



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 24, 2011**  
Time: **Beginning at 9:30 AM**  
Location: **Planning Department**  
**1650 Mission Street, Room 431**  
Case Type: **Variance (Open Space)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>3527 18<sup>th</sup> Street</b>	Case No.:	<b>2011.0527V</b>
Cross Street(s):	<b>Lapidge</b>	Building Permit:	<b>To be submitted</b>
Block /Lot No.:	<b>3588/001C</b>	Applicant/Agent:	<b>Reza Khoshnevisan</b>
Zoning District(s):	<b>RTO-Mission / 55-X</b>	Telephone:	<b>(415) 922-0200</b>
Area Plan:	<b>Eastern Neighborhoods</b>	E-Mail:	<b>Reza@siaconsult.com</b>
PROJECT DESCRIPTION			
<p>The proposal is to add two dwelling units to an existing 8 dwelling unit multi-family building.</p> <p><b>PER SECTION 135 OF THE PLANNING CODE</b> the subject property is required to provide a minimum of 100 square feet of private usable open space for each of the two proposed dwelling units. The existing building does not provide any Code-complying usable open space; therefore, the project requires a variance from the open space requirement (Section 135) of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b></p> <p>Planner: <b>Diego Sánchez</b> Telephone: <b>(415) 575-9082</b> E-Mail: <a href="mailto:diego.sanchez@sfgov.org">diego.sanchez@sfgov.org</a></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2011.0527V.pdf">http://sf-planning.org/ftp/files/notice/2011.0527V.pdf</a></p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property.

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.







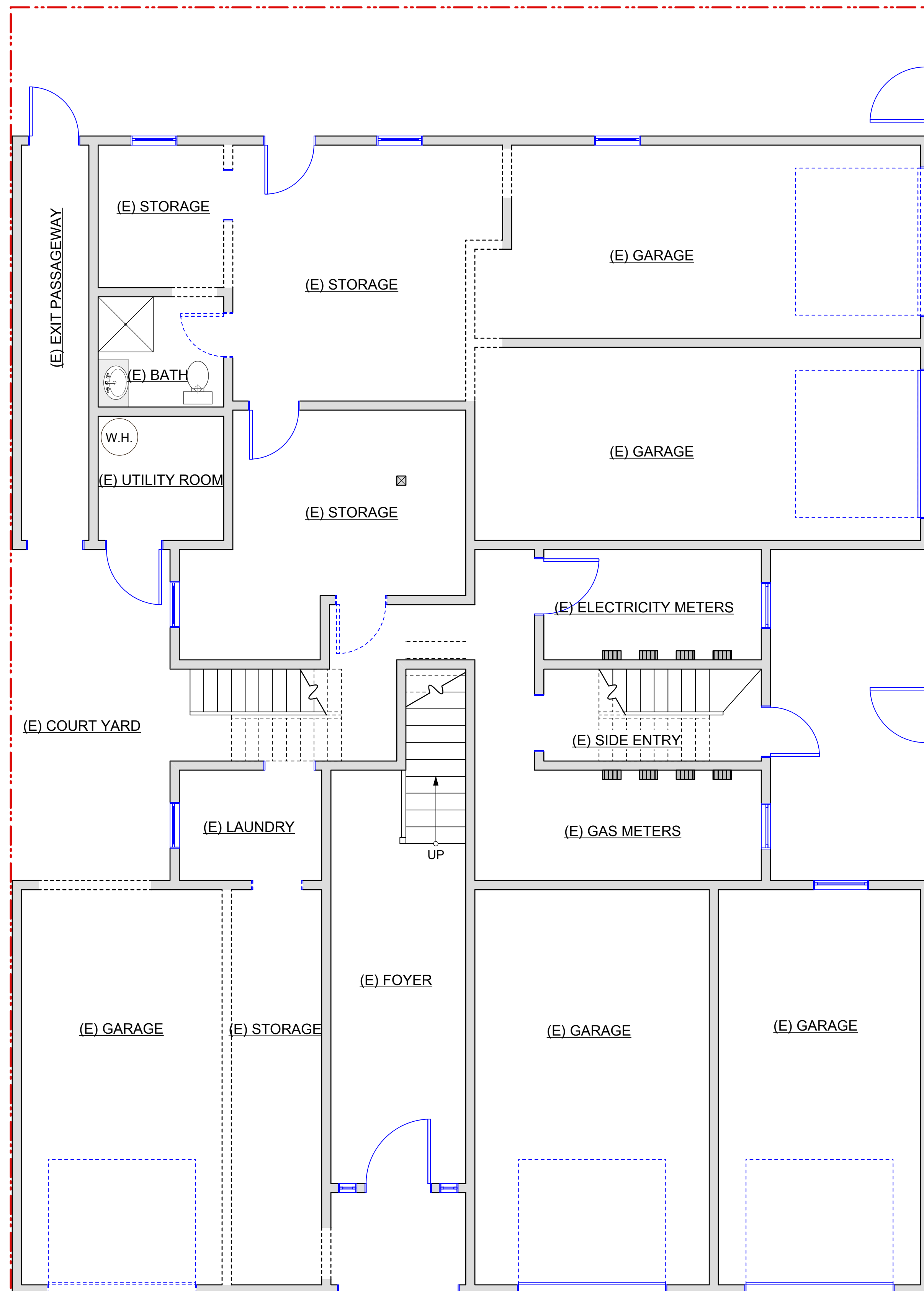
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1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
TEL: (415) 922.0200  
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WEBSITE: WWW. SIACONSULT.COM






## Existing & New First Floor Plan

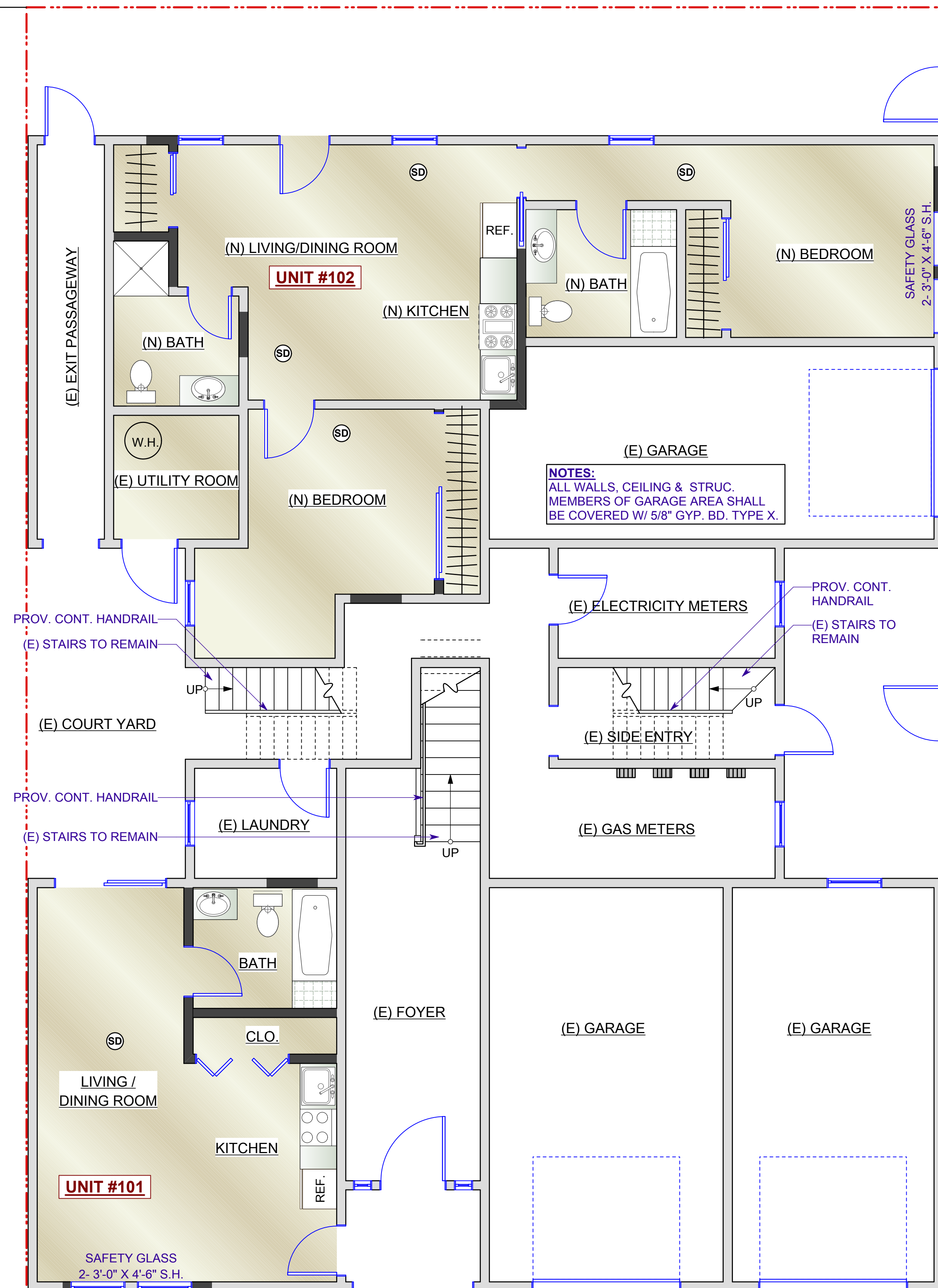
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**SHEET NO.**

## A-2.0


$$1/4'' = 1'-0''$$

	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP	
	PROPERTY LINE	
	(E) WALL TO BE REMOVED	
	(E) WALL TO MAIN	
	(N) WALL TO BE 1-HR FIRE RATED	


$$1/4'' = 1'-0''$$





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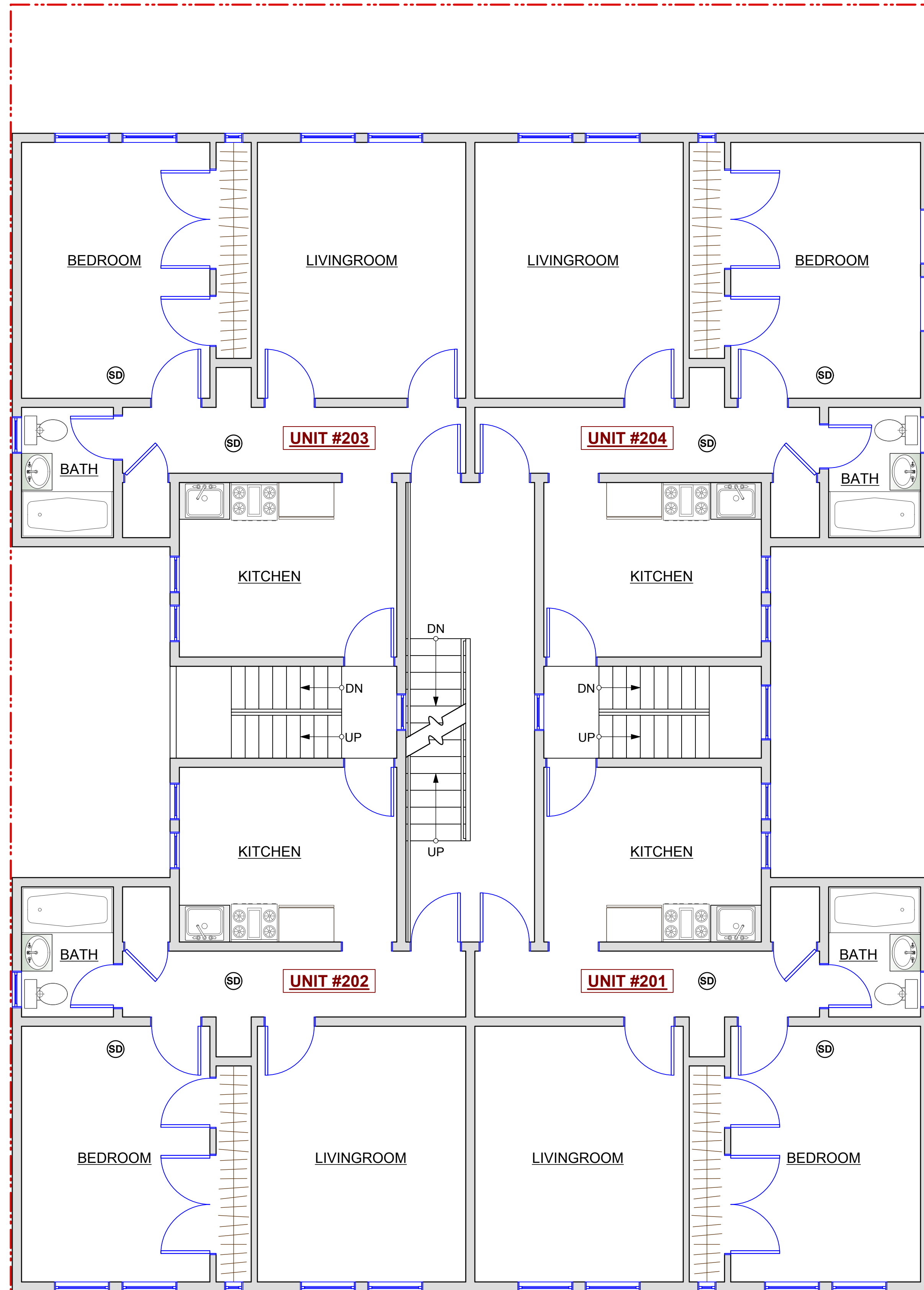
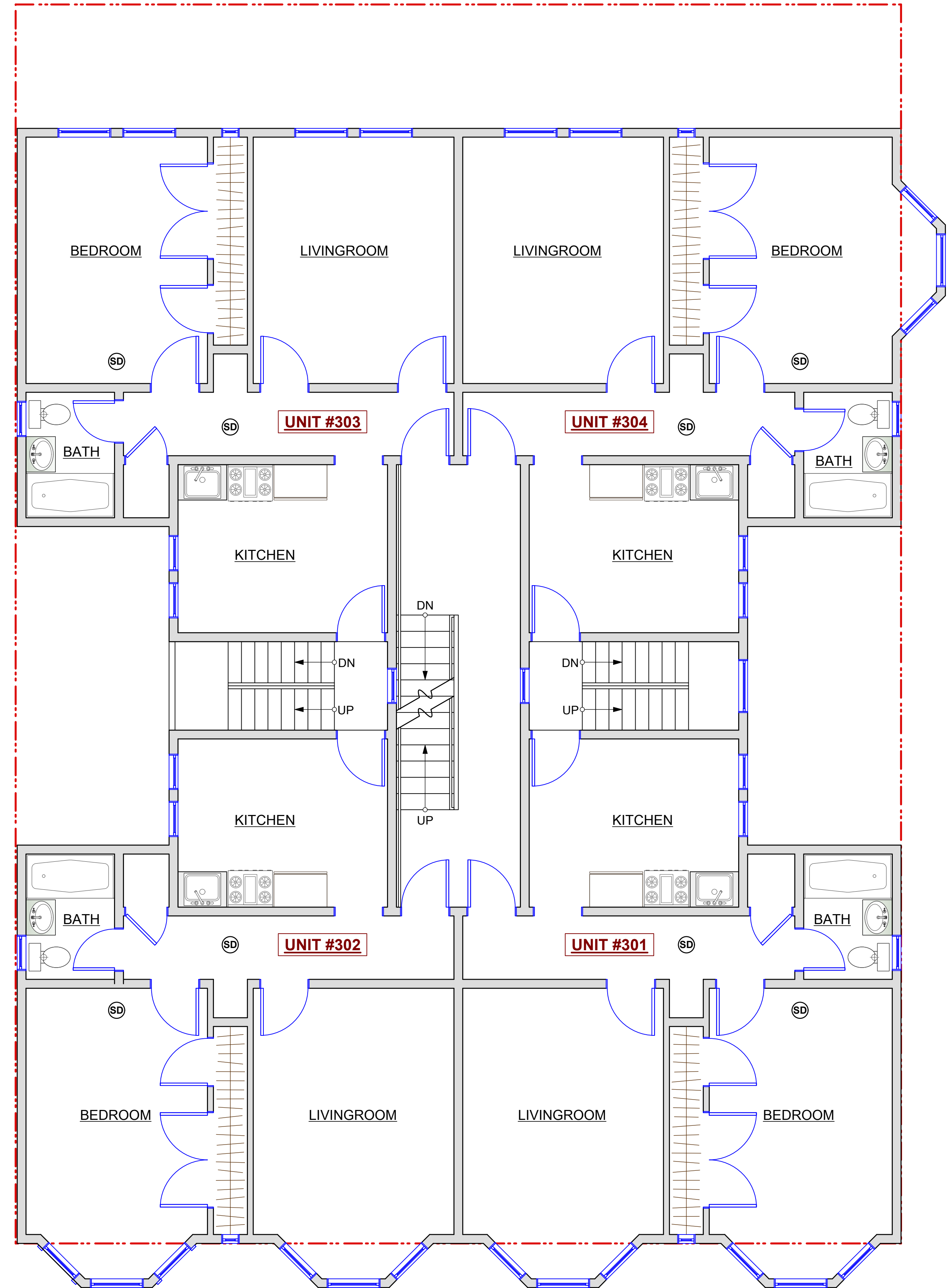
**Existing  
Second & Third  
Floor Plans  
(No Change)**

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NO.	DATE	DESCRIPTION
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**SHEET NO.**

## A-2.1


$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0''$$



ELECTRICAL NOTES:

ELECTRICAL SUBPANEL(S) ON FLOOR PLAN(S). PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS.  
PANELS IN FIREWALL SHALL BE RELOCATED OR PROPERLY PROTECTED TO MAINTAIN FIREWALL SEPARATION.

GFCI PROTECTED OUTLETS AT THE FOLLOWING LOCATIONS.  
(A) GARAGE  
(B) UNFINISHED BASEMENT, CRAWL AND STORAGE SPACES.  
(C) WITHIN 6' OF SINK OR BASIN  
(D) EXTERIOR (WATERPROOF)

RECEPTABLE OUTLETS AT THE FOLLOWING LOCATIONS.  
(A) 12' O.C. MAX. AND WITHIN 6' OF THE END OF WALLS.  
(B) ANY WALL SPACE 2 OR MORE FEET WIDE.  
(C) AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12'. SO THAT NO POINT IN ANY HALLWAY 10 FEET OR MORE IN LENGTH.

LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES AND EXTERIOR LIGHT FIXTURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

APPLIANCES FASTENED IN PLACE, SUCH AS DISHWASHERS, GARBAGE DISPOSALS, TRASH COMPACTORS, MICROWAVE OVENS, ETC., SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE OR LOAD SERVED.

RECEPTACLES FOR FIXED APPLIANCES SHALL BE ACCESSIBLE, NOT BEHIND APPLIANCE.

A CIRCUIT SUITABLE FOR THE LOAD WITH A MINIMUM OF 30 AMPERES IS REQUIRED FOR AN ELECTRIC CLOTHES DRYER.

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATION(S)."

PROVIDE ARC-FAULT INTERRUPTED OUTLETS IN BEDROOMS.  
NEW SMOKE DETECTORS TO BE INNER CONNECTED SO IF ONE DETECTOR ACTIVATES ALL UNITS SOUND ALARM.

ENERGY NOTES:

MIN. 50% OF KITCHEN LIGHTING WATTAGE SHALL BE FLUORESCENT.  
INCANDESCENT LIGHTING SHALL BE CONTROLLED BY A SEPARATE SWITCH (CNC 150(K) 2).

PROVIDE FLUORESCENT FIXTURES FOR BATHROOMS, LAUNDRY, UTILITY ROOMS AND GARAGES, OR PROVIDE A MANUAL ON / OCCUPANCY SENSOR CONTROL FOR ALL INCANDESCENT FIXTURES ( DIMMERS DO NOT QUALIFY) ( CNC 150 (K) 3).

PROVIDE FLUORESCENT FIXTURES FOR ALL ROOMS, INCLUDING CLOSETS 70 SQ. FT. OR MORE ( OTHER THAN KITCHEN, BATHROOM, LAUNDRY, UTILITY ROOM AND GARAGES), OR PROVIDE OCCUPANCY SENSORS OR DIMMERS (CNC 150 (K) 4).

ALL RECESSED LIGHTING FIXTURES INSULATED IN INSULATED CEILINGS SHALL BE INSULATION COVER (I.C.) AND AT (AIR TIGHT) RATED (CNC 150(K) 5).

FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS:  
INSTALLATION OF FACTORY-BUILT AND MASONRY FIREPLACES SHALL INCLUDE:  
(A) CLOSABLE METAL OR GLASS DOORS.  
(B) COMBUSTION AIR INTAKE (6 SQ. IN. MINIMUM) TO DRAW AIR FROM OUTSIDE OF THE BUILDING DIRECTLY INTO FIRE BOX. THE COMBUSTION AIR INTAKE MUST BE EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE AND LIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE.  
EXCEPTION: AN OUTSIDE COMBUSTION AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE IS NOT LOCATED ON AN EXTERIOR WALL.  
(C) A FLUE DAMPER WITH AN READILY ACCESSIBLE CONTROL..  
EXCEPTION: WHEN A GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN IF REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR THE STATE MECHANICAL CODE.

PLUMBING AND MECHANICAL NOTES:

AIR DUCTS SHALL BE NO 26 GA. GALVANIZED SHEET METAL OR A FIRE DAMPER PROVIDED WHEN THE DUCTS PENETRATE THE OCCUPANCY SEPARATION BETWEEN THE GARAGE AND THE HOUSE.

SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE.

NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS.

SIZE OF WATER CLOSETS. MAXIMUM ALLOWABLE 1.6 GALLONS PER FLUSH.

SHOWER & TUB/SHOWERS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION. (CPC 415.5)

DOORS & PANELS OF SHOWERS AND BATHTUBS ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED. LAMINATED SAFETY GLASS OR APPROVED PLASTIC.

TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.

SANITATION NOTES:

SHOWER STALL FINISH SHALL BE CERAMIC TILE EXTENDING 70 INCHES ABOVE THE DRAIN INLET

MOISTURE RESISTANT UNDERLAYMENT (e.g. WATER RESISTANT GYP. BD.) TO A HEIGHT OF 70 INCHES ABOVE THE DRAIN INLET (CBC 1210.3)



Existing North Elevation @ 18th Street

1/4" = 1'-0"



New North Elevation @ 18th Street

1/4" = 1'-0"

PROJECT NAME

3527 18TH STREET  
SAN FRANCISCO, CA



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SHEET TITLE

Existing & New  
North Elevations  
@ 18th Street

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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DRAWN	R.L.
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CHECKED	R.K.
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DATE	10/25/2010
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REVISED DATE	12/15/10
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JOB NO.	10-1452
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SHEET NO.

A-3.0



