



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 518 Anderson Street Cross Street(s): btw Tompkins & Ogden Block /Lot No.: 5723 / 004 Zoning District(s): RH-1 / 40-X Area Plan: Bernal Heights SUD	Case No.: 2011.0466V Building Permit: TBD Applicant/Agent: Angelina Liangggara Telephone: (415) 656-3528

PROJECT DESCRIPTION

The proposal is to demolish and replace the existing rear stairs and legalize an existing 65 square foot sunroom on the second floor.

PER SECTION 242(e)(2) OF THE PLANNING CODE the subject property is required to maintain a required rear yard of 35 percent of lot depth. The subject lot is 70 feet deep and the required rear yard is 24.5 feet. The existing building encroaches approximately 5.5 feet into the required rear yard, leaving a rear yard of approximately 19 feet. The proposed rear stairs will encroach approximately 9 feet into the required rear yard, leaving a rear yard of 15.5 feet. The existing sunroom encroaches approximately 12.5 feet into the required rear yard, leaving a rear yard of approximately 12 feet. Therefore, this project requires a rear yard variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0466V.pdf>

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Erika S. Jackson** Telephone: **(415) 558-6363** E-Mail: erika.jackson@sfgov.org

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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LEGALIZATION OF (E) SUNROOM AND REPLACEMENT OF REAR STAIRWAY

518 ANDERSON STREET, SAN FRANCISCO, CA 94110

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF BEST DESIGN & CONSTRUCTION COMPANY AND THEY ARE NOT TO BE USED FOR ANY OTHER JOB WITHOUT WRITTEN PERMISSION BY THE ARCHITECT AND ENGINEER.
- THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBLE FOR THE QUALITY OF THE WORK OR MATERIALS, METHODS OF CONSTRUCTION, OR TIMELINESS IN PERFORMANCE OF THE WORK.
- GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE PROJECT.
- EXISTING CONDITIONS: CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS.
ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- PRIOR TO CONSTRUCTION, DISCREPANCIES AND CONSTRUCTION DESIGN DETAILS BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS AND THE EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE CALIFORNIA BUILDING CODE, LOCAL BUILDING CODE, MANUFACTURER'S RECOMMENDATIONS, AND CHECK WITH LOCAL JURISDICTION REGARDING LATEST AMENDMENTS & CODE REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, TELEPHONE AND LIGHTING (INCLUDING PIPING, DUCTWORK AND CONDUIT), AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY MATERIALS PURCHASING AND CONSTRUCTION. AS THE DESIGN AND MANUFACTURER REQUIREMENTS MAY CHANGE FROM TIME TO TIME, CONTRACTOR SHALL COORDINATE AND CONFIRM WITH MANUFACTURER REGARDING THE LATEST, UPDATED LOCAL AND FEDERAL REQUIREMENTS OF THE PRODUCTS. BY APPROVING, STAMPING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND DRAWINGS. CONTRACTOR SHALL REPORT TO THE ARCHITECT ABOUT ANY DEVIATIONS TO THE DESIGN PLANS PRIOR TO PROCEEDING WITH THE WORK.
- ALL MATERIALS AND FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL FOLLOW ALL REFERENCED ICBO REPORTS FOR INSTALLATIONS OF ITEMS AS INDICATED.
- CONFLICTS BETWEEN WORK DESCRIBED IN THESE DOCUMENTS AND THE APPLICABLE CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER AND SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH ALL CODE AND ORDINANCE PROVISIONS. COMPLIANCE WITH MINIMUM CODE AND REQUIREMENTS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE WORK IN CONFORMANCE WITH THE INTENT OF THESE DRAWINGS.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE DRAWINGS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- PERMITS: THE CONTRACTOR SHALL OBTAIN MECHANICAL, ELECTRICAL, PLUMBING AND RELATED SUB-PERMIT, AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPT THE GENERAL BUILDING PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNER AND IS REIMBURSABLE TO THE GENERAL CONTRACTOR.
IF FIELD DESIGN-BUILD, PROVIDE SHOP SUBMITTALS FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- CODES: EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE, NATIONAL ELECTRIC CODES NATIONAL MECHANICAL CODES AND NATIONAL PLUMBING CODES, SEISMIC CODES, NFPA, ASME, ANSI, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, STATE TITLE AND ADMINISTRATIVE CODES, CITY/COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY AND CHECK LOT DIMENSIONS, CORNER STAKES, TOPOGRAPHIC, ETC. TO SET BUILDING LOCATION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR SHALL LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS BEING PERFORMED.

LEGEND

- SWITCH
- SWITCH W/ SENSOR
- SWITCH (THREE WAY)
- SWITCH W/ DIMMER
- ELECTRICAL OUTLET
- GROUND FAULT INTERRUPT
- GROUND FAULT INTERRUPT (WATER PROOF)
- LIGHTING FIXTURE (WALL-MOUNT)
- HIGH EFFICACY LIGHTING (WALL-MOUNT)
- LIGHTING FIXTURE (CEILING-MOUNT)
- HIGH EFFICACY LIGHTING FIXTURE (RECESSED)
- LIGHTING FIXTURE (RECESSED)
- SHOWER LIGHTING TRIMS (RECESSED)
- VANITY LIGHT
- 1X4 FLUORESCENT LAMP
- HARDWIRED SMOKE DETECTOR 110V W/ BATTERY BACKUP
- TELEPHONE
- TELEVISION
- EXHAUST FAN W/ HIGH EFFICACY LIGHTING
- HEAT REGISTER
- EMERGENCY ILLUMINATION
- EXIT SIGN
- Z-DUCT
- (E) WALL TO BE REMOVED
- (E) WALL
- (N) 2X STUD WALL @ 16" OC
- (N) 1-HR. FIRE RATED WALL
- (N) 1-HR. FIRE RATED SOUND PROOF WALL
- (N) 42" H 1-HR. FIRE RATED PARAPET
- (N) 2-HR. FIRE RATED WALL
- (N) 2-HR. FIRE RATED SOUND PROOF WALL
- CONCRETE RETAINING WALL

- CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF EACH DAY. AT THE COMPLETION OF CONSTRUCTION, REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS.
- PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.
- ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE WORK. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION WITH DRAWINGS.
- DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.
- INSTALLATION: ALL ITEMS SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATION. THE CONTRACTOR SHALL PROVIDE ALL OPERATING MANUALS, GUARANTEES PRODUCT DATA AND RELATED INFORMATION FOR OWNER'S MAINTENANCE AND OPERATION OF PRODUCTS.
- SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUB-CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.
- SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE WRITTEN APPROVAL BY THE ARCHITECT AND THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
- DAMAGE: THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL DAMAGES CAUSED BY HIM OR HIS SUB-CONTRACTORS TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER.
- GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- DEMOLITION: ALL DEMOLITION INDICATED ON PLANS SHALL BE CAREFULLY CUT AND REMOVED IN ORDER TO MINIMIZE DISRUPTION AND DAMAGE OF EXISTING CONSTRUCTION.
- COLUMNS CENTERLINES (ALSO REFERRED TO AS GRID LINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).
- ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED. ALLOW FOR THICKNESS OF TILE, ETC. WHILE OCCURS.
- SEAL ALL SOUND-RATED CONSTRUCTIONS AIRTIGHT AT INTERSECTING SURFACES AND PENETRATIONS.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE CURRENT BUILDING STANDARDS.

SYMBOLS

- SOLID LINE, ALL ITEMS, EXCEPT AS NOTED BELOW
- DASHED LINE, ITEMS HIDDEN, ABOVE, OR TO BE REMOVED AS INDICATED
- PROPERTY LINE
- CENTER LINES OR COLUMN GRIDS
- BREAK LINE
- DETAIL, X-DETAIL NUMBER, XX-SHEET NUMBER
- SECTION, X-SECTION NUMBER, XX-SHEET NUMBER
- INTERIOR ELEVATION, X-ELEVATION NUMBER, XX-SHEET NUMBER
- EQUIPMENT NUMBER
- DOOR OR WINDOW NUMBER
- REVISION NUMBER
- COLUMN OR GRID LINES
- CEILING HEIGHT
- TOPOGRAPHIC ELEVATION

PROJECT DATA

BLOCK: 5723 LOT: 004

ZONE: RH-1

REAR SETBACK: ±11'-11"

BUILDING SQUARE FOOTAGE APPROX.: (E)±1,996 SF

OCCUPANCY: R-3

NO. OF RESIDENTIAL UNITS: 1 (NO CHANGE)

NO. OF STORIES: 2 (NO CHANGE)

TYPE OF CONSTRUCTION: V-B

HEIGHT LIMIT: 40'-0" MAX.

OWNER: MATT NORFLEET
518 ANDERSON STREET, SAN FRANCISCO, CA 94110

SCOPE OF WORK

- LEGALIZATIO OF (E) SUNROOM & REPLACEMENT OF REAR STAIRWAY.

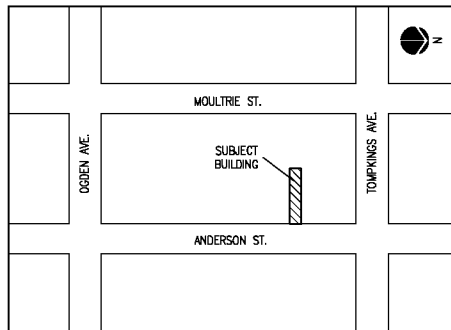
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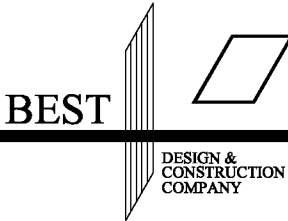
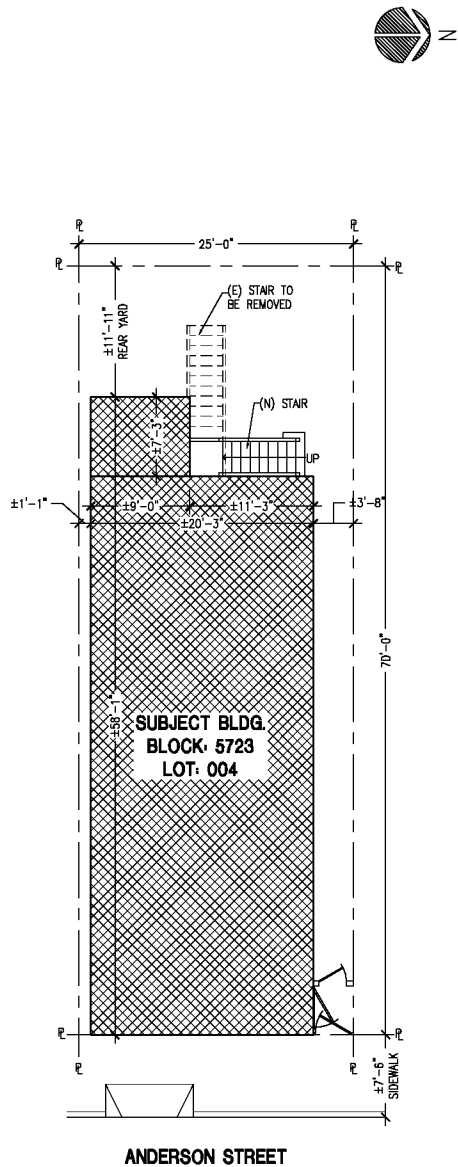
APPLICABLE BLDG. CODE

- 2010 CALIF. BLDG. CODE & S.F. AMENDMENTS
- 2010 CALIF. MECH. CODE & S.F. AMENDMENTS
- 2010 CALIF. PLUMB. CODE & S.F. AMENDMENTS
- 2010 CALIF. ELECTR. CODE & S.F. AMENDMENTS
- 2010 CALIF. ENERGY CODE
- 2010 CALIF. FIRE CODE & S.F. AMENDMENTS
- 2010 S.F. HOUSING CODE

LOCATION PLAN N.T.S.



PLOT PLAN N.T.S.



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100 Old County Road, Suite 100C
Brisbane Shopping Center, Brisbane, CA 94005
Tel 415-636-3328 Fax 415-636-4416

SAN FRANCISCO OFFICE
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San Francisco, CA 94127
Tel 415-452-8676 Fax 415-452-3476

LEGALIZATION OF (E) SUNROOM & REPLACEMENT OF REAR STAIRWAY

518 ANDERSON STREET,
SAN FRANCISCO, CA 94110

DATE	REVISION
03/29/11	SUBMIT FOR PERMIT

DATE:	02/24/2011
SCALE:	AS NOTED
DRAWN BY:	YH
PROJ. NO.:	211154

DRAWING TITLE

GENERAL NOTES
LOCATION PLAN,
PROJECT DATA
TABLE OF CONTENT

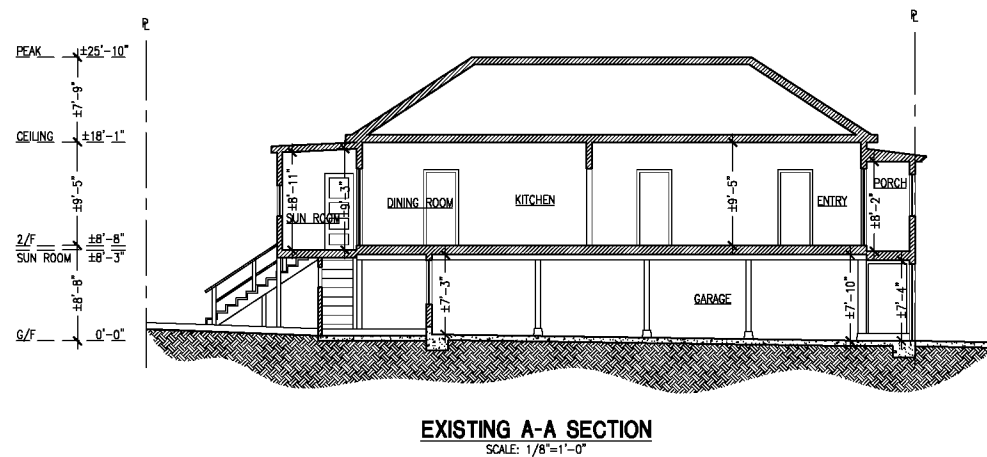
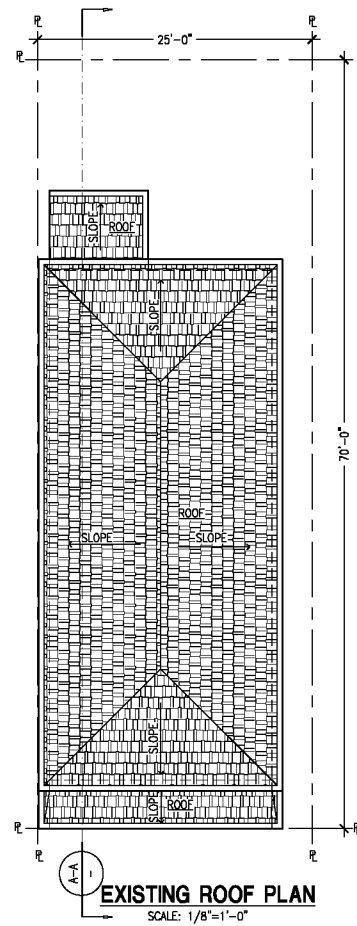
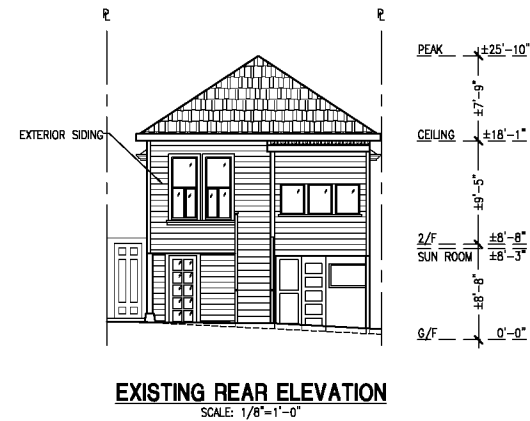
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LEGALIZATION OF (E) SUNROOM & REPLACEMENT OF REAR STAIRWAY

518 ANDERSON STREET,
SAN FRANCISCO, CA 94110

DATE	REVISION
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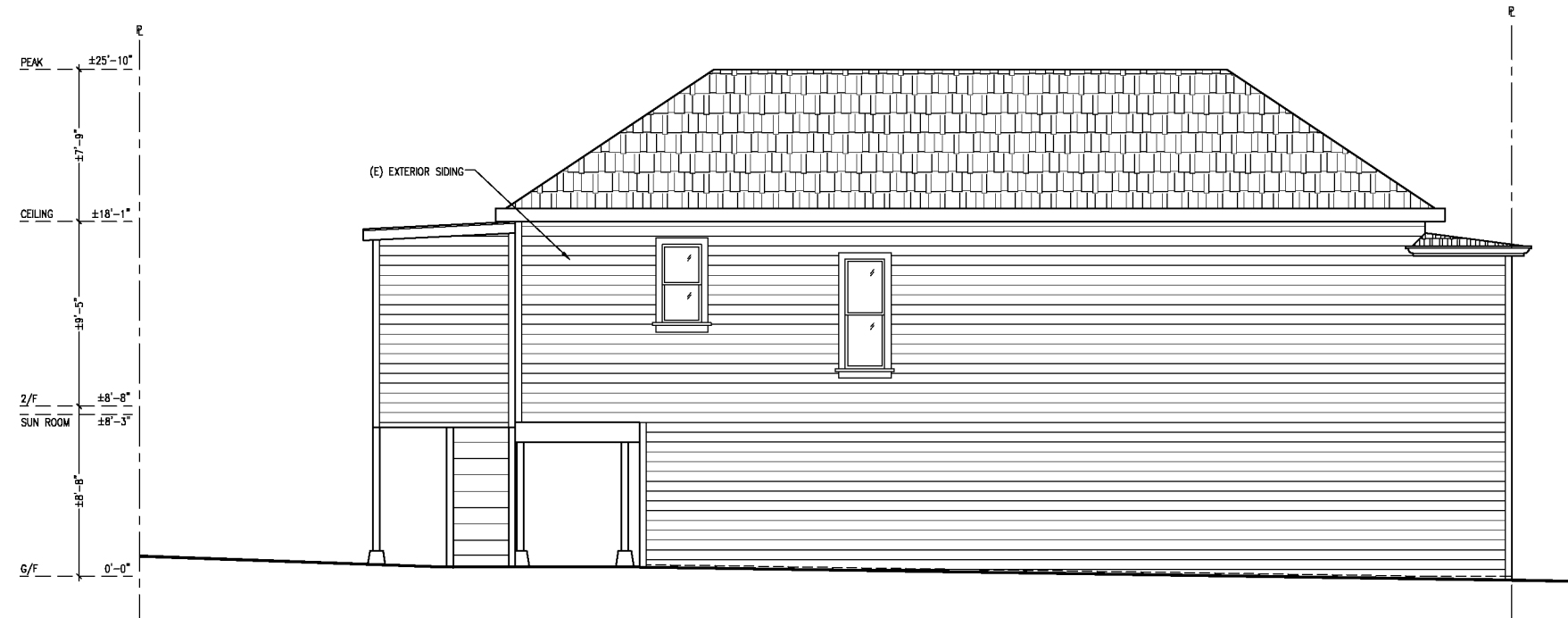
DATE: 02/24/2011
SCALE: AS NOTED
DRAWN BY: YH
PROJ. NO.: 211154

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**EXISTING PLANS,
ELEVATIONS & SECTION**

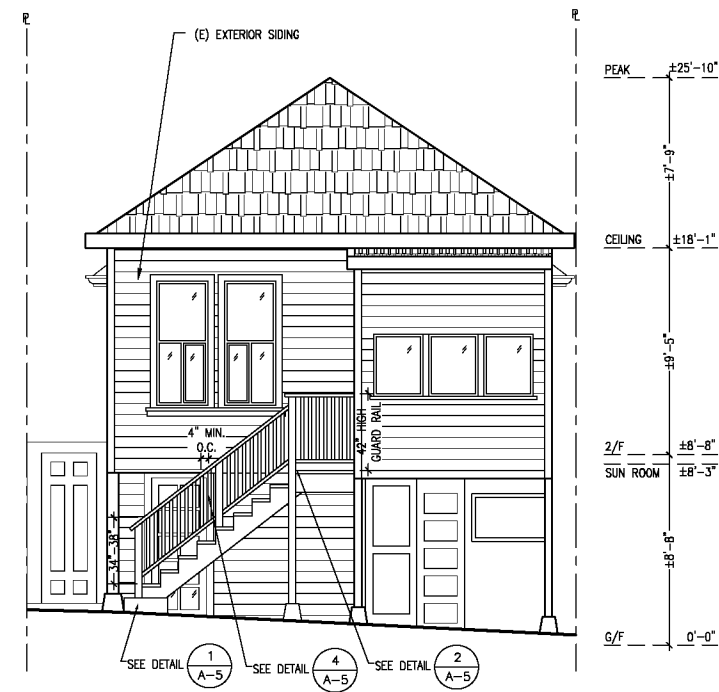
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2 OF 5 SHEETS

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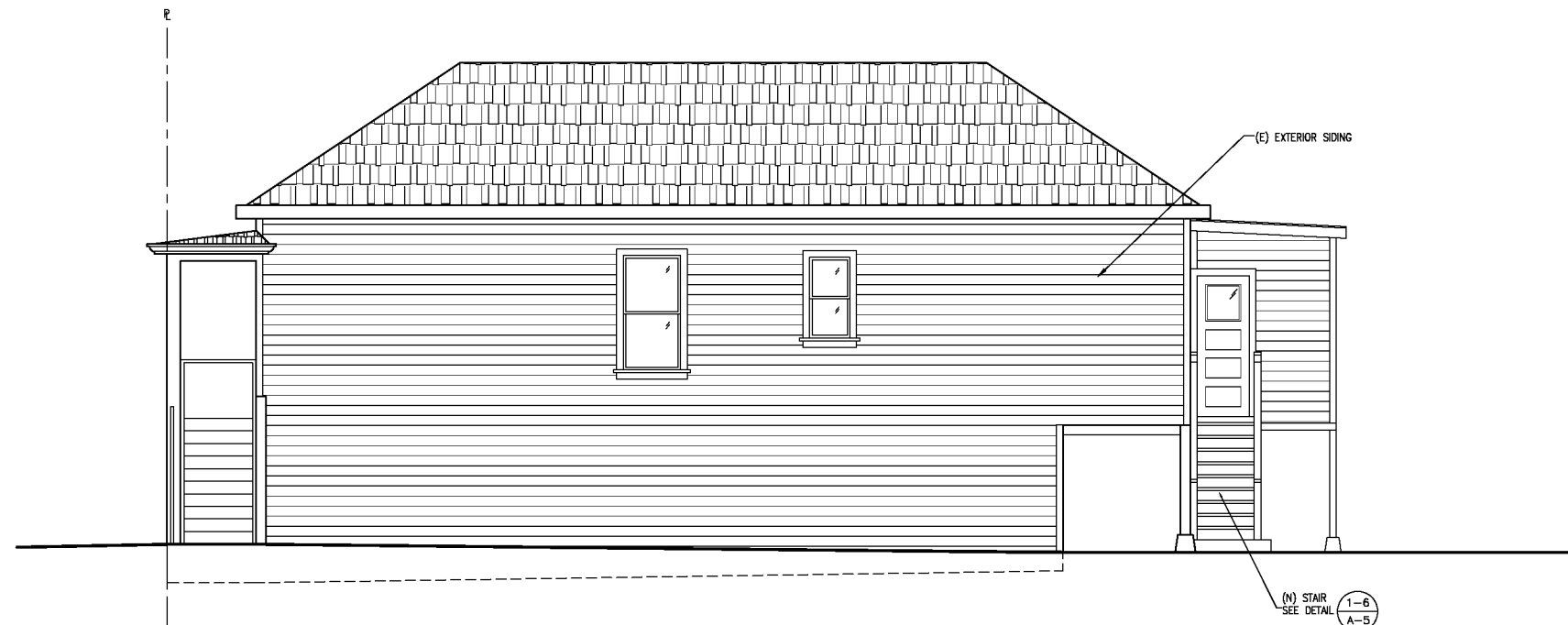
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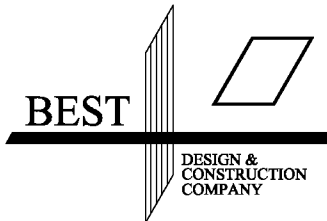
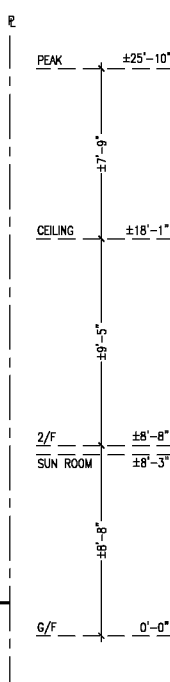
PROPOSED SOUTH ELEVATION



PROPOSED REAR ELEVATION



PROPOSED NORTH ELEVATION



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LEGALIZATION OF (E) SUNROOM & REPLACEMENT OF REAR STAIRWAY

518 ANDERSON STREET,
SAN FRANCISCO, CA 94110

DATE	REVISION
03/29/11	SUBMIT FOR PERMIT

DATE: 02/24/2011
SCALE: AS NOTED
DRAWN BY: HY
PROJ. NO.: 211154

DRAWING TITLE

PROPOSED ELEVATIONS

SHEET NO.

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