



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2011**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard & Noncomplying Structure)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>2872 Pine Street</b>	Case No.:	<b>2011.0514V</b>
Cross Street(s):	<b>Baker St. &amp; Broderick St.</b>	Building Permit:	<b>2011.06.01.7168</b>
Block /Lot No.:	<b>1029/016</b>	Applicant/Agent:	<b>Seth Pare-Meyer</b>
Zoning District(s):	<b>RH-2/40-X</b>	Telephone:	<b>(415) 644-5203</b>
		E-Mail:	<b>seth@atelier-ks.com</b>
PROJECT DESCRIPTION			
<p>The proposal is to construct a 2<sup>nd</sup> story horizontal addition, approximately 24 feet wide by 17 feet deep set back 4 feet from the western property line, above an existing rear portion of the two-story over garage single-family dwelling. The project also includes raising an existing rear deck 20 inches to a height of 4 feet above grade to align with ground floor of the dwelling. There will be no changes to the existing building footprint.</p> <p><b>PER SECTION 134 OF THE PLANNING CODE</b> the subject property requires a rear yard area to be equivalent to 45 percent of the total lot depth. The subject property, with a lot depth of 137.5 feet, has a required rear yard of approximately 62 feet. The proposed rear addition would encroach approximately 5 feet into the required rear yard while the deck would encroach approximately 14 feet into the required rear yard.</p> <p><b>PER SECTION 188 OF THE PLANNING CODE</b> a noncomplying structure may be altered provided no new discrepancy is created. The rear portion of the existing building is a noncomplying structure as it was constructed within the required rear yard area. The proposed horizontal addition would enlarge the non-complying structure, and thus would be contrary to Section 188.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b> Planner: <b>Christine Lamorena</b> Telephone: <b>(415) 575-9085</b> E-Mail: <b>christine.lamorena@sfgov.org</b></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2011.0514V.pdf">http://sf-planning.org/ftp/files/notice/2011.0514V.pdf</a></p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



ABBREVIATIONS

A.B.

AB.

ACOUS.

ADJ.

A.F.F.

APP.

ARCH.

BD.

BLDG.

B.O.

C.M.U.

CAB'T.

CLG.

CL.

CL.R.

CONC.

CONT.

CTR.

DBL.

DIA.

CENTERLINE  
DIAMETER OR ROUND  
EXISTING  
NEW

CENTER  
DOUBLE  
DIAMETER

DTL.

DWG.

EA.

ELEC.

ELEV.

EQ.

EXT.

FIN.

FIXT.

FL.

FT.

FTG.

GA.

GL.

GND.

GR.

GWB.

GYP.

H.B.D.

HDWD.

HGT.

HORIZ.

HR.

IN

DETAIL  
DRAWING  
EACH  
ELECTRICAL  
ELEVATION  
EQUAL  
EXTERIOR  
FINISH  
FIXTURE  
FLOOR  
FOOT OR FEET  
FOOTING  
GAUGE  
GLASS  
GROUND  
GRADE  
GYPSUM WALL BOARD  
GYPSUM  
HOSE BIBB  
HARDWOOD  
HEIGHT  
HORIZONTAL  
HORIZONTAL  
INCH

DETAIL  
DRAWING  
EACH  
ELECTRICAL  
ELEVATION  
EQUAL  
EXTERIOR  
FINISH  
FIXTURE  
FLOOR  
FOOT OR FEET  
FOOTING  
GAUGE  
GLASS  
GROUND  
GRADE  
GYPSUM WALL BOARD  
GYPSUM  
HOSE BIBB  
HARDWOOD  
HEIGHT  
HORIZONTAL  
HORIZONTAL  
INCH

JT.

KIT.

LAV.

MAT.

MAX.

MECH.

METAL

MINIMUM

MISCELLANEOUS

NOT IN CONTRACT

NOT TO SCALE

NOMINAL

NOT APPLICABLE

OUTSIDE DIAMETER

OPPOSITE HAND

OPPOSITE

SHT.

SIM.

SPEC.

SPKR.

SO.

STAG.

STD.

ST. STL.

STL.

JOINT  
KITCHEN  
LAVATORY  
MATERIAL  
MAXIMUM  
MECHANICAL  
MEMBRANE  
METAL MANUFACTURER  
MINIMUM  
MISCELLANEOUS  
NOT IN CONTRACT  
NOT TO SCALE  
NOMINAL  
NOT APPLICABLE  
OUTSIDE DIAMETER  
OPPOSITE HAND  
OPPOSITE  
SHOWER  
SIMILAR  
SHEET  
SPEAKER  
SQUARE  
STAGGERED  
STANDARD  
STAINLESS STEEL  
STEEL  
QUANTITY

JOINT  
KITCHEN  
LAVATORY  
MATERIAL  
MAXIMUM  
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OUTSIDE DIAMETER  
OPPOSITE HAND  
OPPOSITE  
SHOWER  
SIMILAR  
SHEET  
SPEAKER  
SQUARE  
STAGGERED  
STANDARD  
STAINLESS STEEL  
STEEL  
QUANTITY

RADIUS

ROUGH OPENING

RECESSED

RECTANGULAR

REFERENCE/ REFRIGERATOR

REINFORCED

REQUIRED

ROOM

S.A.D.

S.C.

S.E.D.

S.M.D.

S.S.D.

SCHED.

SECT.

SHWR.

SIM.

SPECIFICATION

SPEAKER

SQ.

SQUARE

STAGGERED

STANDARD

STAINLESS STEEL

STEEL

RADIUS  
ROUGH OPENING  
RECESSED  
RECTANGULAR  
REFERENCE/ REFRIGERATOR  
REINFORCED  
REQUIRED  
ROOM  
SEE ARCHITECTURAL DRAWING  
SOLID CORE  
SEE ELECTRICAL DRAWING  
SEE MECHANICAL DRAWING  
SEE STRUCTURAL DRAWING  
SCHEDULE  
SECTION  
SHOWER  
SIMILAR  
SPECIFICATION  
SPEAKER  
SQUARE  
STAGGERED  
STANDARD  
STAINLESS STEEL  
STEEL

RADIUS  
ROUGH OPENING  
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RECTANGULAR  
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SHOWER  
SIMILAR  
SPECIFICATION  
SPEAKER  
SQUARE  
STAGGERED  
STANDARD  
STAINLESS STEEL  
STEEL

STND.

STOR.

STR.

SYM.

T.&G.

T.O.W.

T.V.

TEL.

TEMP.

THK.

THRESH.

TYP.

U.O.N.

U.O.

V.I.F.

VENT.

VERT.

W.C.

W.P.

W.S.

WD.

WP.

STAINED  
STORAGE  
STRUCTURAL  
SYMMETRICAL  
TONGUE AND GROOVE  
TOP OF WALL  
TELEVISION  
TELEPHONE  
TEMPERED  
THICK  
THRESHOLD  
TYPICAL  
UNLESS OTHERWISE NOTED  
UNDERSIDE OF/BOTTOM OF  
VERIFY IN FIELD  
VENTILATION  
VERTICAL  
WATER CLOSET  
WATER PROOFING  
WEATHER STRIPPING  
WITH  
WOOD  
WATERPROOF

STAINED  
STORAGE  
STRUCTURAL  
SYMMETRICAL  
TONGUE AND GROOVE  
TOP OF WALL  
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TEMPERED  
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UNDERSIDE OF/BOTTOM OF  
VERIFY IN FIELD  
VENTILATION  
VERTICAL  
WATER CLOSET  
WATER PROOFING  
WEATHER STRIPPING  
WITH  
WOOD  
WATERPROOF

SYMBOLS

EARTH

BRICK

GRAVEL OR CRUSHED ROCK

CONCRETE BLOCK

WATER PROOFING

WOOD BLOCKING

CERAMIC TILE

METAL

CEMENT BOARD

PROPERTY LINE

WOOD FINISHED

WOOD BLOCKING CONTINUOUS

CONCRETE

GYPSUM BOARD

GYPSUM SHEATHING

INSULATION - BLANKET OR BATT

INSULATION - RIGID

MDF

PLYWOOD

FIRE RATED CONSTRUCTION

DOOR NUMBER

WINDOW NUMBER

ELEVATION

SECTION

DETAIL

CEILING OR SOFFIT HEIGHT

1.2

1.2

A3.1

A6

A8.1

8'-0"

FIRST DIGIT IS FLOOR LEVEL

FIRST DIGIT IS FLOOR LEVEL

ELEVATION IDENTIFICATION SHEET IDENTIFICATION

SHEET WHERE SECTION IS DRAWN SECTION IDENTIFICATION

DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN AREA SHOWN ON LARGE SCALE DETAIL OR ELEVATION

(PLAN)

(ELEVATION)

INDEX OF DRAWINGS

ARCHITECTURAL

STRUCTURAL

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A1.3.2

A1.4

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A2.2.3

A3.1.3

A3.2.3

A3.3

COVER SHEET, LOCATION MAP, PLOT PLAN

EXISTING PLOT PLAN

BASEMENT/GARAGE & GROUND FLOOR DEMOLITION PLANS

UPPER FLOOR AND ROOF DEMOLITION PLANS

REAR DEMOLITION ELEVATION

LATERAL DEMOLITION ELEVATIONS

EXISTING BUILDING SECTION

BASEMENT/GARAGE & GROUND FLOOR CONSTRUCTION PLANS

UPPER FLOOR AND ROOF CONSTRUCTION PLANS

PROPOSED REAR & LATERAL ELEVATIONS

PROPOSED LATERAL ELEVATIONS

PROPOSED BUILDING SECTION

STREET VIEW

1716 BAKER STREET

1710-12 BAKER STREET

1706-08 BAKER STREET

2890 PINE STREET

2882 PINE STREET

2866 PINE STREET

2860 PINE STREET

2852-54 PINE

EXISTING DECK @ UPPER FLOOR OVER HABITABLE SPACE

BUILDING HEIGHT = ±26' 2 STORIES PITCHED ROOF

45% REAR-YARD SETBACK (61'-10")

ROOF PEAK

BUILDING HEIGHT = ±20' 2 STORIES PITCHED ROOF

ROOF DRAIN

SKYLIGHTS

PARAPET FIREPLACE VENT BLDG FOOTPRINT BELOW

BACKYARD BELOW

AREA OF WORK EXISTING DECK OVER HABITABLE SPACE

GROUND FLOOR DECK BELOW

24'-6" PROPOSED UPPER FLOOR ROOF

BLDG FOOTPRINT BELOW

17'-8" PROPOSED

51'-7" EXISTING UPPER FLOOR

11'-10"

10'-0"

SIDEWALK

FRONT FACADE

OPPOSITE SIDE OF STREET

PLOT PLAN

1716 BAKER STREET

1710-12 BAKER STREET

1706-08 BAKER STREET

2890 PINE STREET

2882 PINE STREET

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24'-6" PROPOSED UPPER FLOOR ROOF

BLDG FOOTPRINT BELOW

17'-8" PROPOSED

51'-7" EXISTING UPPER FLOOR

11'-10"

10'-0"

SIDEWALK

PROPOSED PLOT PLAN

1" = 10'-0"

PROJECT DATA

SITE LOCATION

ASSESSOR'S PARCEL #

YEAR BUILT

ZONING

AREA

CONSTRUCTION TYPE

CODE USED

PROJECT DESCRIPTION

2872 PINE STREET  
SAN FRANCISCO, CA 94115

1029-016

1900

RH-2 (Residential House, 2 Family)

Lot Area = 3781 sf  
Existing Building Gross Area = 3795 sf  
Proposed Building Gross Area = 4230 sf

D (Wood Frame)

Project shall comply with the 2010 California Building Code, 2010 California Green Standards Code & all applicable San Francisco amendments. Project shall comply with 2008 TITLE 24

Rear yard addition to reclaim existing upper floor deck over existing ground floor habitable space for new interior space. Existing ground floor deck to be raised by 20" to match the height of the ground floor. Interior remodel to include the renovation of the existing kitchen, relocation of lower level stairs, and renovation of existing basement level.

PROJECT DIRECTORY

OWNER

DARIN & STEFANIE BUCHALTER

2872 PINE STREET

SAN FRANCISCO, CA 94115

DESIGNER

atelier KS

932 VALLEJO STREET #2

SAN FRANCISCO, CA 94133

415.644.5203

ATTN: SETH PARE-MAYER

KELLI FRANZ

CONTRACTOR

ARCAD BUILDERS

ATTN: MICHAEL MROZ

888.214.8850

STRUCTURAL ENGINEER

T.B.D.

LOCATION MAP

PROJECT SITE

2872 PINE STREET

SAN FRANCISCO, CA 94115

Clay St

Sacramento St

Lyons St

California St

Pine St

Bush St

Sutter St

Broderick St

Divisadero St

Californ

Pir

B

H

Tataki Sushi and Sake Bar

Drew School

Bush and Broderick Mini Park

UCSF Medical Center

BUCHALTER RESIDENCE

2872 PINE STREET  
SAN FRANCISCO, CA 94115

COVER SHEET, LOCATION MAP, PROPOSED PLOT PLAN

ISSUE

DATE

SCALE

SHEET

07.05.11

AS NOTED

A0.1.3

atelier KS

932 VALLEJO ST. #2  
SAN FRANCISCO, CA 94133  
415.644.5203

BUCHALTER RESIDENCE

2872 PINE STREET  
SAN FRANCISCO, CA 94115

COVER SHEET, LOCATION MAP, PROPOSED PLOT PLAN

ISSUE

DATE

SCALE

SHEET

07.05.11

AS NOTED

A0.1.3



## BUCHALTER RESIDENCE

2872 PINE STREET  
SAN FRANCISCO, CA 94115

## DRAWING

EXISTING  
PLOT PLAN

SSUE

	DATE
CONTRIBUTOR MEETING	04.26.11
E-APP MEETING	05.14.11
VARIANCE SUBMITTAL	05.17.11
E PERMIT	06.01.11
PDR REV.1	06.24.11
PDR REV.2	07.05.11
VARIANCE PDF SET	07.05.11

DATE \_\_\_\_\_

07.05.11

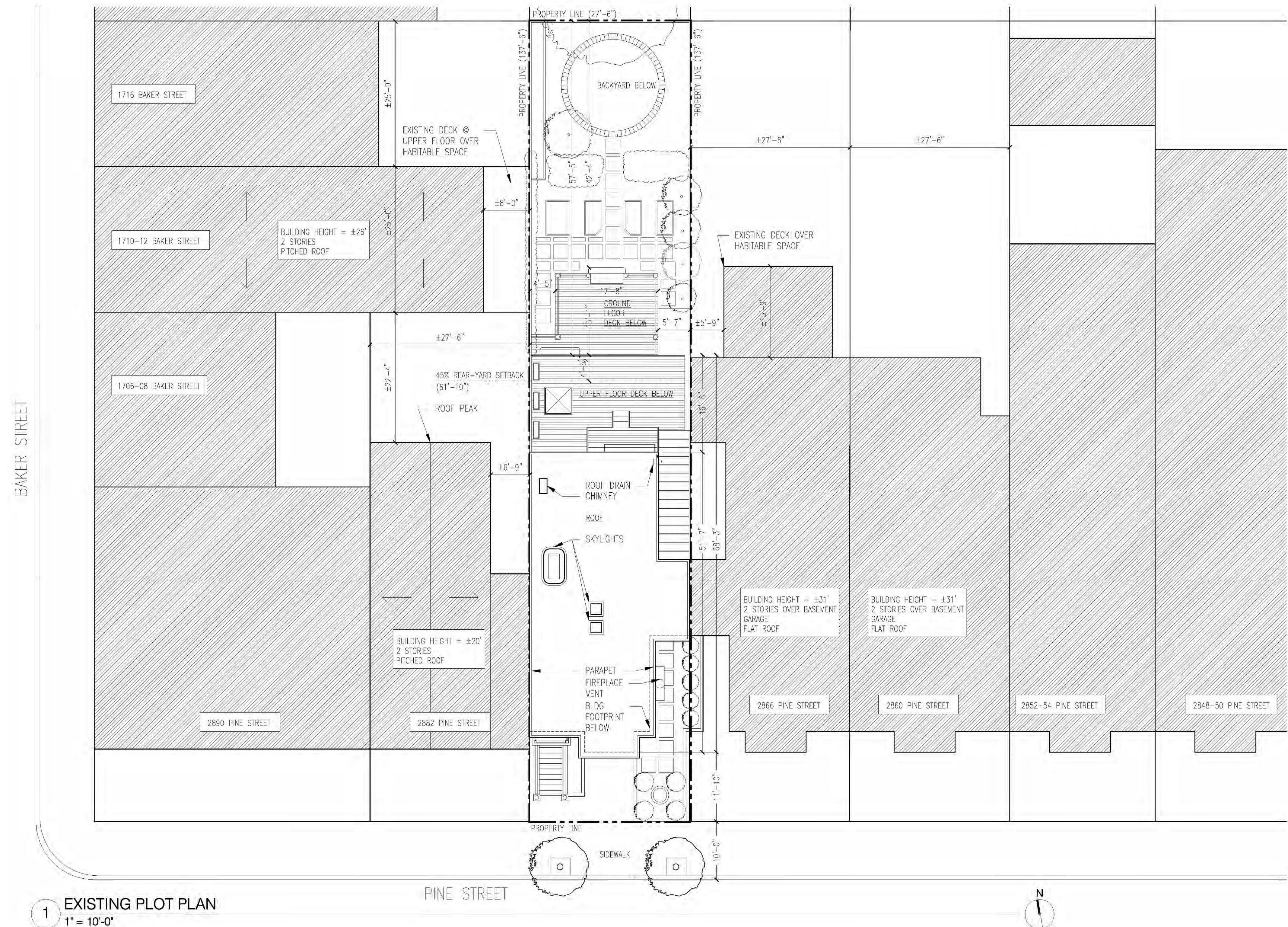
SCALE

AS NOTED

SHEET

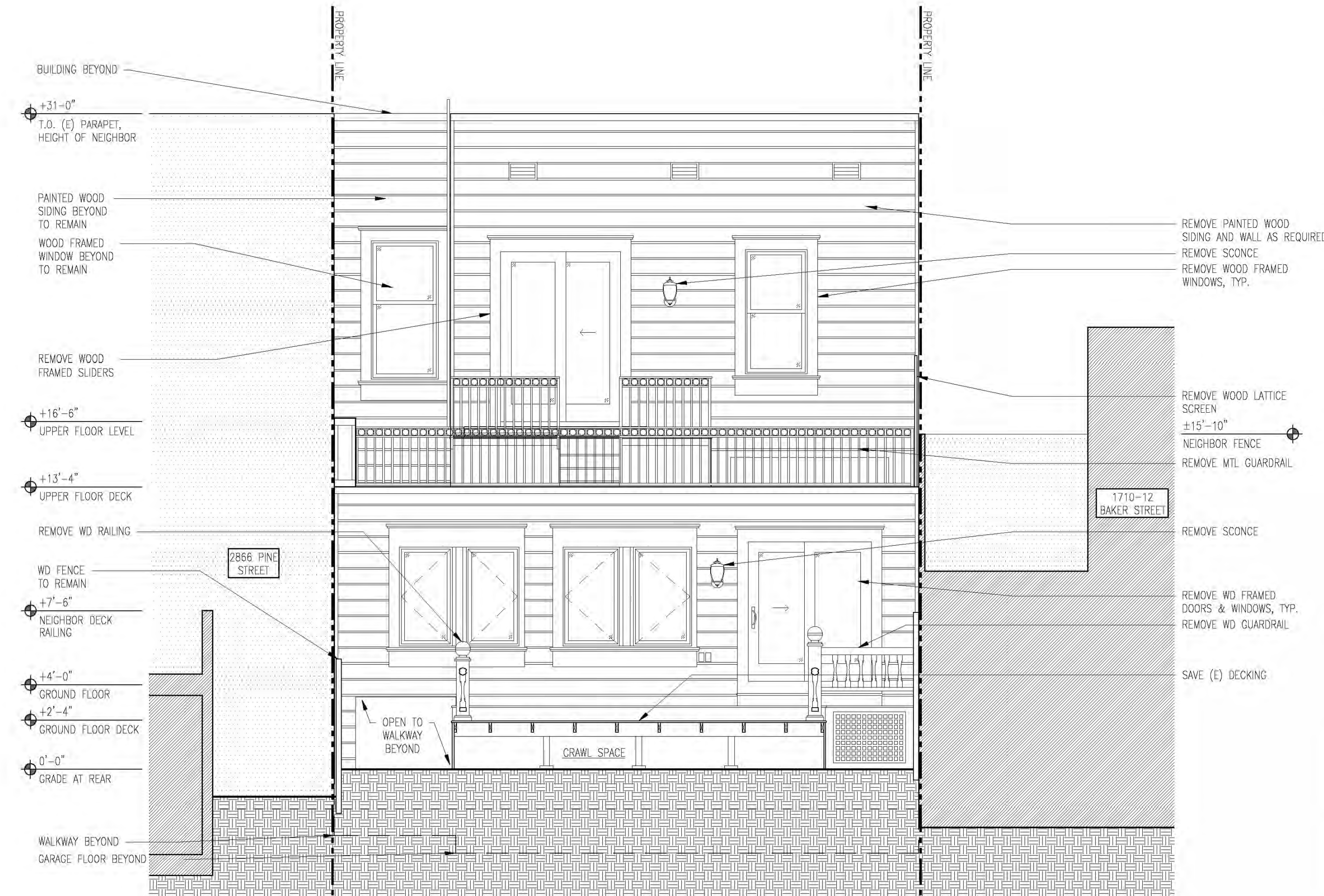
## A0.2.2

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NO.	DATE
NEIGHBOR MEETING	04.28.11
PRE-APP MEETING	05.14.11
VARIANCE SUBMITTAL	05.17.11
SITE PERMIT	06.01.11
NOPDR REV.1	06.24.11
NOPDR REV.2	07.05.11
VARIANCE PDF SET	07.05.11



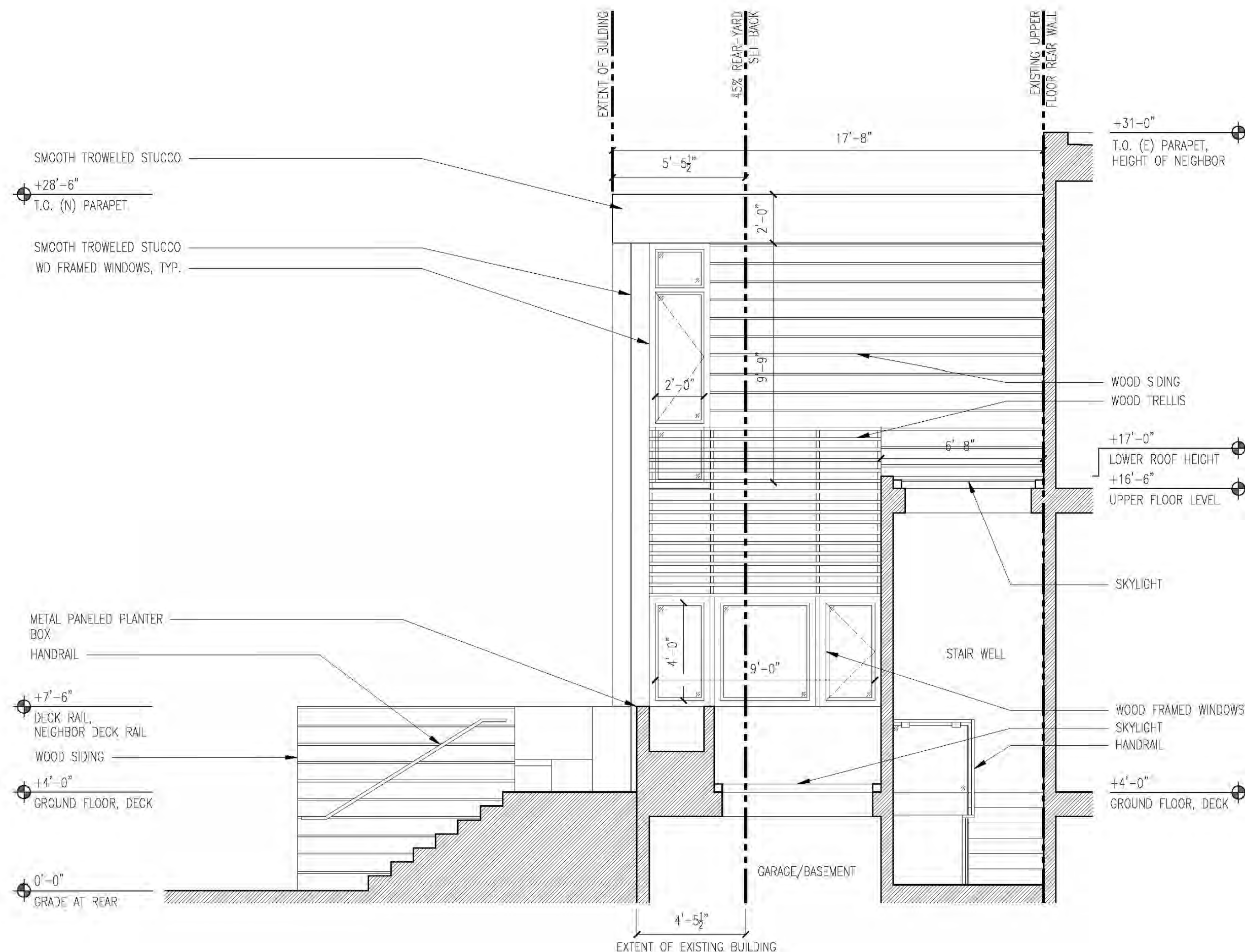
1 REAR ELEVATION - DEMOLITION  
1/4" = 1'-0"



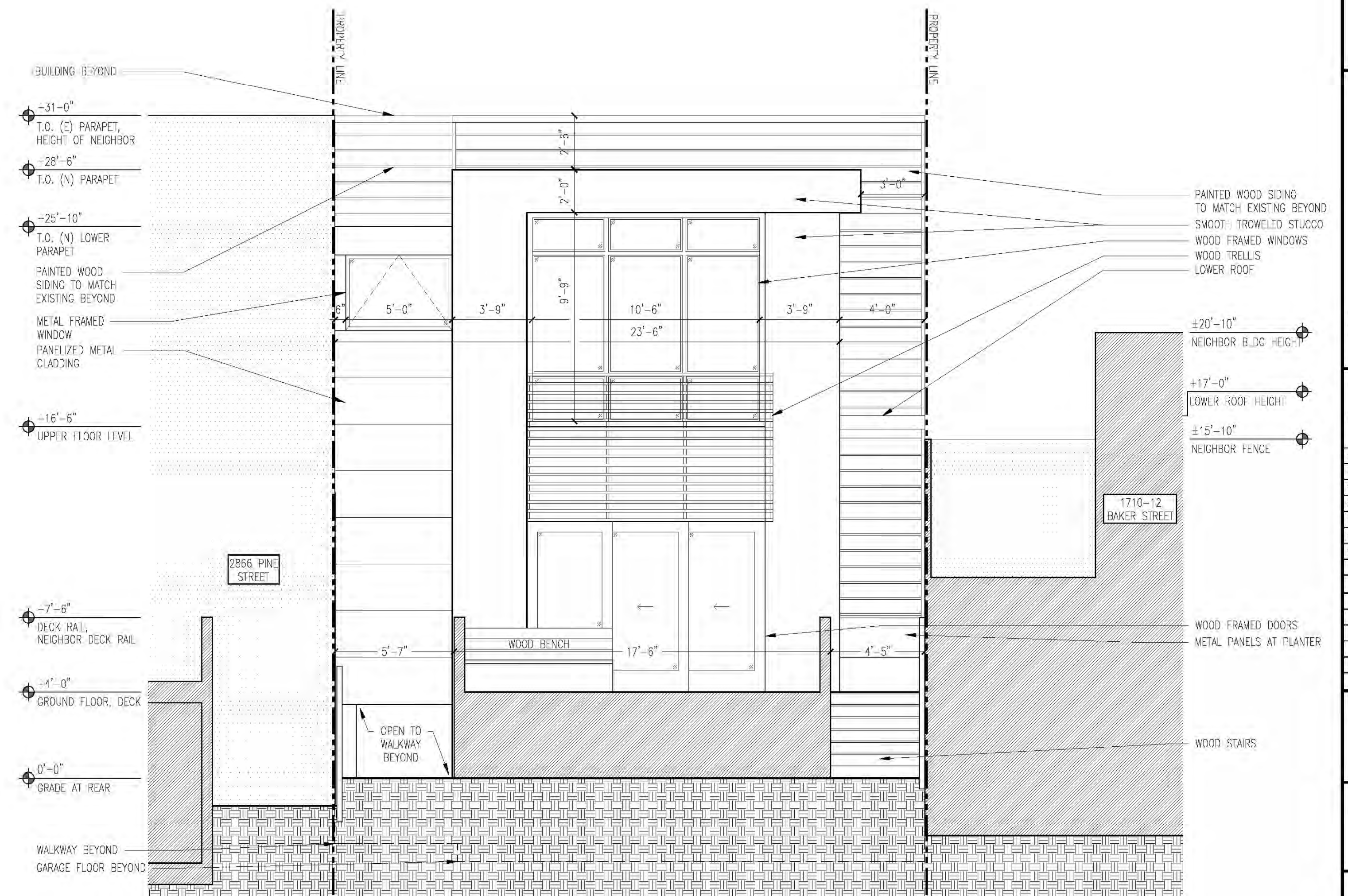




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NOPDR REV.1	06.24.11
NOPDR REV.2	07.05.11
VARIANCE PDF SET	07.05.11



2 PROPOSED WEST ELEVATION

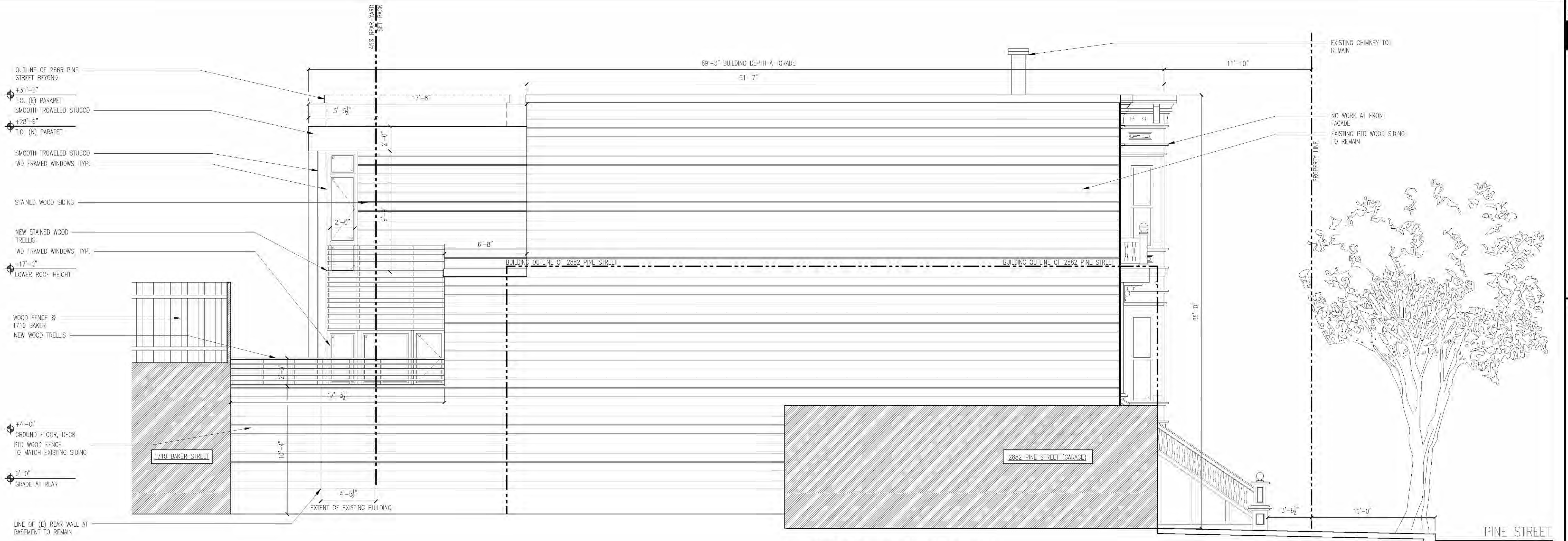


1 PROPOSED REAR ELEVATION

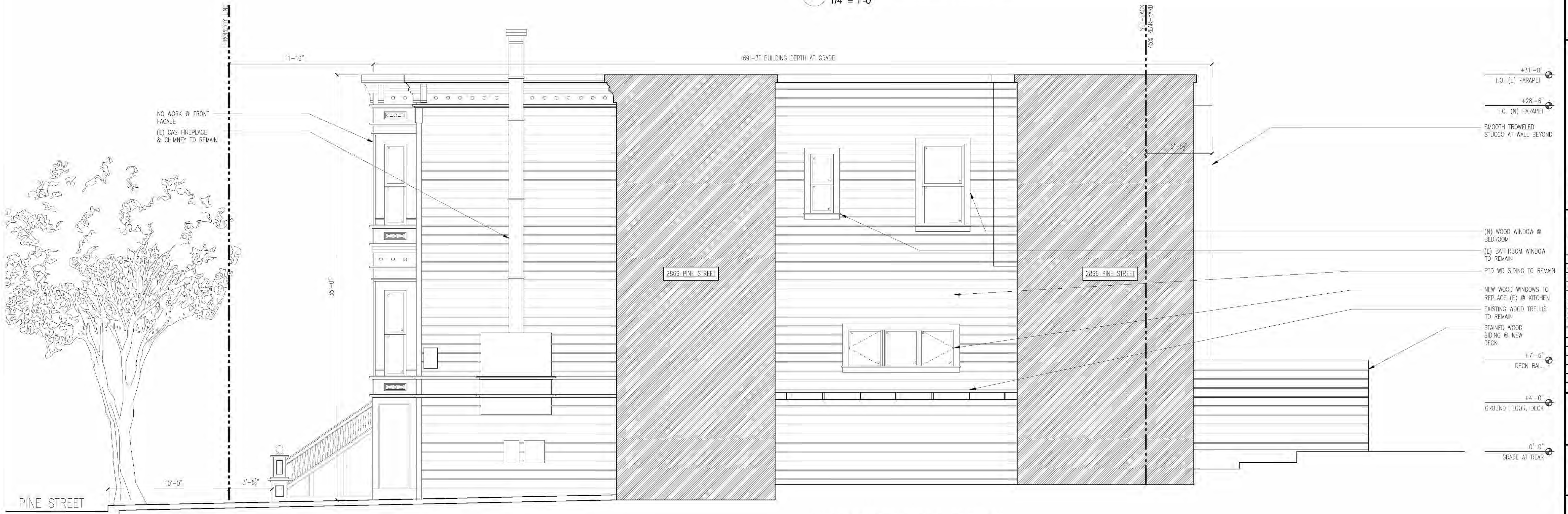
1/4" = 1'-0"



NO.	DATE
NEIGHBOR MEETING	04.26.11
PRE-APP MEETING	05.14.11
VARIANCE SUBMITTAL	05.17.11
SITE PERMIT	06.01.11
NOPDR REV.1	06.24.11
NOPDR REV.2	07.05.11
VARIANCE PDF SET	07.05.11



2 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION  
1/4" = 1'-0"