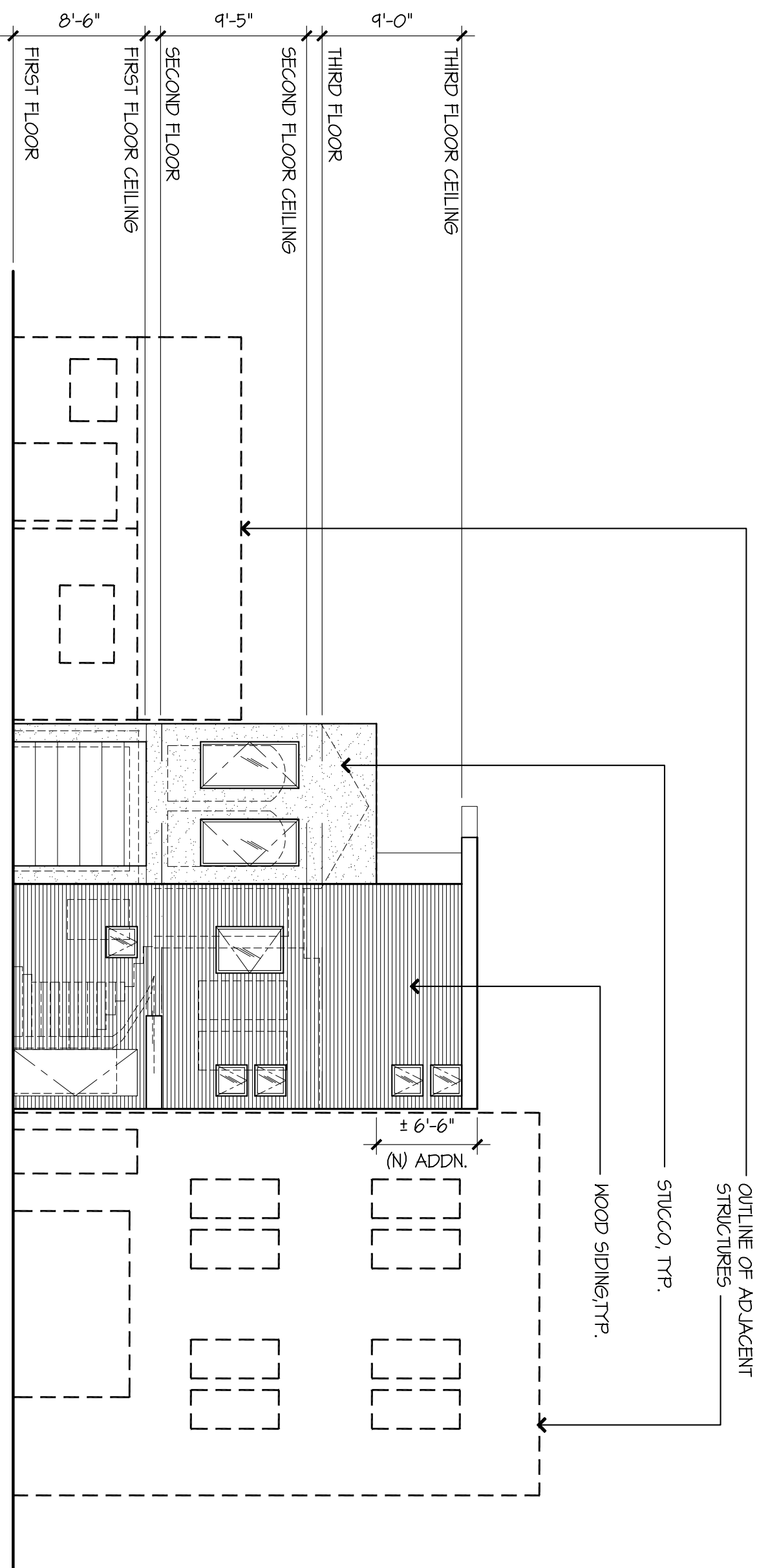
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Revision:

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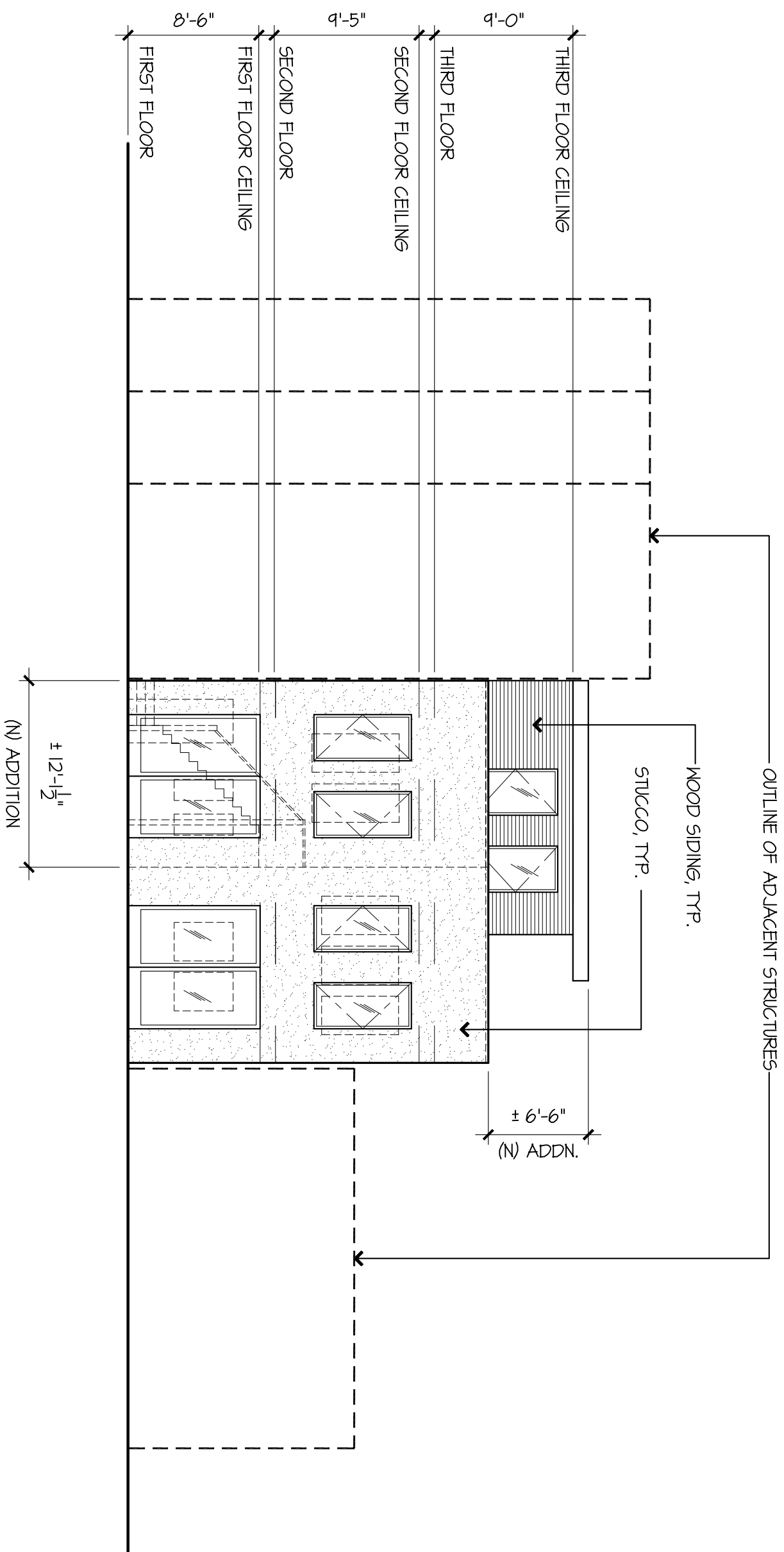
PROPOSED
NORTH & SOUTH
ELEVATIONS
WITH ADJACENT
NEIGHBORS



SOUTH ELEVATION - PROPOSED

REAR BUILDING

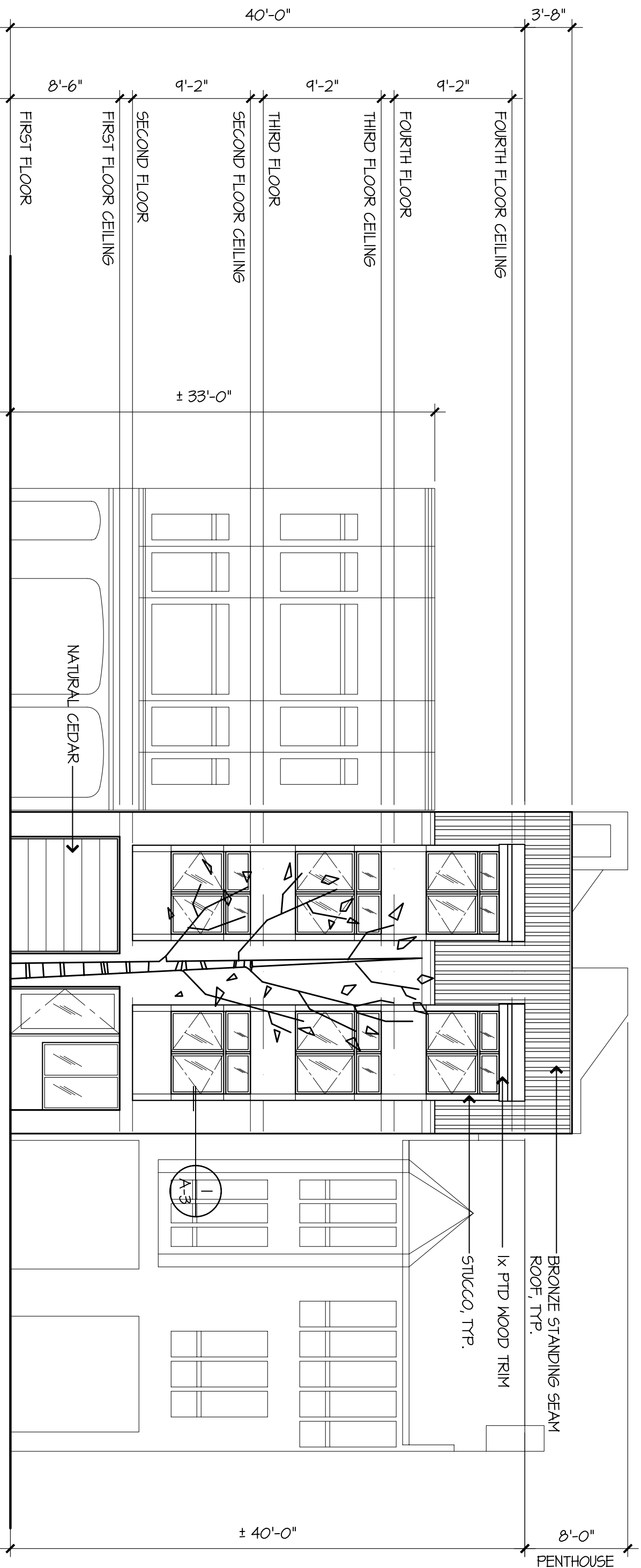
NOTE: ALL WINDOWS TO BE BONELL, ALUMINUM WITH POWDER-COATED FINISH.



NORTH ELEVATION - PROPOSED

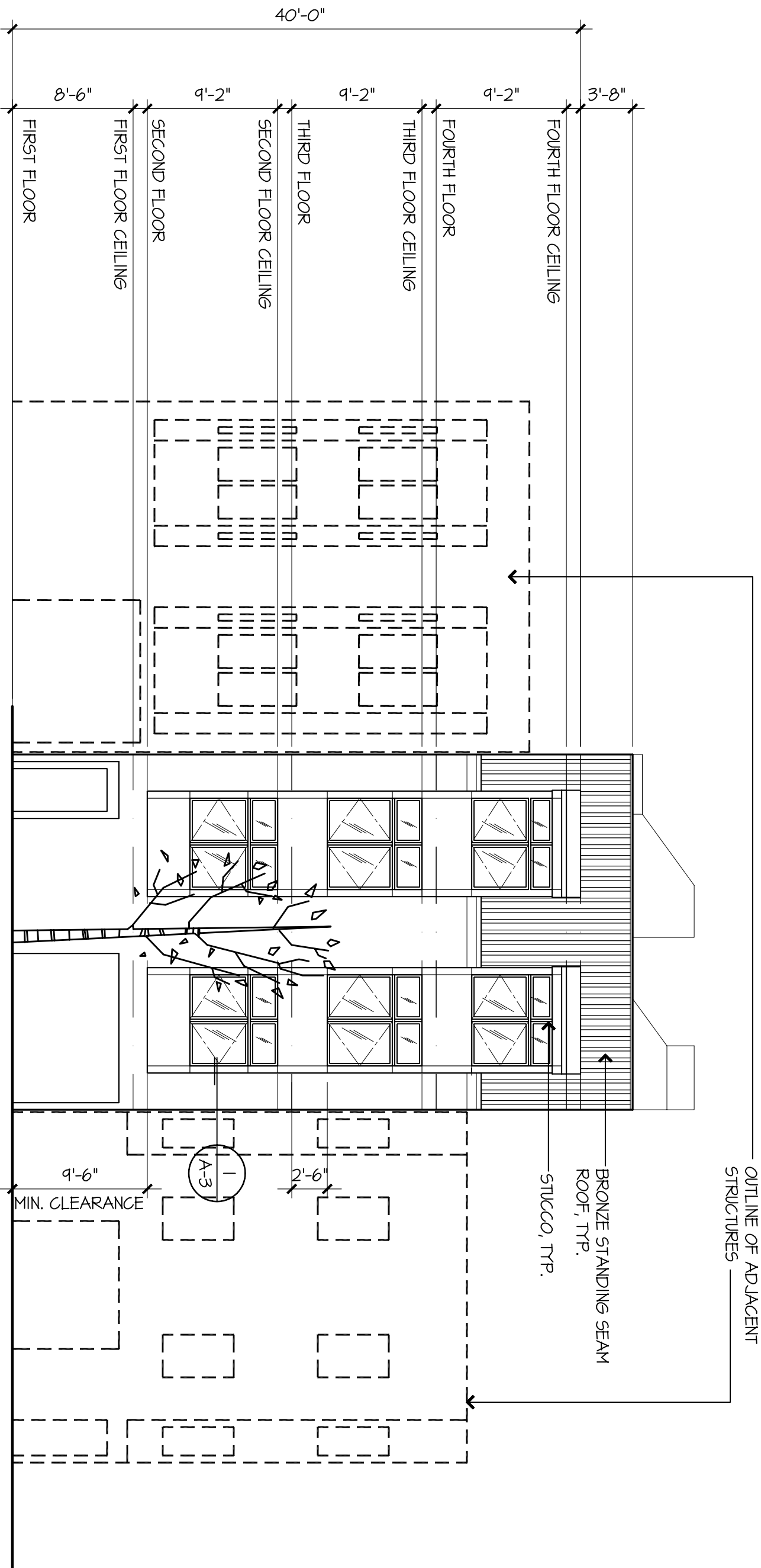
REAR BUILDING

NOTE: ALL WINDOWS TO BE BONELL, ALUMINUM WITH POWDER-COATED FINISH.



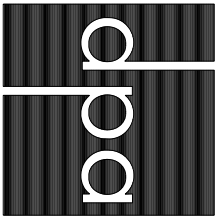
SOUTH ELEVATION - PROPOSED

NOTE: ALL WINDOWS TO BE BONELL, ALUMINUM WITH POWDER-COATED FINISH.



NORTH ELEVATION - PROPOSED

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1650 CHESTNUT STREET
SAN FRANCISCO, CA
94115

Date: MARCH 28, 2011

Scale: 1/8" = 1'-0"

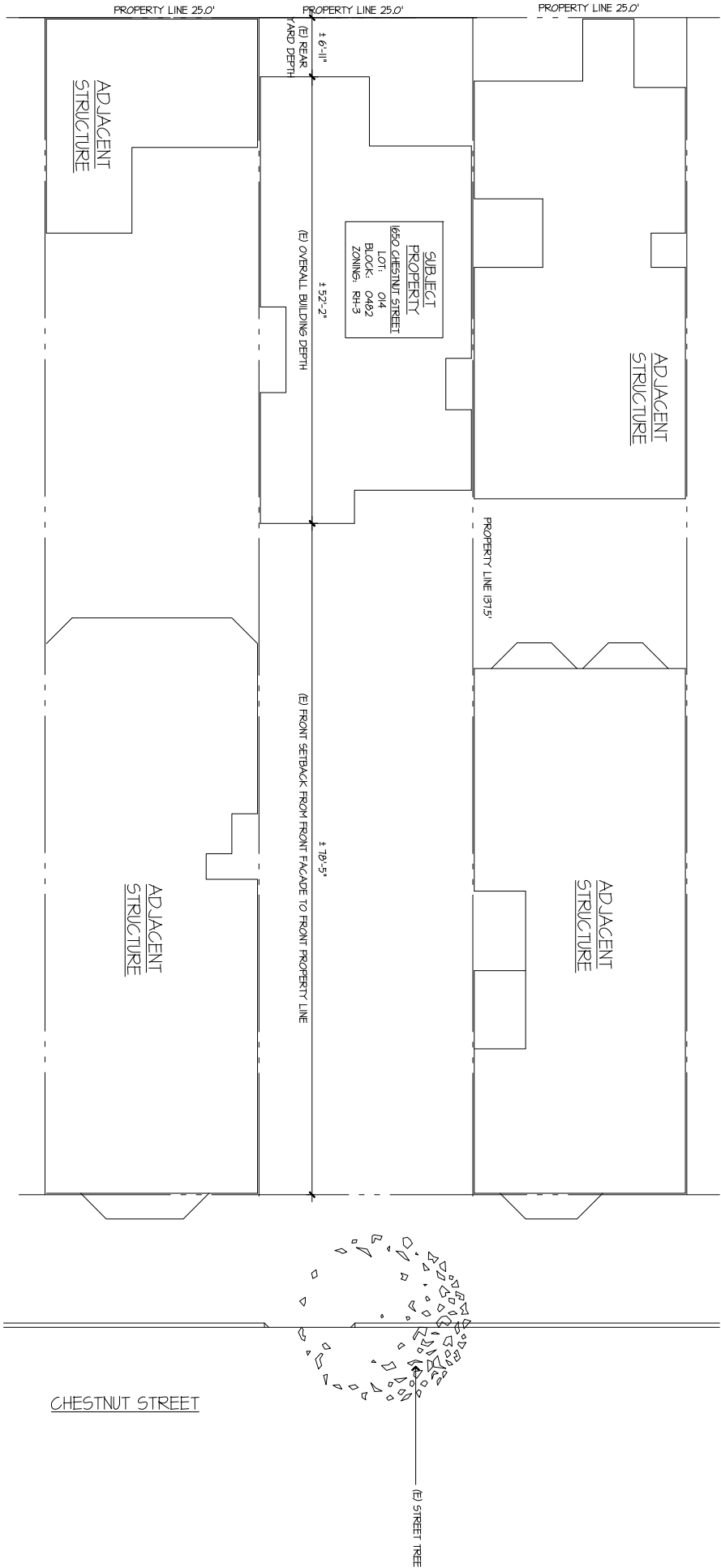
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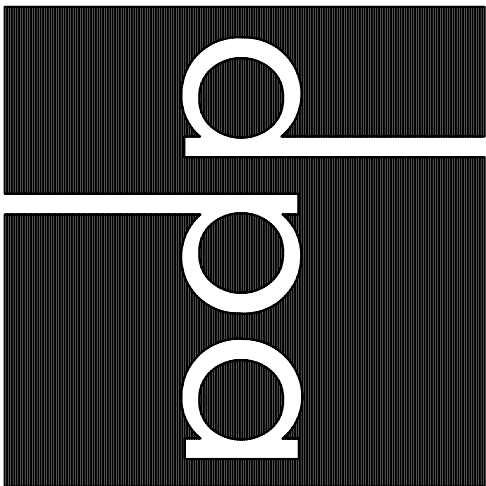
Revision:



EXISTING
SITE PLAN



SITE PLAN - EXISTING



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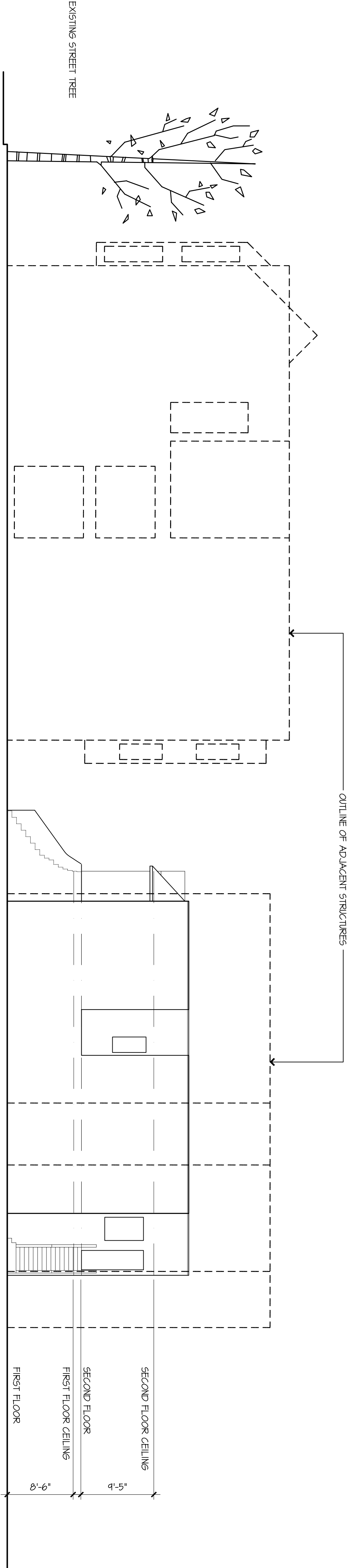
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Revision:

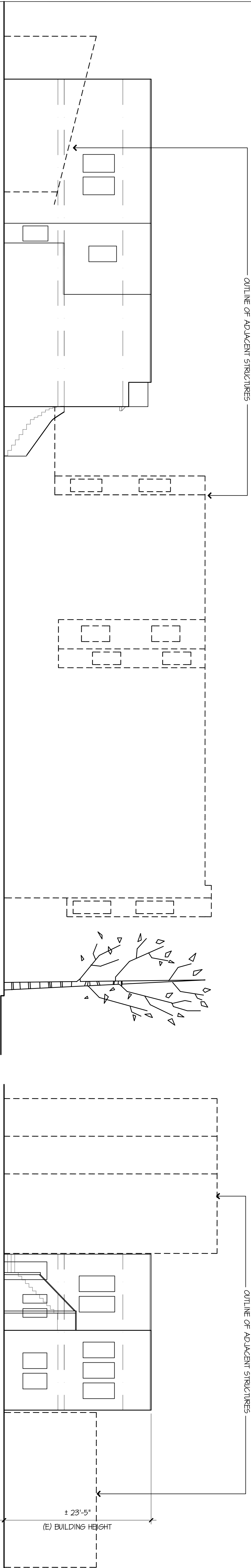
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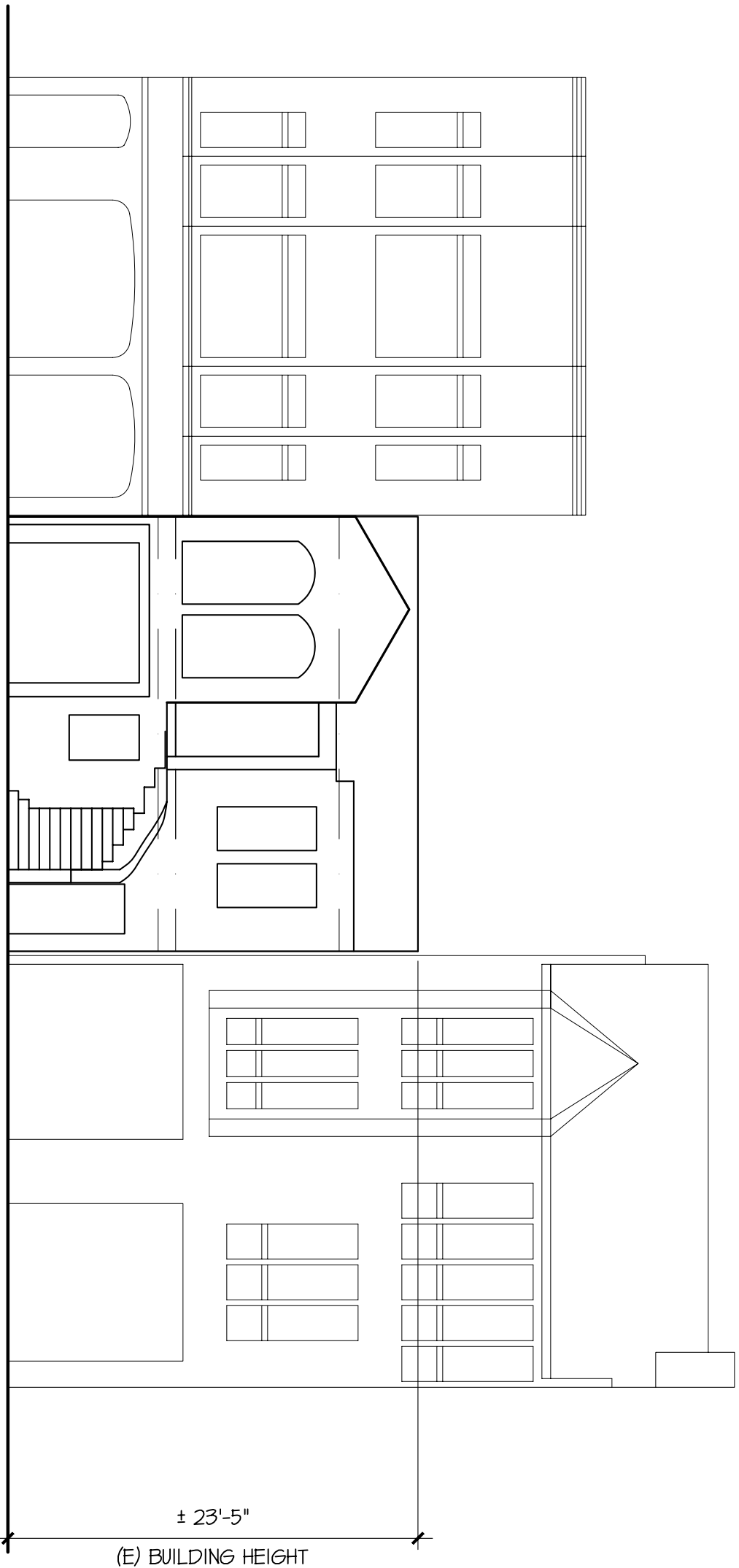
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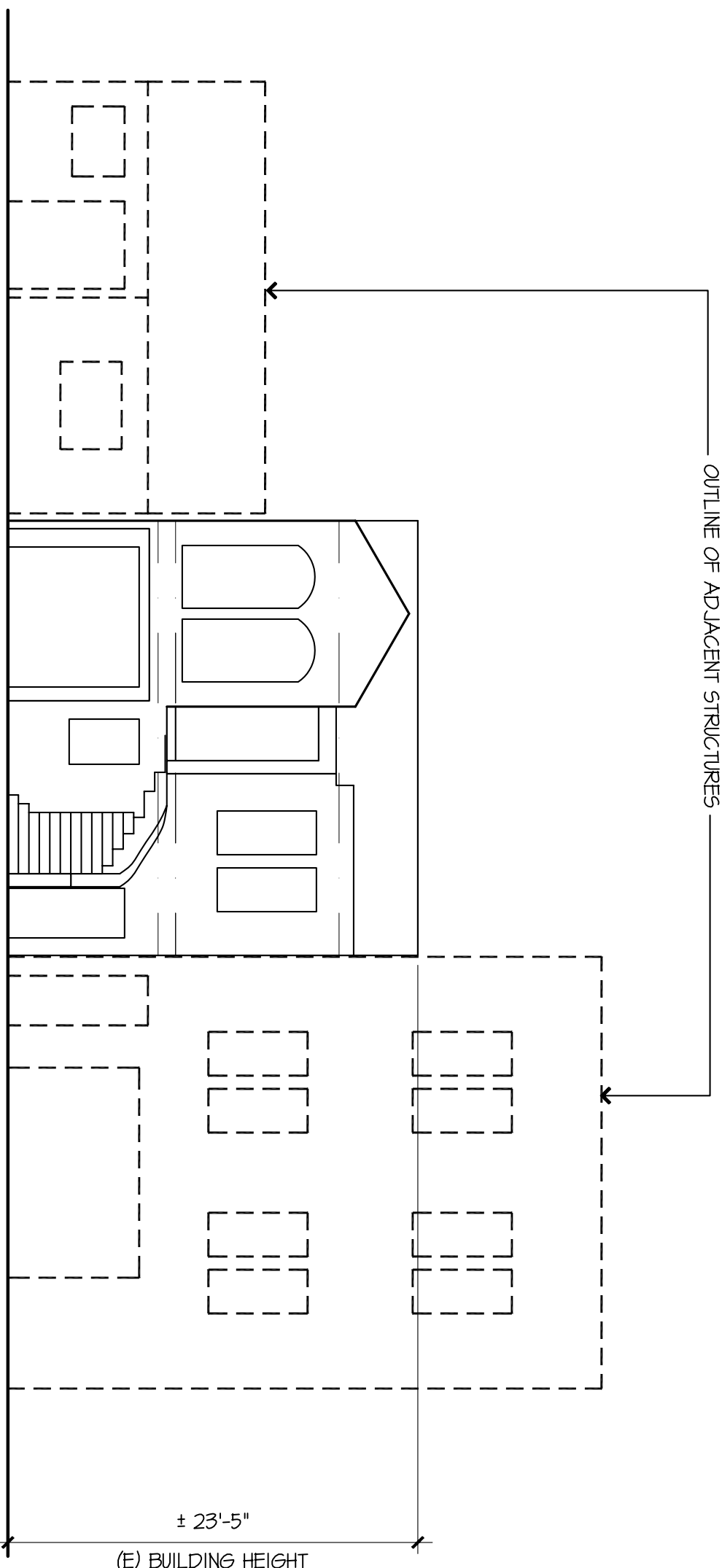
EAST ELEVATION - EXISTING



WEST ELEVATION - EXISTING



SOUTH ELEVATION - EXISTING



NORTH ELEVATION - EXISTING

AT CHESTNUT STREET

AT IMMEDIATE ADJACENT