



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

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NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Dwelling Unit Exposure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 27 Lexington Street Cross Street(s): Sycamore / 18th Streets Block /Lot No.: 3576/040 Zoning District(s): RTO-Mission / 45-X	Case No.: 2011.0519V Building Permit: 2010.0603.3762 Applicant/Agent: Robert King Telephone: (415) 308-4062 E-Mail: bob50@pacbell.net

PROJECT DESCRIPTION

The proposal is to create a fifth dwelling unit on the ground floor of an existing four-unit building. There will be no building expansion.

PLANNING CODE SECTION 140 requires windows of at least one room that meet the 120-square-foot minimum floor area requirement in each dwelling unit in any use district to face directly on an open area of a public street, public alley, side yard of at least 25'-0" in depth, or a rear yard meeting the requirements of the Planning Code.

The project proposes the addition of a fifth dwelling unit in a building that does not comply with the rear yard requirement of the Planning Code. The minimum rear yard requirement for the subject property is 20'-0", where only a 15'-0" deep rear yard exists. The new unit faces onto a non-complying rear yard; therefore, a Variance for dwelling unit exposure is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Ben Fu** Telephone: **(415) 558-6613** E-Mail: **ben.fu@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0519V.pdf>

中文詢問請電: **415.558.5956**

Para información en Español llamar al: **415.558.5952**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

01000 GENERAL CONDITION S

1.01 Building code compliance and special inspections

A. THIS PROJECT IS TO CONFORM TO ALL ADOPTED CODES. REFER TO PROJECT CONFORMANCE A0.1 FOR CURRENT/ADOPTED CODES.
B. SPECIAL INSPECTIONS: Special inspection(s) if requested by the building officials will be performed by a recognized Agency as outlined in the CBC 010 list of agents. Prior to permit issuance a Special Inspection Form must be submitted to the building department with the required signatures.
C. Structural observations by the engineer of record is required to assure conformance to the approved plans

1.02 Life safety

A. Provide smoke detectors installed per manufacturers specifications, complying with CBC Section 310.9.1. Smoke detectors must be equipped with an audible signal when batteries are low

B. locate smoke detectors in every bedroom and centrally located hall accessing bedrooms. Additional smoke detectors are to be located at the top of each stairway leading to bedrooms or in basements, or lower levels containing bedrooms and one on each floor level centrally located. The smoke detector shall sound an alarm audible in all bedrooms. In new construction the detectors shall receive primary power from the building wiring
C. Provide one hour separation between attached garage and dwelling. Use 1 3/8" min. solid core, 20 minute rated, self-closing door from garage to dwelling minimum

1.03 Egress facilities

A. In basements and all bedrooms provide a minimum of one operable door or window conforming with the CBC Section 310
B. The minimum escape / rescue window net opening is to be 5.7 square feet. The minimum net operable height is to be 24". The minimum net operable width is to be 20". The maximum finished sill height is to be 44" above the finished floor
C. At least one doorway from the dwelling is to be a minimum 36" wide not less than 6'-8" high installed to provide a minimum of 32" of clear opening width

1.04 Access

A. Required underfloor access for all wood floor types must be no less than 18"x24". This opening must be maintained clear of any obstructions
B. Underfloor clearances must be maintained as follows: earth to floor joists or structural floors must be 18" minimum, earth to floor girders must be a minimum 12"
C. Required attic access must be no less than 22"x30". This opening must be maintained clear of any obstructions. 30" clearance at or above the access point must be provided and maintained. Attics with less than 30" of maximum clear height will not require access

03000 CONCRETE

3.01 General Requirements

A. Concrete floor slabs placed directly on earth to have a minimum thickness of 3.5" unless noted otherwise, with a minimum reinforcement of either 6"x6", 10ga. by 10ga. wire woven fabric or, #3 bars placed at 18" on center each way. Refer to plans for section requirements and specified reinforcement

3.02 Dampproofing / Waterproofing

A. Dampproofing and (or) waterproofing under concrete floor slabs is to be continuous. Use 10mil polyvinyl chloride moisture barrier under finished floor slabs typical. refer to plans for placement detail requirements. For waterproofing refer to plans for retaining wall detail requirements

06000 WOOD AND PLASTIC

6.01 Framing

A. Framing to conform with all requirements of the CBC. Refer to sheet A.3.3 for typical framing details and framing and nailing requirements
B. All framing lumber to conform with WCLB grading rules and be grade marked
C. Engineered lumber selections are to be noted on plans. all other framing lumber to be Construction, or Standard Grades. Temporary strong and blocking may be Economy Grade. No Utility Grade to be used in framing
D. Wood and earth separation must be maintained. Wood used in construction must be pressure treated if within 6' of earth. Wood plates where there is no vapor barrier below 3" minimum concrete must be pressure treated. Piers and posts within 6' of earth must be pressure treated
E. Headers and linels are to be designed to support dead and design live loads, refer to header schedule for requirements
G. Unless noted otherwise all exterior and interior wall lines are to be braced at 25'-0" on center longitudinally and transversely. refer to CBC Section 2320
H. Fire blocking to be installed within concealed spaces of stud walls and partitions, turned spaces and soffits, ceiling and floor levels and 10'-0" intervals in floor and ceiling spaces, all interconnecting frame spaces, stair stringer to wall frame and top and bottom of stairs, and chimney chasses to attics
J. Install draft stopping if an interstitial space or attic is larger than 1000 square feet. The draft stop is to be installed so as to divide the space equally

6.02 Ventilation

A. Under floor areas must be ventilated. Provide a minimum 1:150 square foot open net area. Use galvanized .25" x .25" screened vents.
B. Attic ventilation is to be maintained. Provide insulation baffles as needed to allow free vent space at freeze blocking. Ventilation to be 1/150 of area to be vented. Space vents diagonally opposed to facilitate cross ventilation. Vents must be screened with minimum .25" sq. corrosion resistant screen

6.03 Decay and Termite Protection

A. Horizontal and vertical structural members used in exposed decks, balconies, and porches or supporting moisture permeable floor or roof must be pressure treated or materials of natural decay resistance. CBC SECTION 2306
B. Wood and earth separation. wood used in structures placed nearer than 6" must be treated wood or wood of natural decay resistance. Where wood is placed on concrete slabs placed on earth it must be treated wood or wood of natural decay resistance, unless the wood is not subject to water-splash or is placed on a slab with a minimum thickness of 3" with an impervious membrane installed between the earth and concrete. The wood may then be untreated
C. For allowable decay resistant species and decay resistance requirements refer to CBC: Chapter 23: Section 2302

07000 THERMAL MOISTURE

7.1 Weather protection

A. At all (N) exterior wall and nonpenolated wall sections install approved moisture resistant asphalt saturated rag felt barrier under exterior wall coverings
B. Flashing and counter flashing are to be minimum .06 GA. galvanized steel metal, unless noted otherwise
C. Exterior decks, roofs, exterior stairs and balconies are to be sloped minimum 1/4":12".
D. Waterproofing to be installed as specified in the drawings, and according to selected manufacturers specifications
D. Foundation basement walls are to be waterproofed as specified in the drawings
E. All fasteners used for exterior trim and siding are to be corrosion- resistant, and rated for the use intended

7.2 Waterproofing

A. All exterior decks separating interior space are to be waterproofed with membrane systems and materials approved by local jurisdiction, selected for end use and installed as recommended by the manufacturer. Flood testing is required on all waterproof membranes for a minimum 24hrs. or as required by local jurisdiction. prior to cover
B. All waterproof membranes are to be set on a minimum substraight slope of 1/4" :12"
C. Custom shower lining materials are to conform with the approved standards acceptable to the local jurisdiction. Slope shower subfloor minimum 1/4":12" Use two piece drain with integral weep holes, membrane fully engaged within drain camp. Return membrane beyond curb 6" and 18" up associated interior shower walls with approved moisture barrier lapped over membrane to top of proposed shower wall finish. Provide a minimum 4x5.5" high shower curb unless noted otherwise For shower door refer to 8.4 Glazing. refer to CBC SECTION 807 for additional requirements

7.3 Building Envelope Measures

A. Insulation conforming with the mandatory measures as outlined on sheet A0.2 MF-1R is to be installed throughout (E) and (N) framing per manufacturers recommendations
B. Wall, Ceiling, and Floor insulation is to be fiberglass batt type with a flame spread rating of 25 and a smoke rating not to exceed 450. Use of vapor barrier is optional
C. All doors leading from climate controlled rooms to non-climate controlled space to have fully gasketed joints and thresholds conforming with local and state energy requirements
D. All windows are to be dual glazed, fully gasketed and compliant with local and state energy requirements
E. All exterior doors are to be either dual glazed tempered glass, or insulated solid core types conforming with local and state energy requirements.
F. Provide continuous insulation protection during course of construction and after, from any form of mechanical, moisture, sun light and equipment maintenance.

08000 DOOR AND WINDOW

8.1 Doors

A. In (N) construction at least one door is to be 36" wide minimum and not less than 80" high, with a minimum 32" clear exitway after door installation.
B. For all exterior doors refer to note: A0.1/7.3 for minimum required construction details and sheet A0.20850 additional door notes and T.24 energy requirements. For glazed exterior doors the minimum U-Factor is to be .57 minimum or as noted on sheet A0.2/CF-1R Fenestration
C. Shower doors must open outward

8.2 Door Landings

A. All doors to have a level landing on both sides of the door equal in width to the door, stair or exitway whichever is greater and the length is to be 36" minimum. Exterior landings to have a maximum slope for drainage of no more than 2%.

8.3 Windows

A. Refer to A0.2 08600 for window construction detail requirements and A0.2/CF-1R Fenestrations for energy requirements. Minimum U-Factor to be .57 unless noted otherwise on sheet A0.2/CF-1R Fenestration.

8.4 Glazing - Hazardous Locations

A. All glazing as outlined below applied to human impact must be safety rated, bear a permanent label of the manufacturer or installer stating safety glazing is used in the installation/ assembly.
A.1 Glazing in ingress or egress doors following condions :
A.2 Glazing in fixed and sliding doors other than wardrobe doors
A.3 Storm door glazing
A.4 Glazing in unframed swing door assemblies
A.5 Glazing within 60" of the drain inlet or floor in bathrooms or spas
A.6 Glazing within 24" arc of a door or operable panel and within 60"
A.7 Glazing in individual fixed or operable panel except for items A.5 and A.6 and meets all the
A.7.1 Exposed area of an individual pane greater than 36"
A.7.2 Exposed bottom edge less than 18" above the floor.
A.7.3 Exposed top edge greater than 36" above the floor
A.7.4 One or more walking surfaces within 36" horizontally of the plane of glazing
A.8 Glazed railings regardless of height including balusters and infill panels. Glazed railings maybe tempered, Laminated tempered, or laminated heat strengthened glass of the finished floor or safety surface
B. All required safety glazing unless noted otherwise in the documents, to be tempered glass and bear the required permanent label as outlined above.

09000 FINISHES

9.01 Gypsum

A. Install gypsum wall board perpendicular to framing members with all joints over framing except those parallel to framing. Except for the rated walls make moderate contact joints. For fasterener requirements refer to A0.2 WALL TYPES
B. Attached garage to be 1H-the rated 5/8" type X gypsum between garage and dwelling. Fire separation to be both horizontal and vertical typical.
D. Use waterproof gypsum for bathroom walls only.
C. Gypsum interior wall finish to be level five as defined by USG Construction hand book fifth edition. Garage finish to be level 4.
E. Mechanical closet to be finished with 5/8" type X gypsum wall and ceilings understairs with level 4 finish minimum typical.

9.02 Precision Masonry Tile / Stone Underlayment

A. Use precision masonry wall panels as manufactured by USG with manufacturers specified fasteners over approved moisture barrier for tub surrounds. Refer to note 1.2 for shower/ shower pan waterproofing requirements
B. Shower and tub shower surrounds to have Precision Masonry Underlayment set at 70" minimum high from finish floor.

9.02 Sanitation

A. Wall finishes in bathroom tub/shower surrounds and showers are to be hard smooth nonabsorbent materials at a minimum finished height of no less than 70". Acceptable materials are tile, stone, marble, and certified manufactured surrounds meeting the requirements of USC Section 807. Approval from the local jurisdiction is required for alternate materials

15000 MECHANICAL

15.01 Faucet

A. All (N) faucet mixing valves and shower heads are to be pressure temperature balance type valves to prevent water scalding and be certified by the California Energy Commission

15.02 Equipment

A. All (N) HVAC equipment, FAU equipment, water heaters, shower heads, and faucets to be certified by the California Energy Commission and comply with current CPC Standards
B. THERMOSTAT (s) are to be set back capable, conforming with local and state energy requirements.
C. WATER HEATER: Gas fired water heaters with listed "B" vent equipped with listed over-temperature safety protection device, and temperature and pressure relief device, exterior drained, 46" above finished grade min. If water heater is in the dwelling, provide drain pan and direct waste to exterior + 6" above grade. Confirm combustion air requirements with CPC Chapter 5 and table 5-1, prior to installation. Maintain all minimum clearances as outlined by the manufacturer for proper installation. Provide double earthquake straps at third points secured directly to framing. At lower third point maintain 4" clearance from controls.
D. Gas fired water heaters located in garages to be mounted on 18" platform.
E. FUE: Maintain 36" clearance from combustion flue termination to property line minimum and 36" clearance from any door or window minimum.
E. Gas fired appliances located in garages in the normal path of vehicle travel to be protected by a vehicle barrier.

15.03 Shower Stalls

A. Use two piece drain with integral weep holes, membrane fully engaged within drain camp. Placement of any shower controls must be such that the user does not cross the water stream to adjust for temperature. Refer to CBC: 4.12 for additional requirements

15.04 Ventilation

A. All exhaust duct venting must be equipped with an integral draft damper

16000 ELECTRICAL

16.01 General Requirements

A. Back to back switch, and receptacle rough-in boxes are not to permitted within the same just stud bay. Rough-in boxes one stud just bay apart minimum.
B. Unless noted otherwise all receptacle rough in boxes are to be +18" above finished floor.
C. Provide minimum one weatherproof receptacle at the front and rear of the dwelling within 6'-0" of finished grade.
D. Locate fluorescent fixture, or efficiency lighting control switching nearest the room entrance.

16.02 Lighting

A. Provide fluorescent lighting capable of minimum 40 lumens/ watt in kitchens, and bathrooms typical.
B. DAMP LOCATION LIGHTING FIXTURES: Fixtures located in damp locations must be labeled by the manufacturer as suitable for damp or wet locations.
C. All (N) lighting throughout the dwelling residence are to be high efficiency fixtures with the following ratings:
LAMP RATING LAMP EFFICACY
15 watts or less 40 lumens/ watts
over 15 watts to 40 watts 60 lumens / watts
over 40 watts 50 lumens / watts

D. Provide (C) (zero clearance insulation cover) and AT (air tight) or similar rated recessed luminaires only for insulated ceilings. Luminaires to be tested and labeled by laboratories recognized by international conferences of building officials. Fixture to be sealed to ceiling with gasket or caulk

16.03 Circuitry

A. Provide GFCI outlets within 6'-0" of any counter sink or adjacent to any sink.
B. Provide GFCI receptacles to all 120 volt, 15 or 20 amp receptacles installed above the kitchen counter tops typical
D. Provide a 20 amp branch circuit for bathroom outlets with GFCI protection. The circuit may not serve other devices, (lighting fans, receptacles. One receptacle(s) must be located within 36" of the bathroom sink(s)
E. Provide GFCI outlets at all garage, exterior and underfloor locations
F. Provide minimum two circuits supplying only the kitchen wall and counter outlets.
G. Single phase 125-volt 15-20 amp branch circuits serving dwelling unit bedrooms (receptacles, lights, smoke detectors) to be protected by arc-fault circuit interrupters. Provide protection of entire branch circuit.

16.04 Receptacles

A. Dwelling unit receptacle placement not to exceed 12'-0" on center except in bedrooms, kitchens and garages. At door openings begin first receptacle within 6' of operable leaf edge in each direction. Walls less than 24" wide including around corners to doors, or fireplaces and similar openings may not have a receptacle. Baluster rails and floor set windows are to be considered wall space and conform with the requirements above. Unless noted otherwise all receptacles are to be mounted 18" to center of box from finished floor.
B. Kitchen receptacle placement to be 46" maximum on center and within 24" from counter ends, sinks and appliances. A receptacle is required on any counter wider than 12". Counters separated by ranges refrigerators or sinks require one receptacle for each 12x24" area.

C. Peninsula and island counters require receptacles. Provide receptacles at island and peninsula and cabinet walls and at tops with a cantilever of less than 6".

D. Receptacles can not be placed face up on any work surface

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APN: Lot 040; Block 3576

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A0.2

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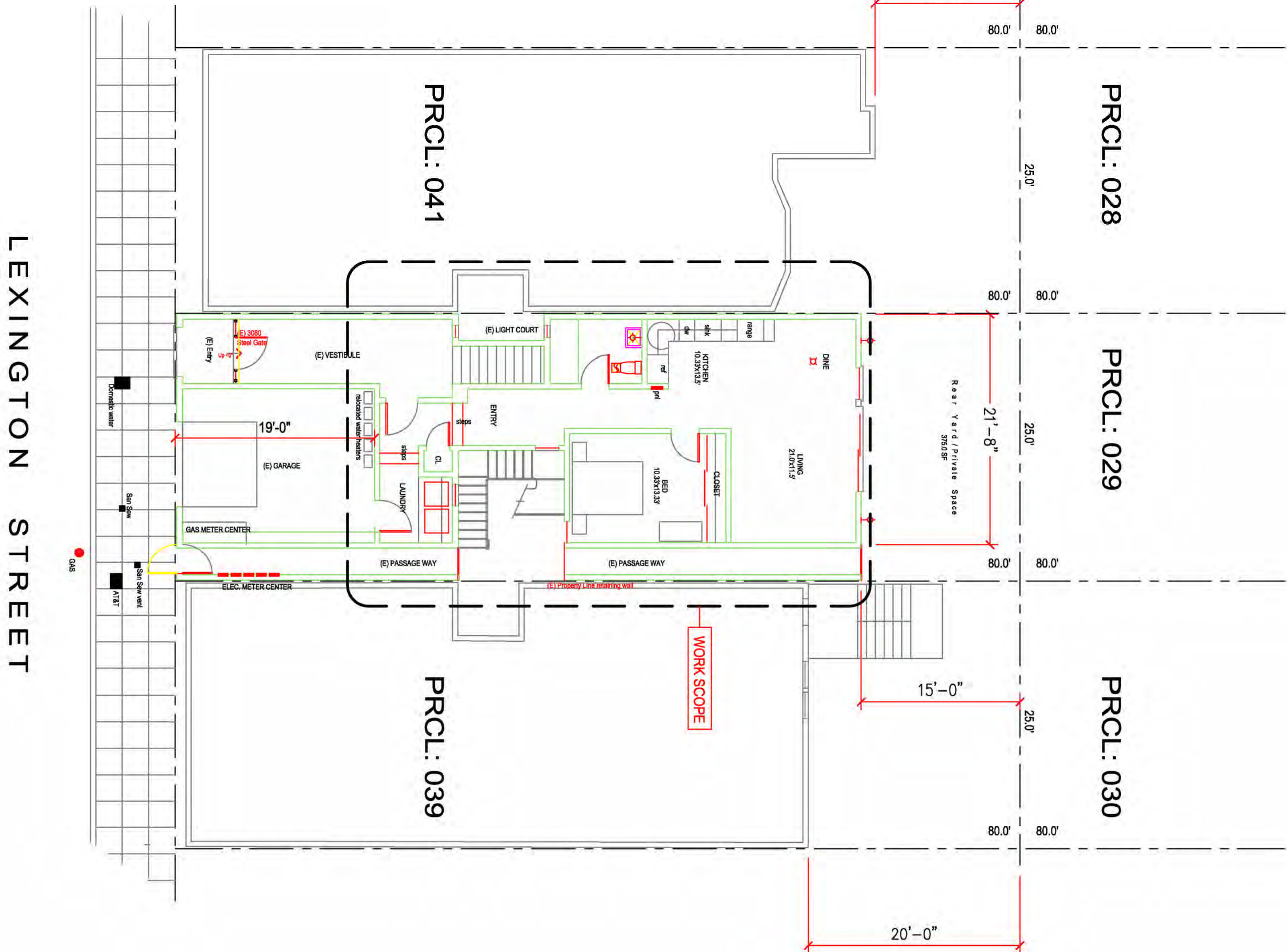
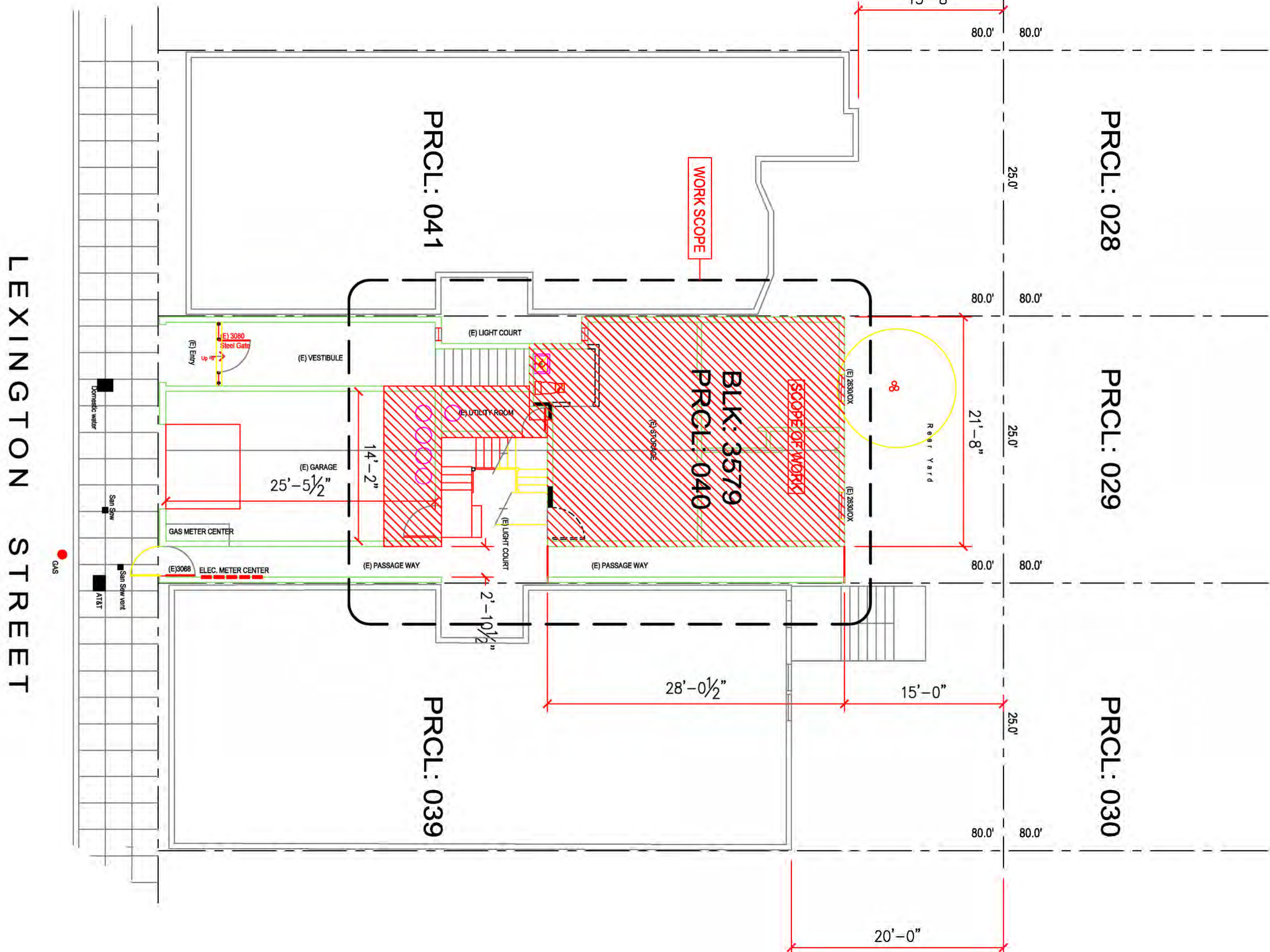
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DRAWING SYMBOLS

WORK SCOPE



J04 EXISTING PLAN

J09 PROPOSED PLAN

L 01 SITE PLANS

Scale 1/8"=12"



A 1.0

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DRAWING SYMBOLS

EXISTING WALLS REMAIN

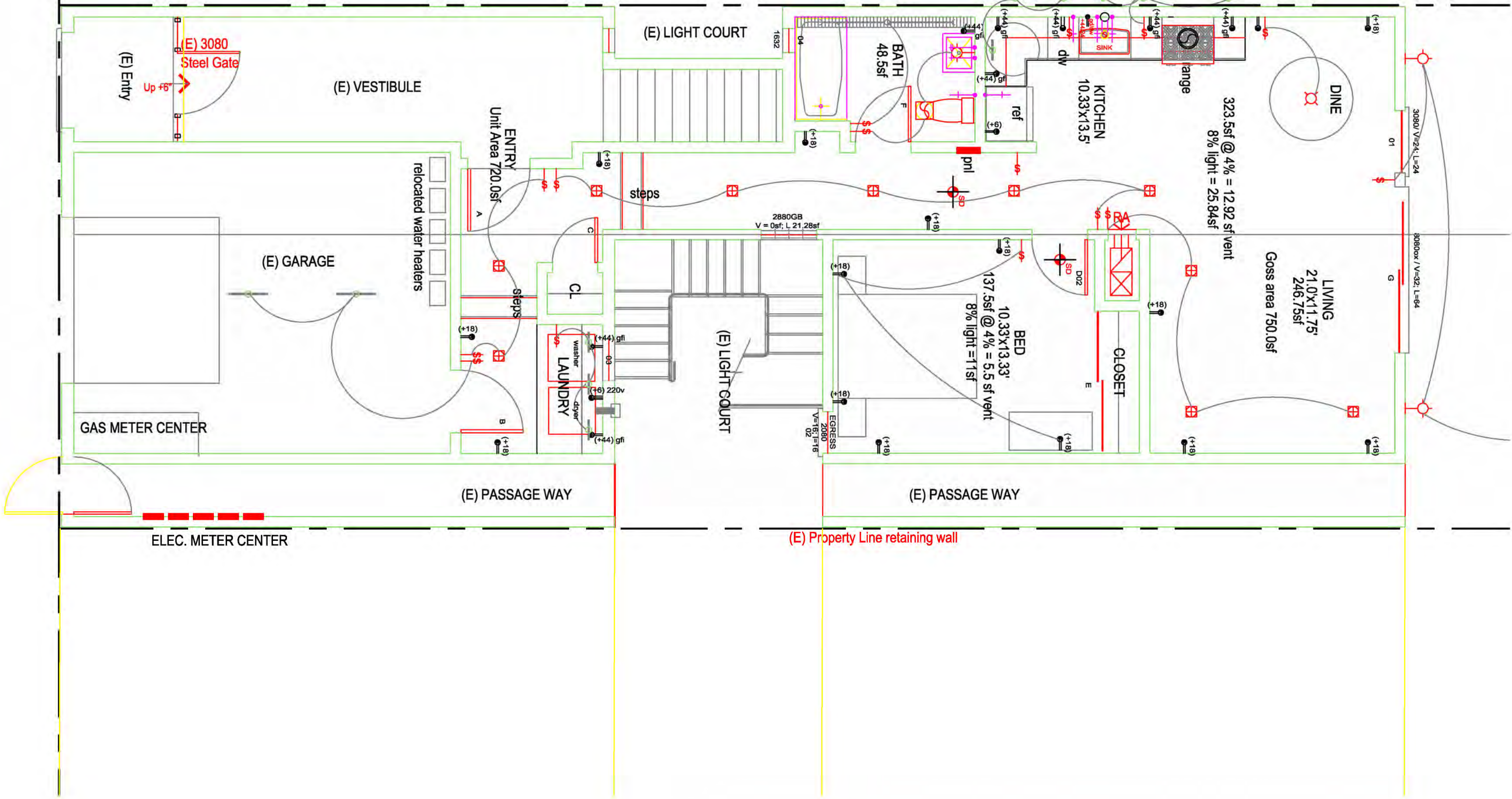
EXISTING WALLS REMOVE / EXISTING PLAN

NEW WALLS / NEW PLAN

SMOKE DETECTOR
ROOM EXHAUST
FLUORESCENT LIGHT
FIXTURE

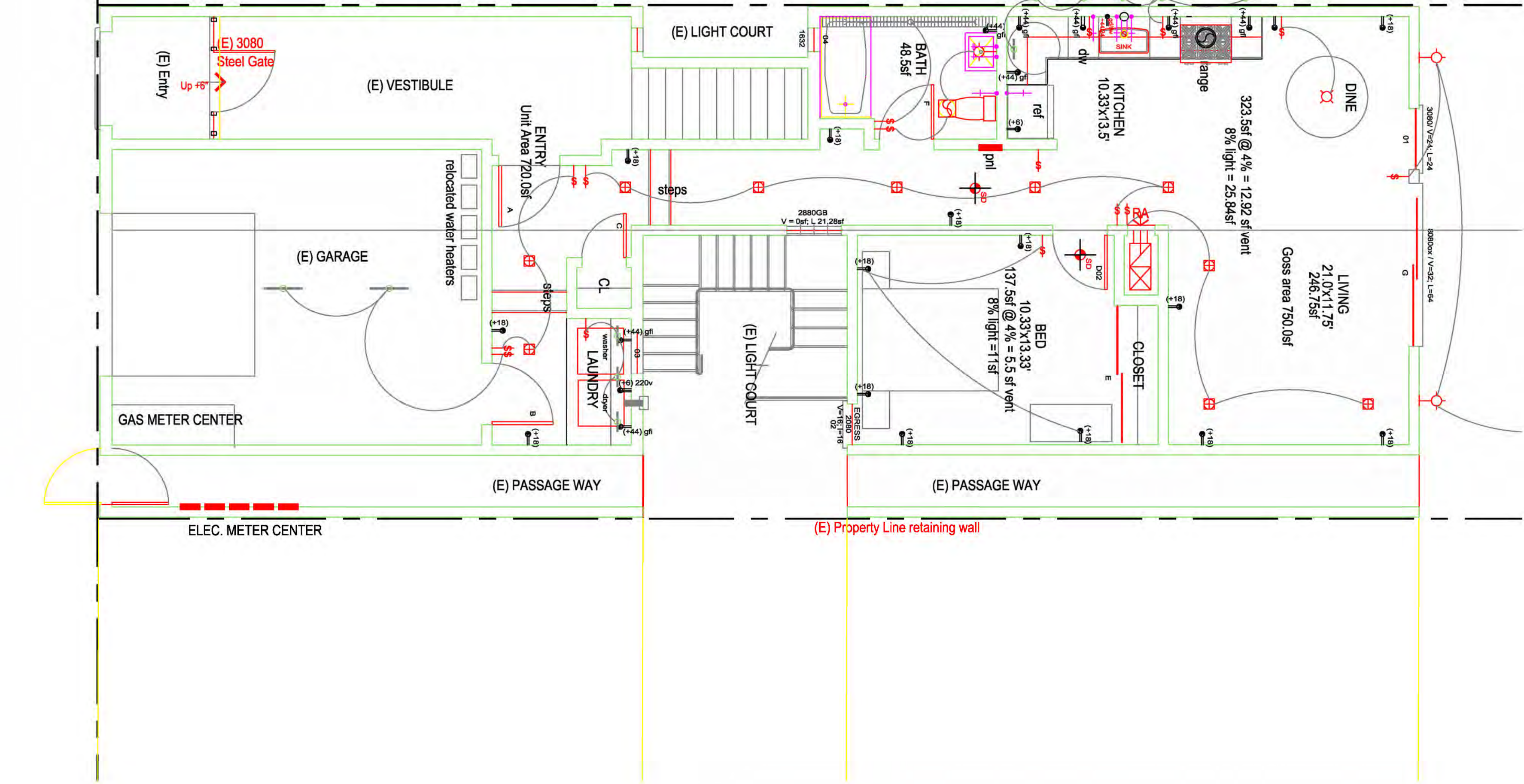
Sheet:	EXISTING PROPOSED GROUND LEVEL PLANS
Project No:	
Scale:	NOTED
Date:	06.25.10
Revision:	09.22.10 - Rev. 001

A 2.0



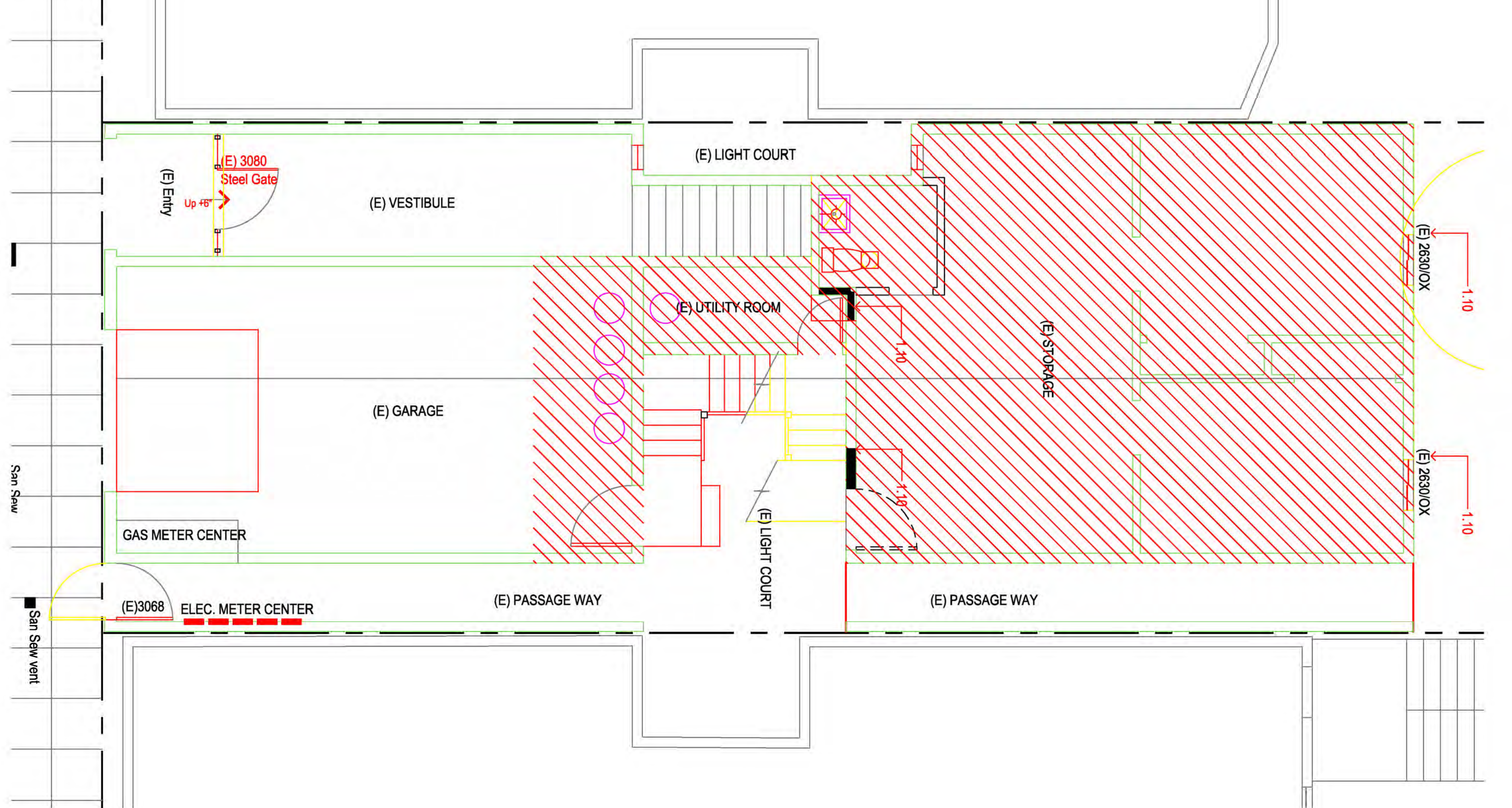
L 01 (N) GROUND LEVEL PLAN

Scale 1/4"=12"



L 01 (E) GROUND LEVEL PLAN
With Demolition scope

Scale 1/4"=12"



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DRAWING SYMBOLS

EXISTING WALLS REMAIN

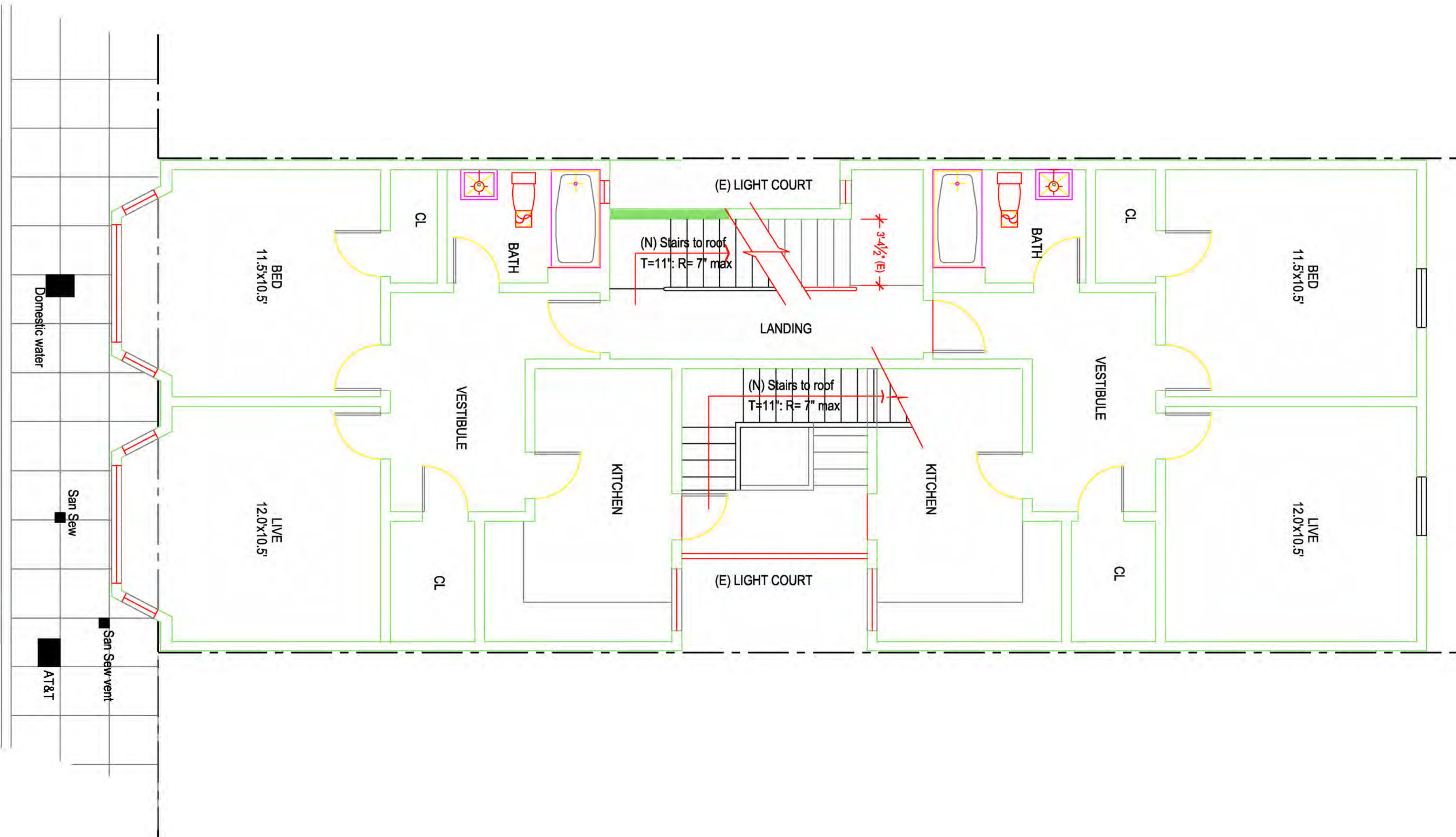
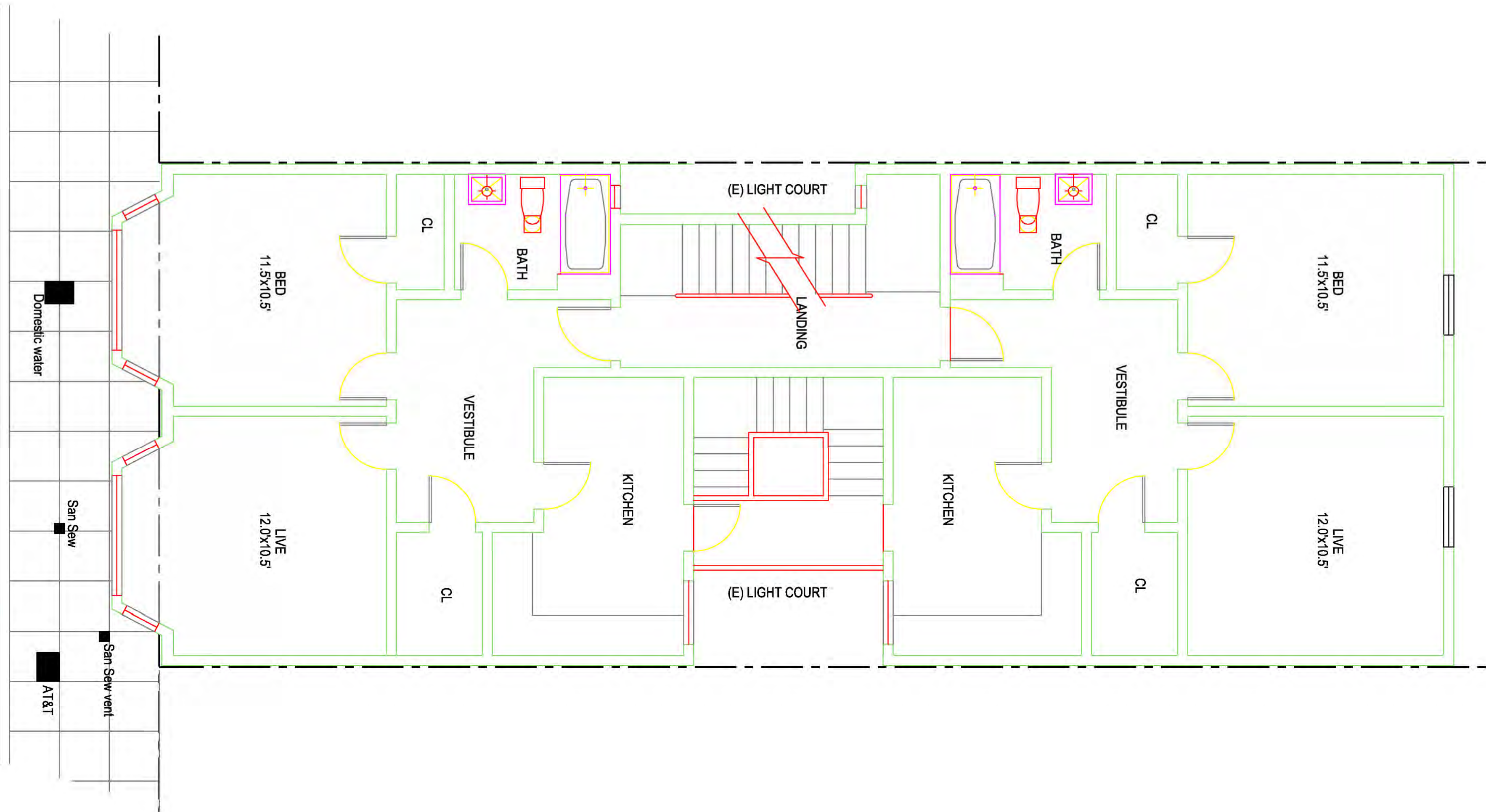
EXISTING WALLS REMOVE / EXISTING PLAN

NEW WALLS / NEW PLAN

SMOKE DETECTOR
ROOM EXHAUST
FLUORESCENT LIGHT
FIXTURE

Sheet:	EXISTING SECOND AND THIRD FLOOR PLANS
Project No:	
Scale:	NOTED
Date:	06.25.10
Revision:	09.22.10 - Rev. 001

A2.1

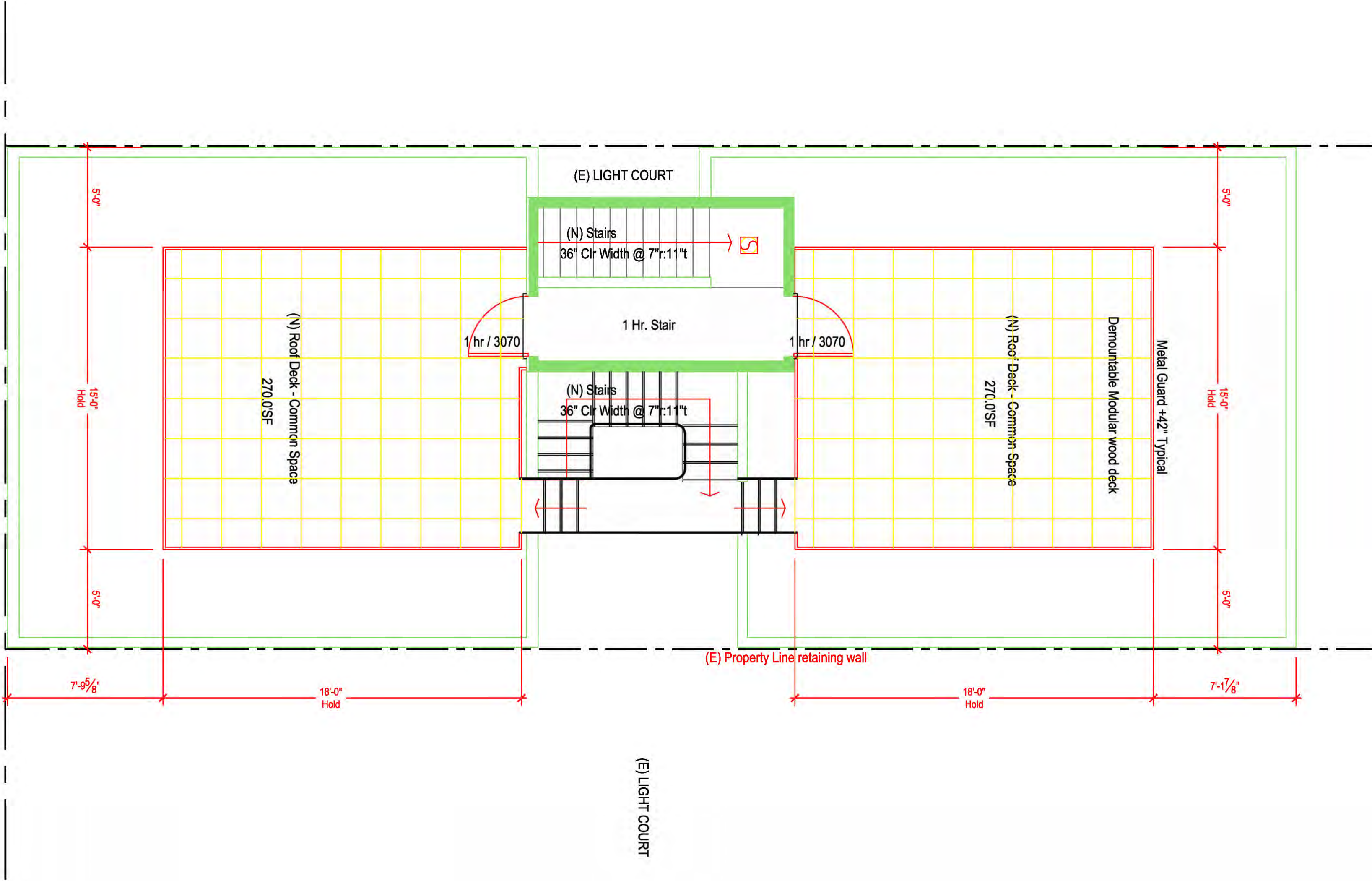


L 01 (N) ROOF PLAN

Scale 1/4"=12"



A 2.2



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DRAWING SYMBOLS

EXISTING WALLS REMAIN

EXISTING WALLS REMOVE / EXISTING PLAN

NEW WALLS / NEW PLAN

SMOKE DETECTOR

ROOM EXHAUST

FLUORESCENT LIGHT
FIXTURE



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MECHANICAL NOTES

15.0 MANDATORY MEASURES

For additional requirements refer to sheet A0.4 / MF-1R. All work to comply with T:24 Energy requirements and specifications

15.00A ENVIRONMENTAL AIR DUCTS:

15.00 DUCT MATERIAL:
Duct work to be smooth metal. No flex duct
permitted UNO

15.0D DUCT JOINTS:

All environmental air duct joints to be mastic sealed including transverse joints.

15.0E DUCT PENETRATIONS:

All connections between gypsum wall board and duct work to be sealed. (duct mastic, sealants, or weather stripping)

15.0M DUCT TERMINATION:

Provide minimum 36" separation from property line or building opening. Provide minimum 48" separation for venting systems to an operable window or door. Provide 36" vertical separation from fresh air intake duct termination located within 10.0'. Provide 48" minimum distance from property line for fresh air intake systems

15.07 INDIRECT WASTE

15.07A HEATER CONDENSATE:

Provide condensate indirect waste as specified by _____ condensing water heater manufacturer. System to be collected in garage with listed and approved indirect waste receptor @ sewer connection

Sheet:	PROPOSED INTERIOR ELEVATIONS
Project No:	NO1ED
Scale:	1/8" = 1'-0"
Date:	05.25.10
Revision:	09.22.10 - Rev. 001

L 01 (N) MECHANICAL PLAN

Scale 1/4":12"



A.2.3

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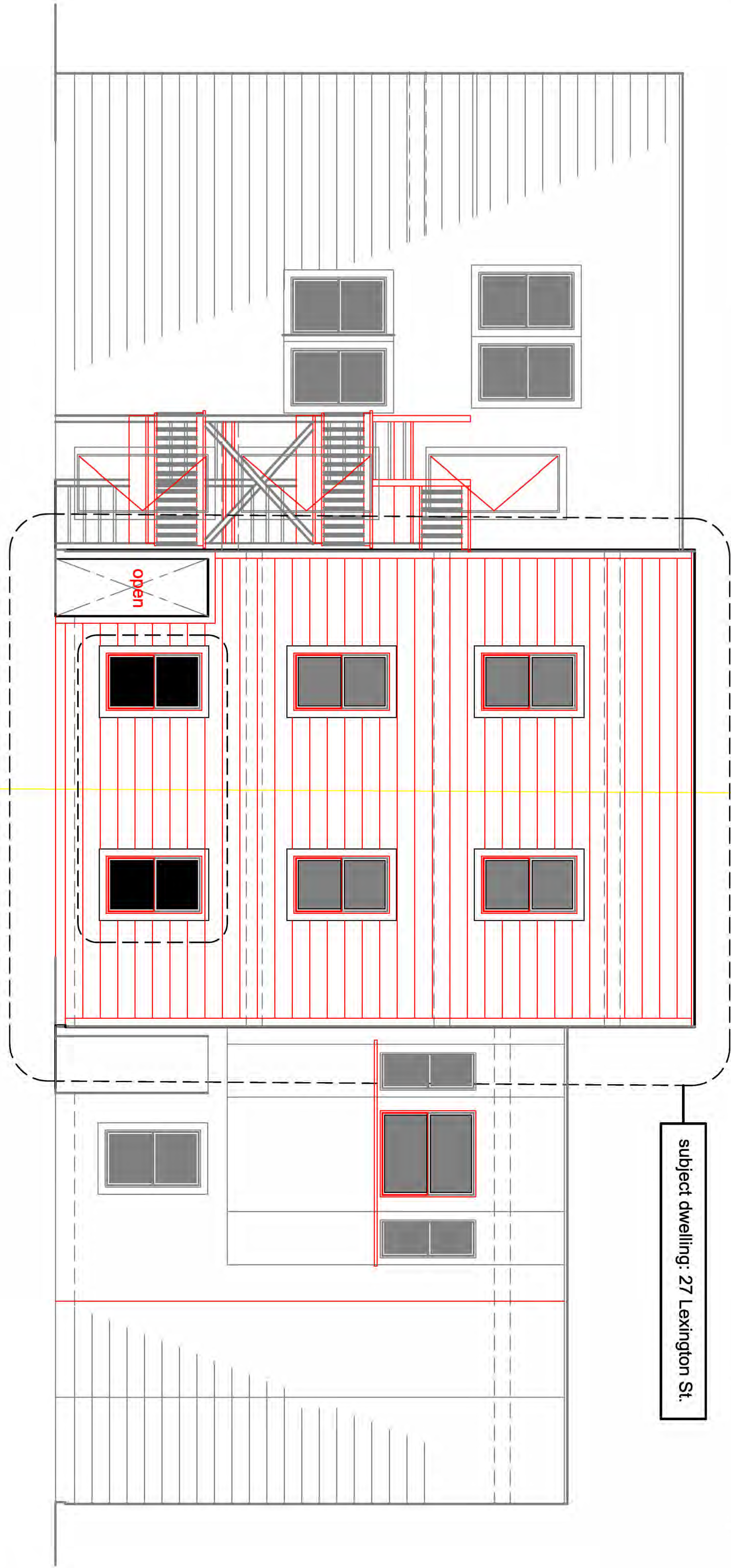
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L 01 (N) REAR ELEVATION

Scale 1/4"=12"



(N) Roof Access

10'-0" max

L 01 (N) REAR ELEVATION

Scale 1/4"=12"



Sheet:	EXISTING PROPOSED REAR ELEVATIONS
Project No:	
Scale:	NOTED
Date:	06.25.10
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A 3.1

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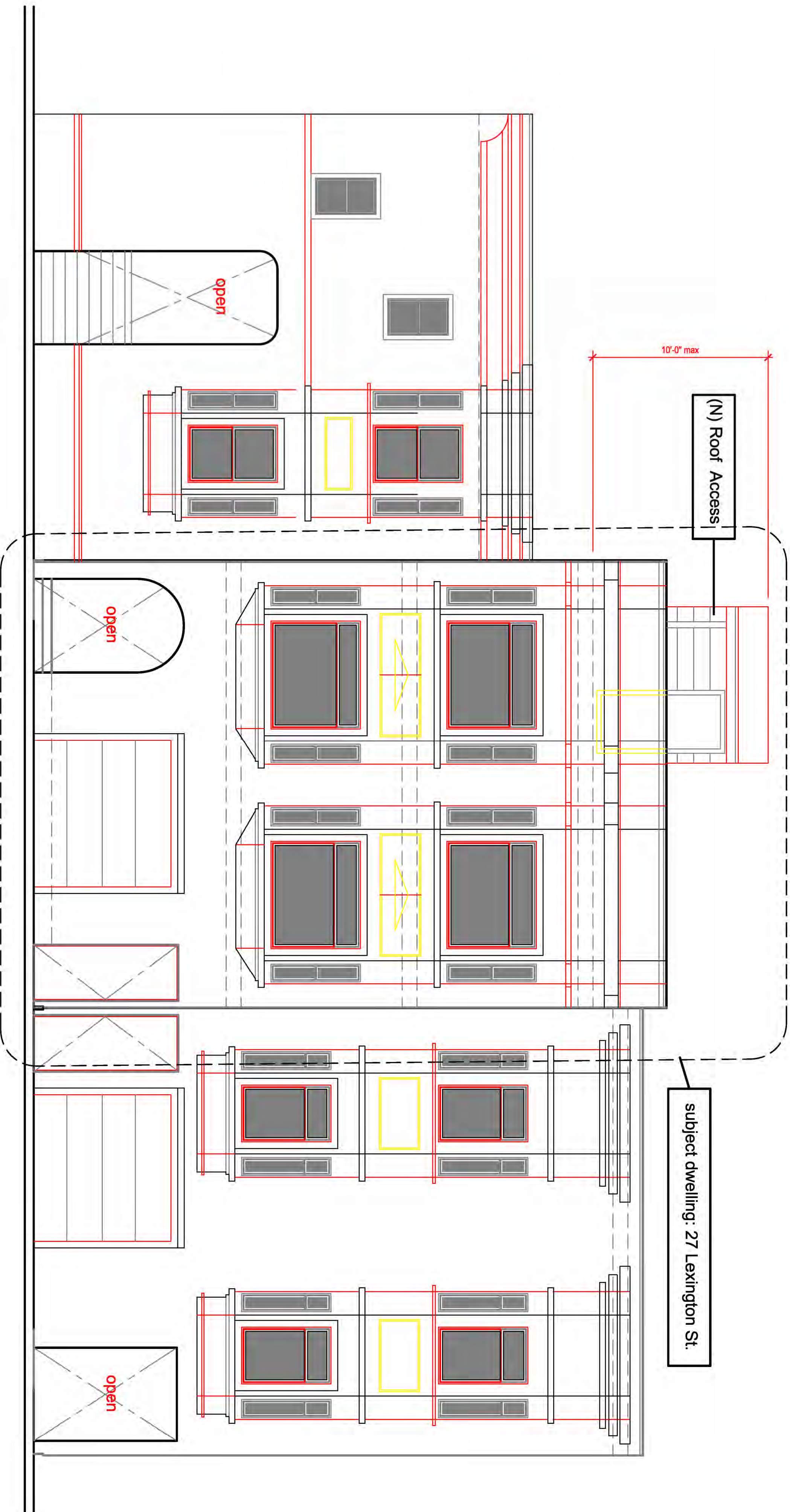
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L 01 (E) FRONT ELEVATION
Reference Only - no proposed changes

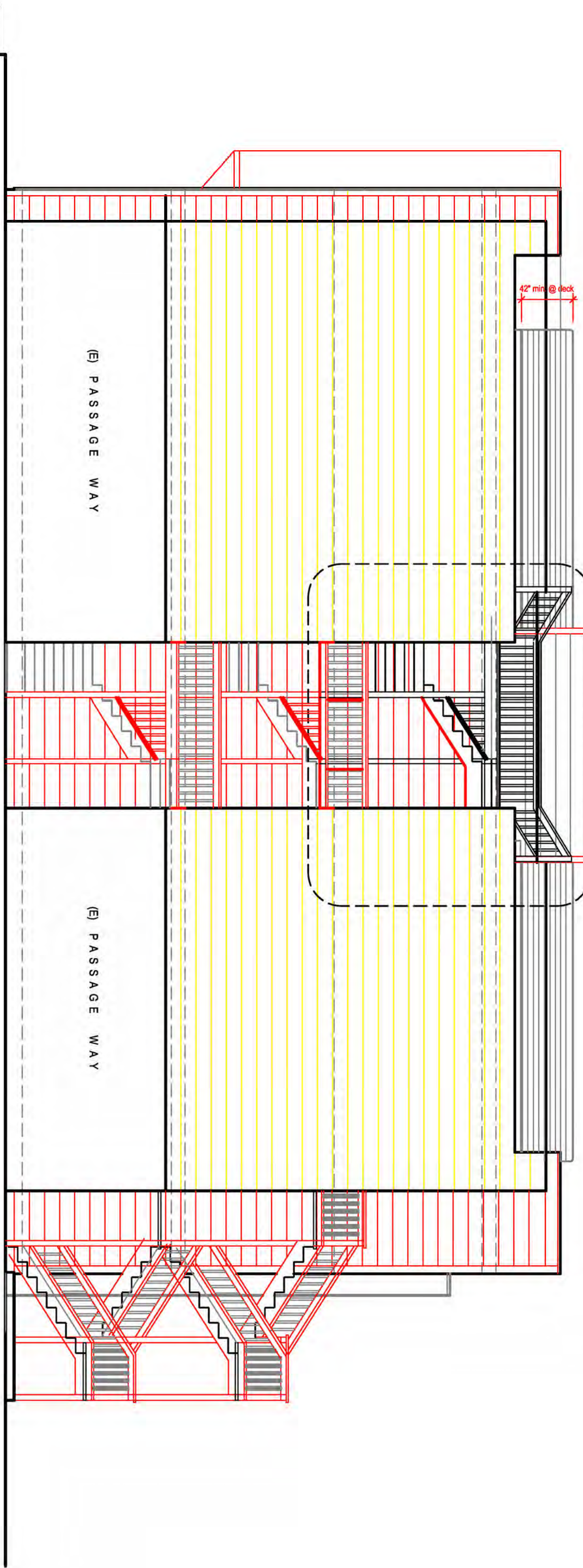
Scale 1/4"=12"



Sheet:	EXISTING PROPOSED FRONT ELEVATION
Project No:	
Scale:	NOTED
Date:	06.26.10
Revision:	09.22.10 - Rev. 001

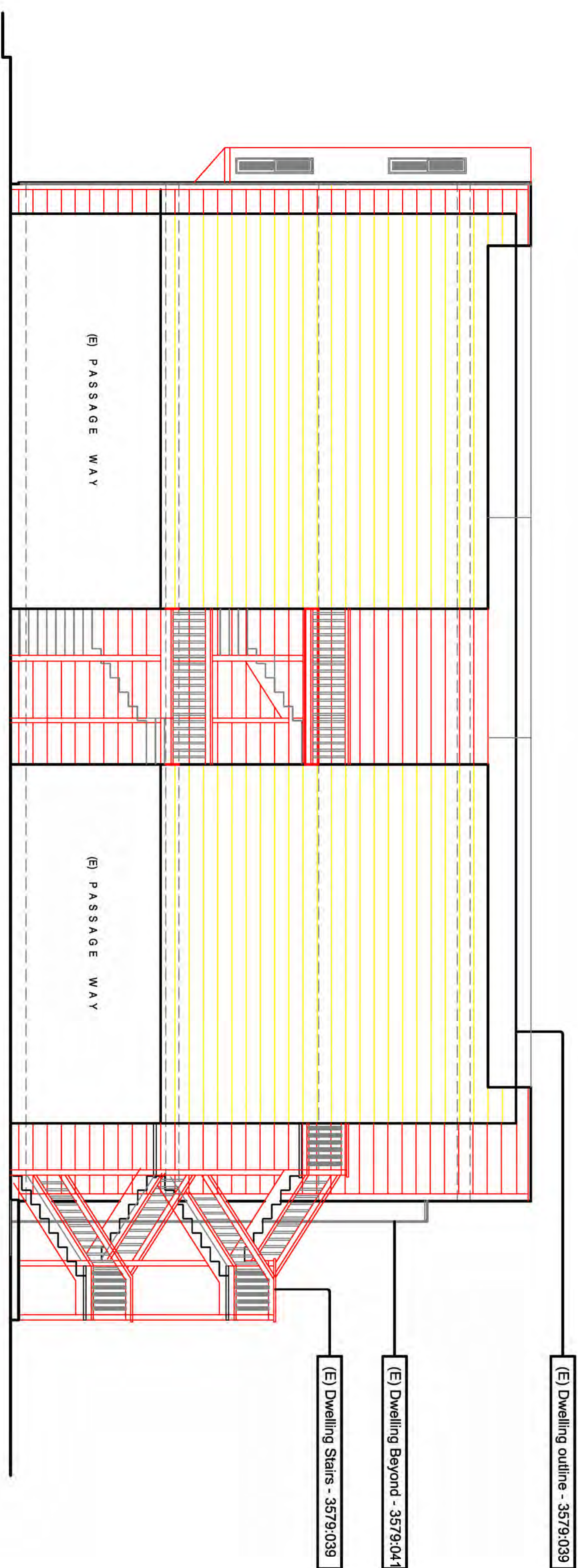
A 3.2

(N) Penthouse Beyond
(N) Roof Access
& Roof decks



L 01 (N) SOUTH ELEVATION

Scale 3/16"=12"



L 01 (E) SOUTH ELEVATION

Scale 3/16"=12"



27
Lexington
San Francisco
CA

APN: Lot 040; Block 3576

Mr. and Mrs.
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Sheet:	EXISTING PROPOSED REAR ELEVATIONS
Project No:	
Scale:	3/16"=12"
Date:	06.25.10
Revision:	08.22.10 - Rev. 001

A 3.3

27
Lexington
San Francisco
CA

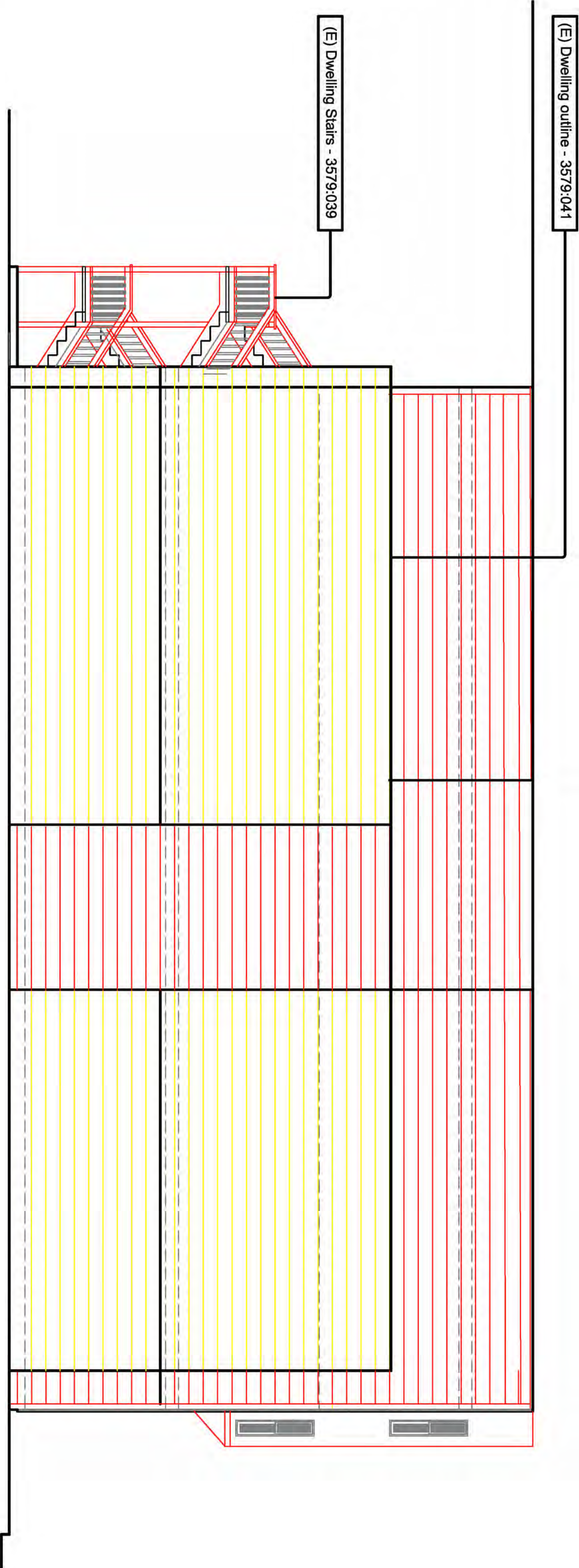
APN: Lot 040; Block 3576

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L 01 (E) NORTH ELEVATION

Scale 3/16"=12"



L 01 (N) NORTH ELEVATION

Scale 3/16"=12"



Sheet:	EXISTING PROPOSED ELEVATIONS
Project No:	
Scale:	3/16"=12"
Date:	06.26.10
Revision:	09.22.10 - Rev. 001

A 3.4