



SAN FRANCISCO **PLANNING DEPARTMENT**

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 24, 2011**
Time: **Beginning at 9:30 AM**
Location: **Planning Department
1650 Mission Street, Room 431**
Case Type: **Variance (Rear Yard, Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2101 Scott Street	Case No.:	2011.0475V
Cross Street(s):	Sacramento Street	Building Permit:	2010.12.20.6978
Block /Lot No.:	1003/056	Applicant/Agent:	Ross Hummel
Zoning District(s):	RH-3 / 40-X	Telephone:	(415) 355-0095
Area Plan:	n/a	E-Mail:	ross@lineofficearchitecture.com

PROJECT DESCRIPTION

The proposal is for a two-story side horizontal addition to the north side of the existing two-story, mixed use building. The project would expand the residential use of the building at the second floor and provide an enclosed ground floor parking space.

PER PLANNING CODE SECTION 134, a 15-foot deep rear yard is required for the subject property. A partial, 13-foot deep (by 28-foot wide) rear yard is provided for a portion of the lot. For the remainder of the lot width (25 feet), the existing building is constructed entirely within the rear yard area and to the rear property line.

PER PLANNING CODE SECTION 188, a noncomplying structure may be altered if no new discrepancy is created. The existing building is a noncomplying structure as portions of the structure were constructed within the required rear yard area. The portion of the project that that is proposed within the rear yard area is also within the existing building footprint; however the proposed alterations would create new discrepancies that would be contrary to Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Glenn Cabrerros** Telephone: **(415) 558-6169** E-Mail: glenn.cabreros@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0475V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **Building Permit Application No. 2010.12.20.6978 has been filed for the project, and the required Section 311 notification has been performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

BASIS OF SURVEY
GRANT DEED RECORDED IN REEL J223, IMAGE 0091 O.R.

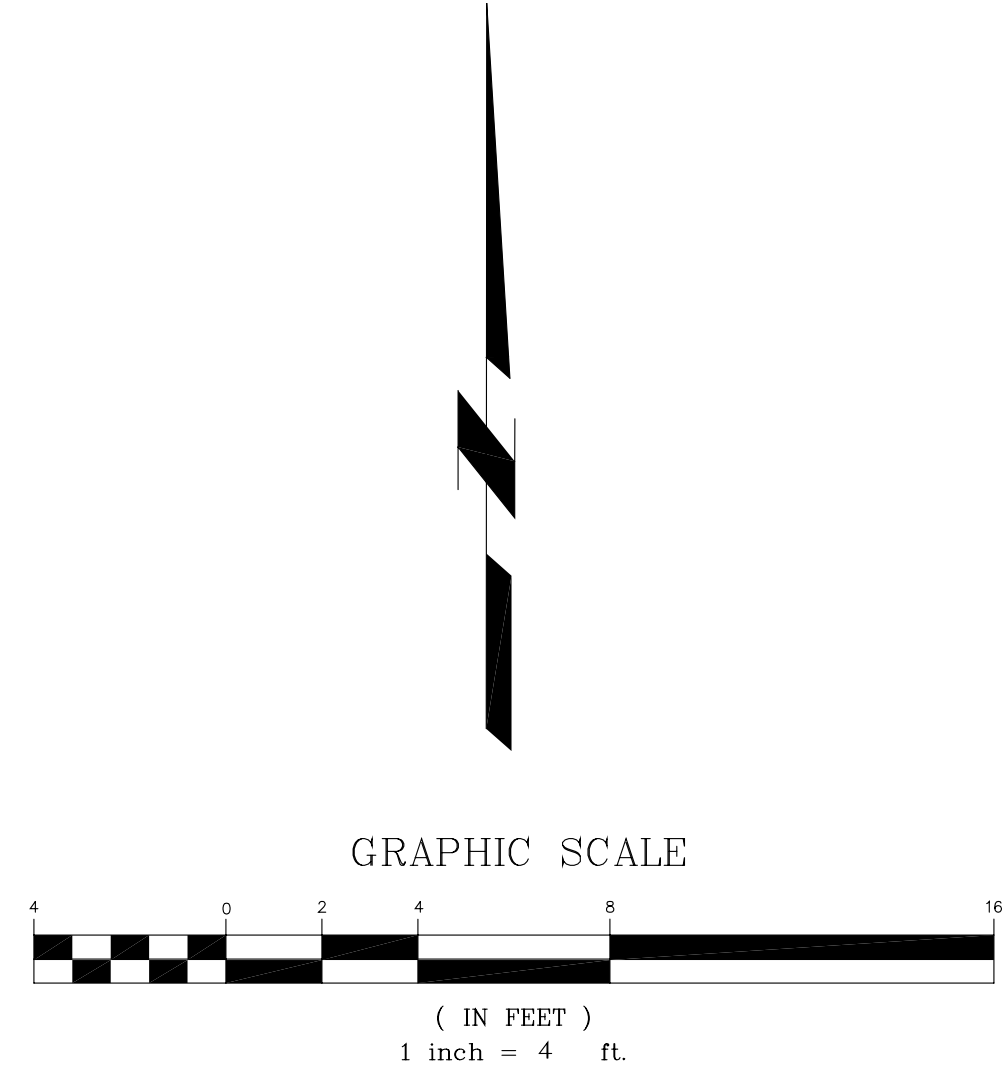
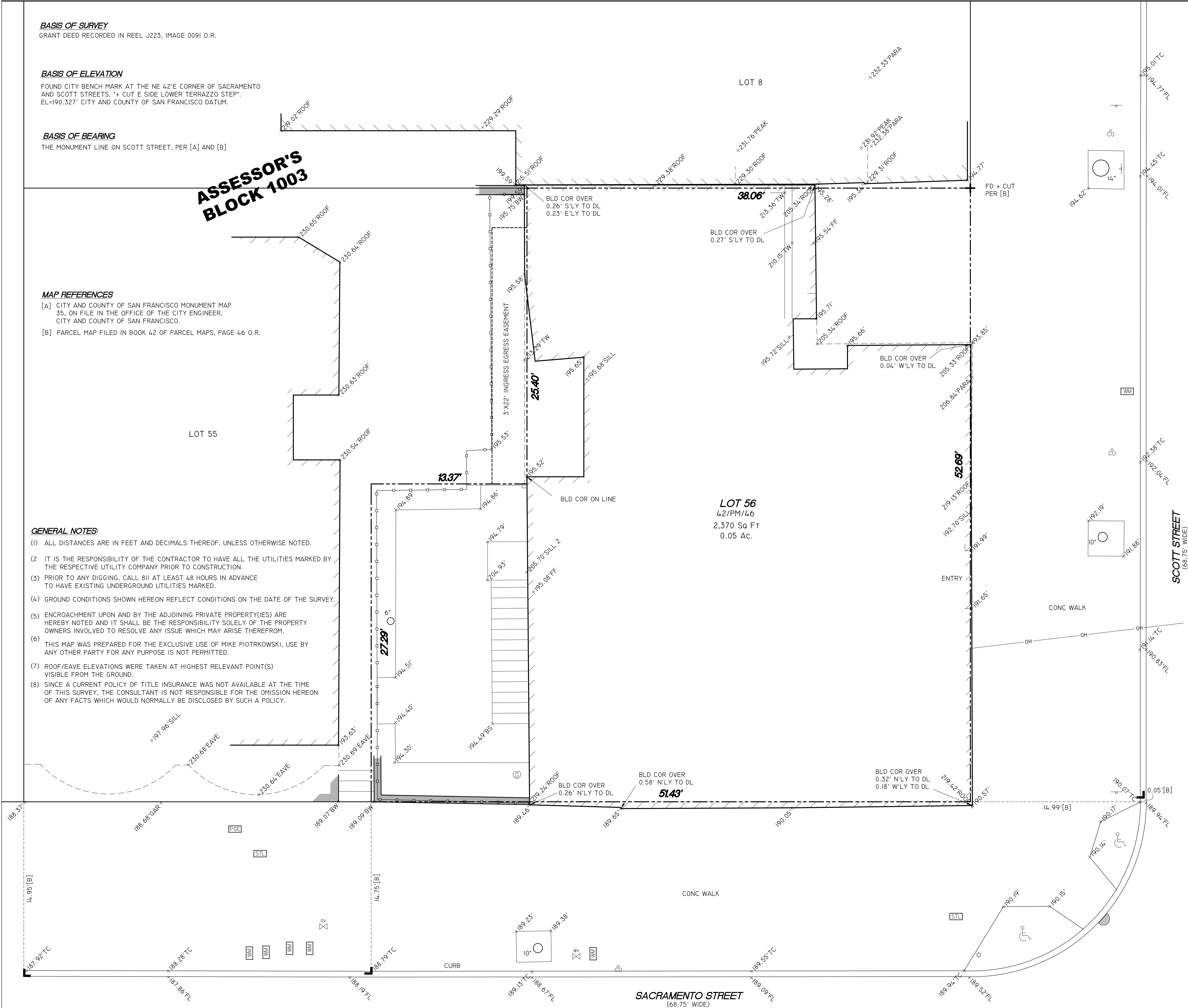
BASIS OF ELEVATION
FOUND CITY BENCH MARK AT THE NE 42'E CORNER OF SACRAMENTO AND SCOTT STREETS, "+ CUT E SIDE LOWER TERRAZZO STEP".
EL=190.327' CITY AND COUNTY OF SAN FRANCISCO DATUM.

BASIS OF BEARING
THE MONUMENT LINE ON SCOTT STREET, PER [A] AND [B]

ASSESSOR'S
BLOCK 1003

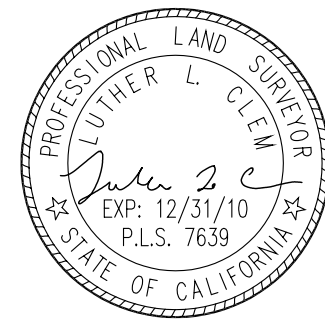
MAP REFERENCES
[A] CITY AND COUNTY OF SAN FRANCISCO MONUMENT MAP
35, ON FILE IN THE OFFICE OF THE CITY ENGINEER,
CITY AND COUNTY OF SAN FRANCISCO.
[B] PARCEL MAP FILED IN BOOK 42 OF PARCEL MAPS, PAGE 46 O.R.

- GENERAL NOTES:**
- (1) ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
 - (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
 - (3) PRIOR TO ANY DIGGING, CALL 811 AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
 - (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
 - (5) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
 - (6) THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF MIKE PIOTRKOWSKI. USE BY ANY OTHER PARTY FOR ANY PURPOSE IS NOT PERMITTED.
 - (7) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
 - (8) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY.



LEGEND

- | | |
|-------------------|-------------------|
| TW | TOP OF WALL EL |
| BW | BOTTOM OF WALL EL |
| CONC | CONCRETE |
| OH | OVERHEAD LINES |
| FD | FOUND |
| FL | FLOWLINE |
| TC | TOP OF CURB |
| CLEANOUT | CLEANOUT |
| WOOD FENCE | WOOD FENCE |
| FOUND "L" CUT | FOUND "L" CUT |
| GAS METER | GAS METER |
| GAS VALVE | GAS VALVE |
| STL | STREET LIGHT BOX |
| PGE | PGE BOX |
| DEED LINE | DEED LINE |
| RECORD DATA | RECORD DATA |
| SIGN | SIGN |
| STORM WATER INLET | STORM WATER INLET |
| SPOT ELEVATIONS | SPOT ELEVATIONS |
| TREE (W/DIA) | TREE (W/DIA) |
| WM | WATER METER |
| WV | WATER VALVE |
| STAR | STREET LIGHT |

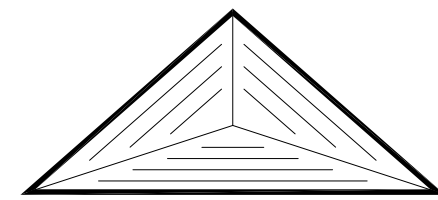


SITE SURVEY

OF
APN 1003 056
2101-2103 SCOTT STREET
CITY OF SAN FRANCISCO
PREPARED AT THE REQUEST OF
MIKE PIOTRKOWSKI

COUNTY OF SAN FRANCISCO CALIFORNIA
SCALE 1"=4" COPYRIGHT © 2010 AUG 2010

GEOMETRIX
SURVEYING ENGINEERING INC.



5436 CALIFORNIA STREET
SAN FRANCISCO, CA 94118
(415) 422-0527
(415) 422-0577
LOU@GEOMETRIXSURVEY.COM
WWW.GEOMETRIXSURVEY.COM

PROJECT NO: 10022	FIELD SURVEY DATE: 08-03-10
REVISION 0	DRAWN BY: LC
REVISED:	PAGE 1 OF 1

JIM JENNINGS
ARCHITECTURE
49 RODGERS ALLEY • SAN FRANCISCO, CA 94103
TEL 415.551.0827 • FAX 415.551.0829
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2101 SCOTT STREET
2101 SCOTT STREET - SAN FRANCISCO, CA 94115

REVISION

2 05.03.11 PLANNING RESUBMIT

1 12.16.10 PLANNING SET

ISSUE

SCALE
AS NOTED

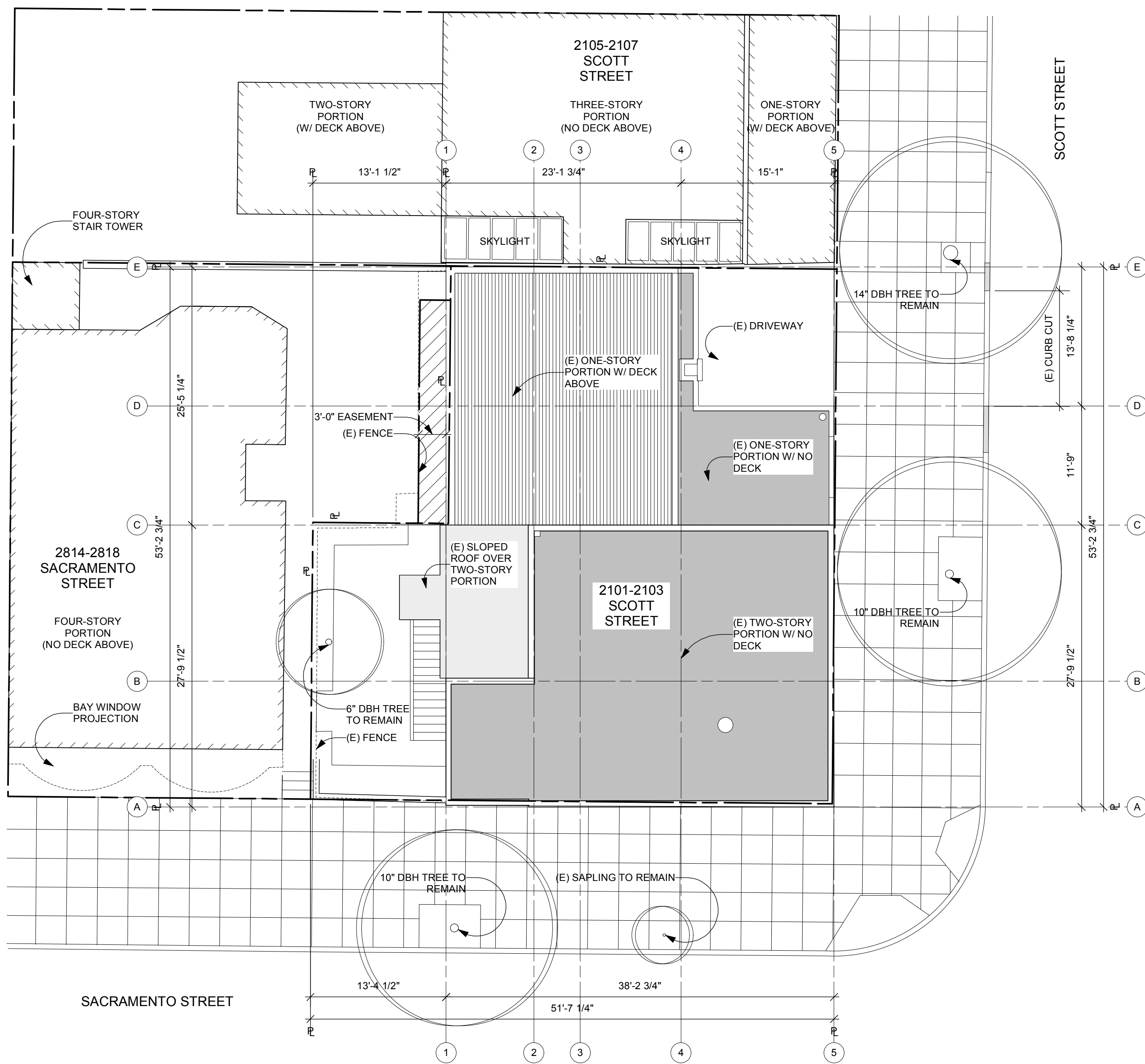
DATE

05.03.10

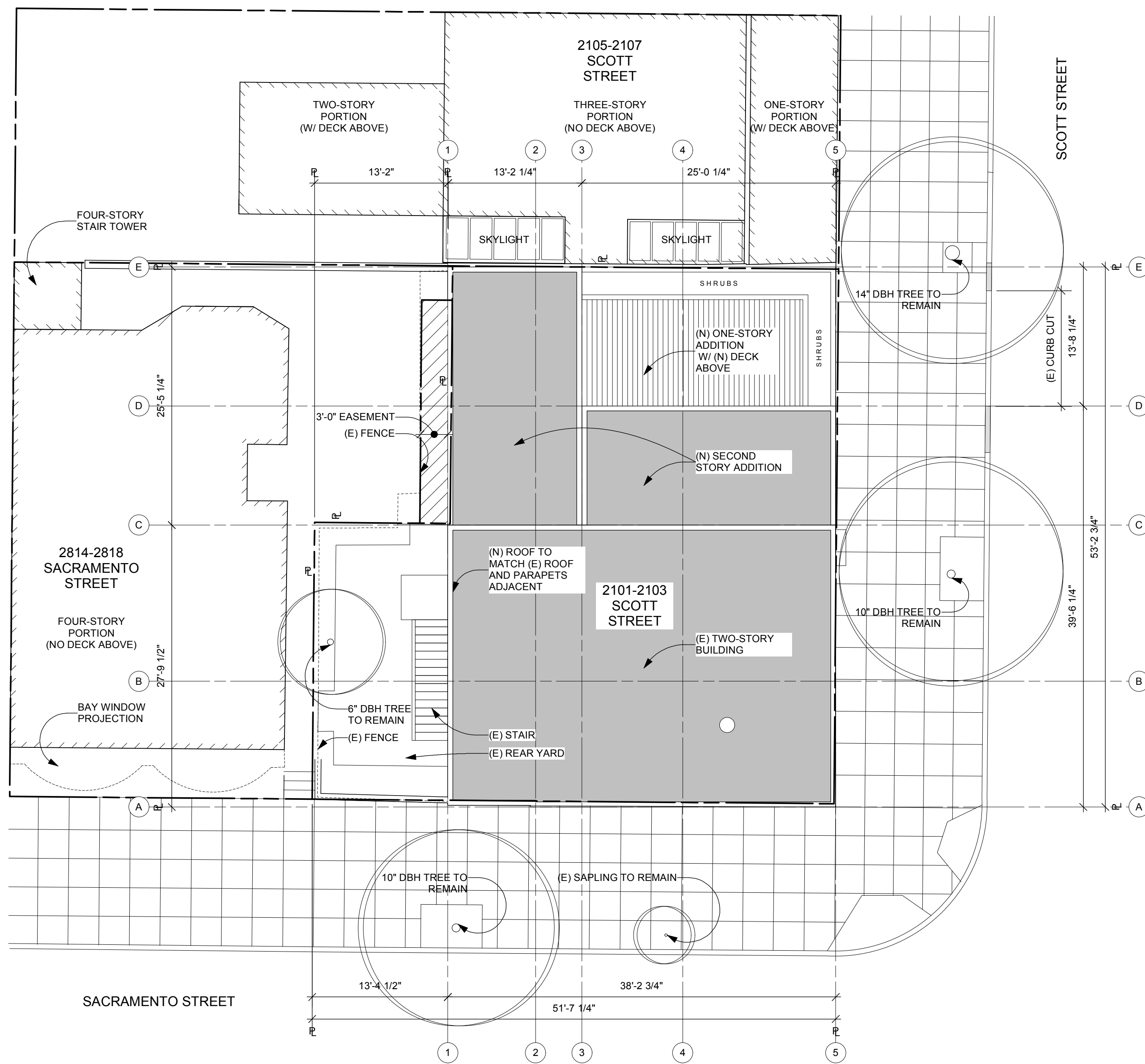
SHEET

SURVEY

G1.1



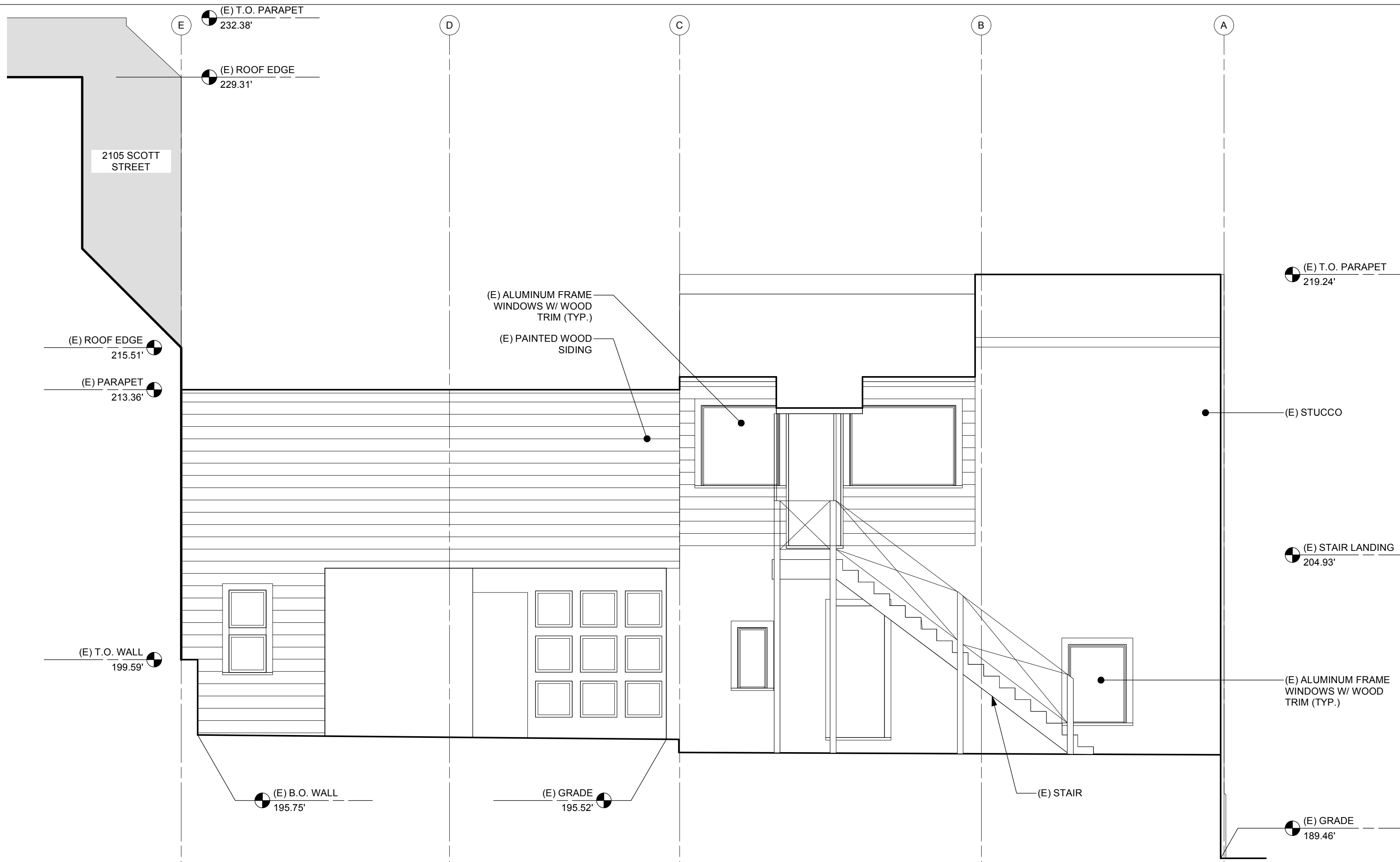
THIS PLAN IS FOR REFERENCE ONLY. PLEASE SEE SURVEY PREPARED BY GEOMETRIX SURVEYING ENGINEERING, INC. (DATED 08.03.10) FOR DETAILED LOCATION OF EXISTING BUILDING AND PROPERTY LINES.



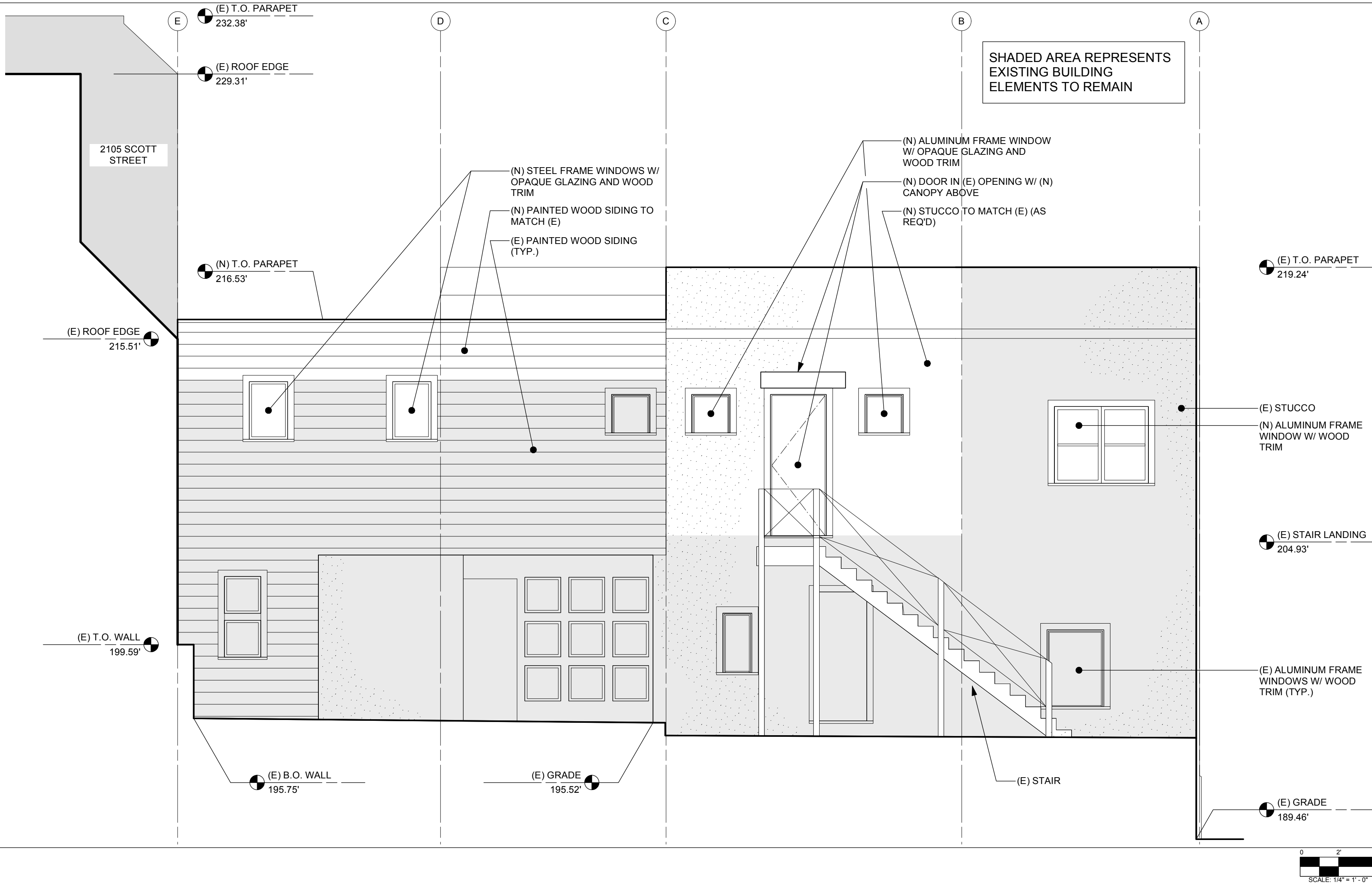
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2101 SCOTT STREET
2101 SCOTT STREET - SAN FRANCISCO, CA 94115

REVISION	
2	05.03.11 PLANNING RESUBMIT
1	12.16.10 PLANNING SET
ISSUE	
AS NOTED	
SCALE	
AS NOTED	
DATE	
05.03.11	
SHEET	
SITE PLAN	



8 WEST ELEVATION - EXISTING



16 WEST ELEVATION - PROPOSED

230.69'
(E) T.O. PARAPET

188.37'
(E) GRADE

2814-2818 SACRAMENTO
STREET

(E) STAIR

(E) GRADE
189.46'

(E) T.O. PARAPET
219.24'

(E) STUCCO
(E) ALUMINUM FRAME
WINDOWS W/ WOOD
TRIM (TYP.)

(E) ALUMINUM FRAME
WINDOWS W/ WOOD
TRIM (TYP.)

(E) GRADE
190.57'

0 2' 4'
SCALE: 1/8" = 1'-0"

8 SOUTH ELEVATION - EXISTING

230.69'
(E) T.O. PARAPET

188.37'
(E) GRADE

2814-2818 SACRAMENTO
STREET

(N) CANOPY
(PROJECTION AND
WIDTH TO MATCH
REMOVED
OVERHANG)

(E) STAIR

(E) GRADE
189.46'

SHADED AREA REPRESENTS
EXISTING BUILDING
ELEMENTS TO REMAIN

(E) T.O. PARAPET
219.24'

(E) STUCCO
(E) ALUMINUM FRAME
WINDOWS W/ WOOD
TRIM (TYP.)
(N) DECORATIVE WOOD
PROJECTION

(E) GRADE
190.57'

0 2' 4'
SCALE: 1/8" = 1'-0"

16 SOUTH ELEVATION - PROPOSED

REVISION

2 05.03.11 PLANNING RESUBMIT
1 12.16.10 PLANNING SET

ISSUE

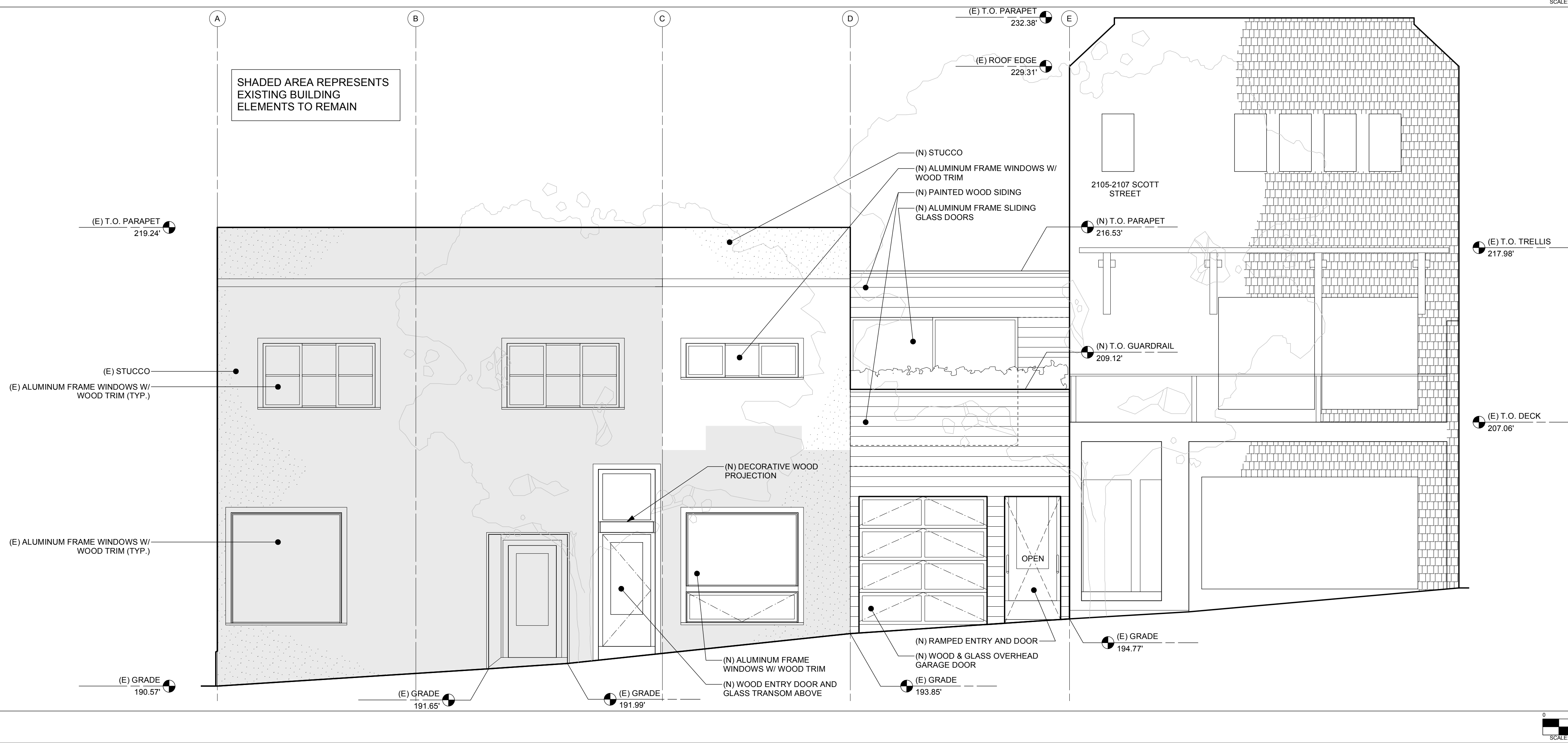
SCALE
AS NOTED

DATE
05.03.11

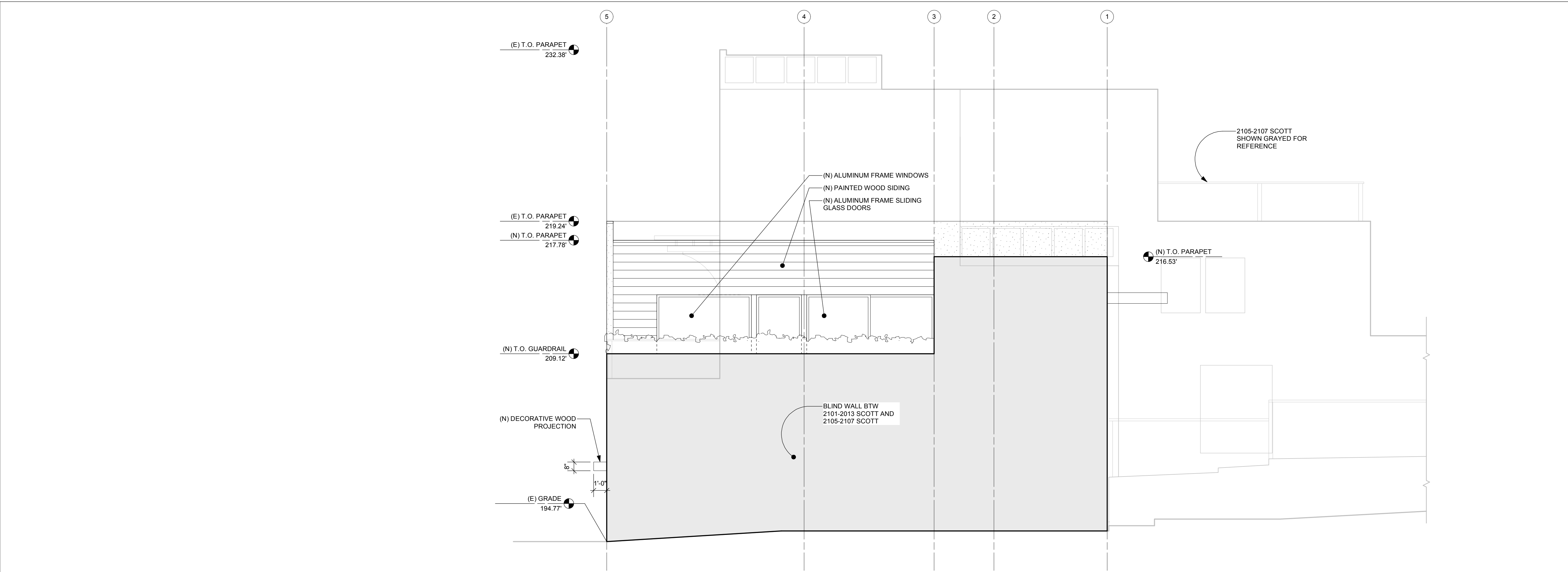
SHEET
ELEVATIONS



8 EAST ELEVATION - EXISTING



16 EAST ELEVATION - PROPOSED



8 NORTH ELEVATION - PROPOSED