



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 22, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard and Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2 - 5th Avenue	Case No.:	2011.0441V
Cross Street(s):	SE corner of 5th Ave. & the Presidio (West Pacific Ave.)	Building Permit:	To be filed
Block /Lot No.:	1354/022	Applicant/ <u>Agent</u> :	Pierre Guettier
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 440-8024 ext. 106
Area Plan:	N/A	E-Mail:	pguettier@skurman.com
PROJECT DESCRIPTION			
<p>The proposal is to construct a solarium that will extend into the required rear yard of the lot, which is developed with a three-story, single-family dwelling at the southeast corner of 5th Avenue and the Presidio (West Pacific Avenue). The proposed solarium (approximately 16' wide by 16' deep by 13' high) will replace an existing conservatory which provides sheltered access between the kitchen and dining room. The proposed solarium will be set back approximately 20 feet from the rear (east) property line.</p> <p>SECTION 134 OF THE PLANNING CODE requires a rear yard area in an RH-1 Zoning District to be equivalent to 25 percent of the total lot depth at grade level and at each succeeding story of the building. The subject property, with an average lot depth of approximately 121 feet, has a required rear yard of approximately 30 feet. The proposed rear addition would encroach 10 feet into the required rear yard.</p> <p>SECTION 188 OF THE PLANNING CODE prohibits the expansion or replacement of a noncomplying structure. Because a portion of the existing building already encroaches into the required rear yard, it is considered a legal noncomplying structure. Therefore, the proposed expansion would be contrary to Section 188 of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Sharon M. Young Telephone: (415) 558-6346 E-Mail: sharon.m.young@sfgov.org</p> <p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0441V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

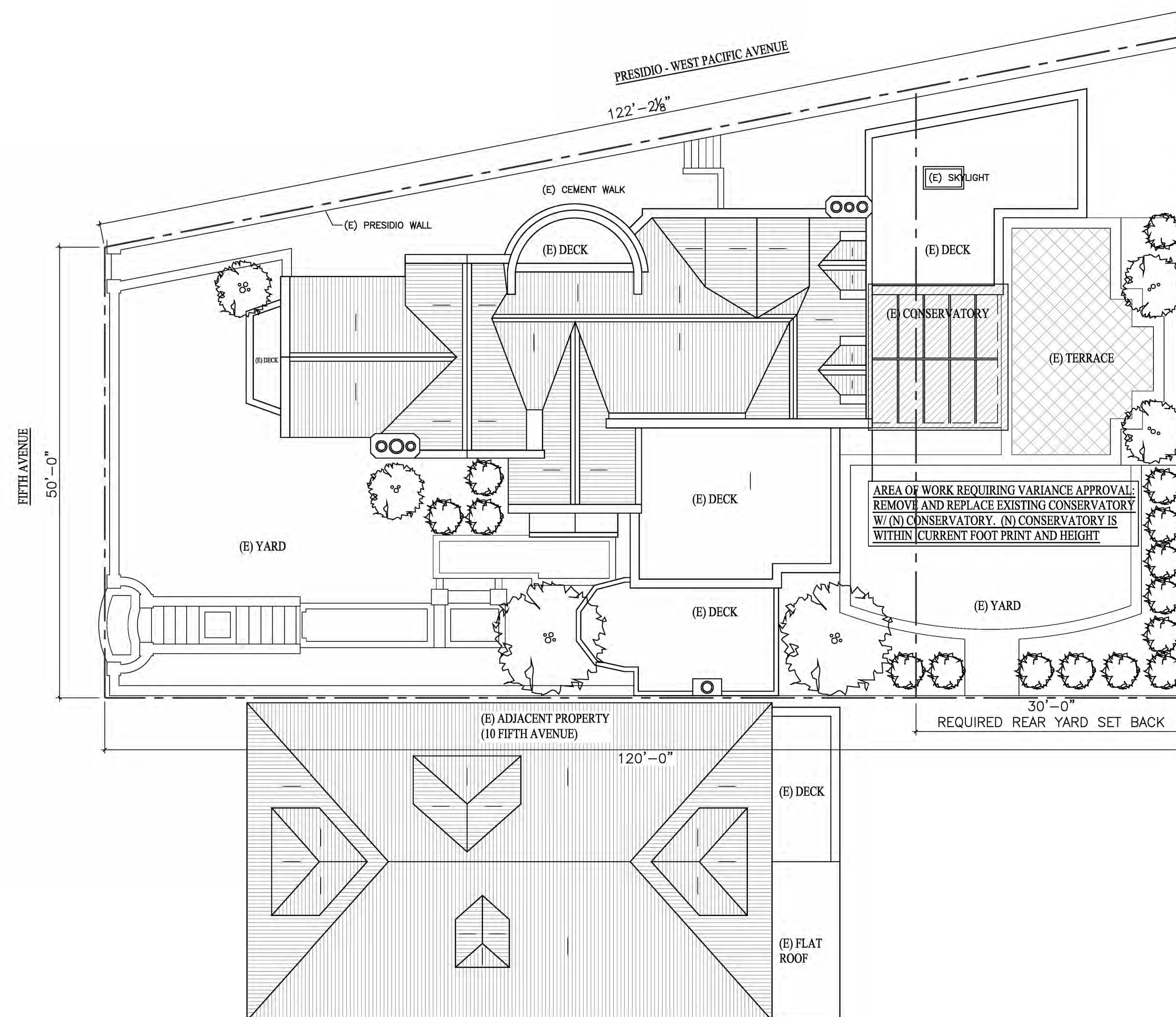
Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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415.558.6378

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415.558.6409

Planning
Information:
415.558.6377



1
A1.1 SITEPLAN
SCALE: 1/8" = 1'-0"



VARIANCE APPLICATION DRAWINGS

Andrew Skurman
Architects



3654 Sacramento Street
San Francisco, CA 94118
tel 415/440.4480
fax 415/440.4488

MONCADA-COHEN
RESIDENCE
BLOCK 1354 LOT 22
2 FIFTH AVENUE
SAN FRANCISCO, CA 94118

Sheet Title

SITE PLAN

Project No.

Sheet No.

Scale

AS NOTED

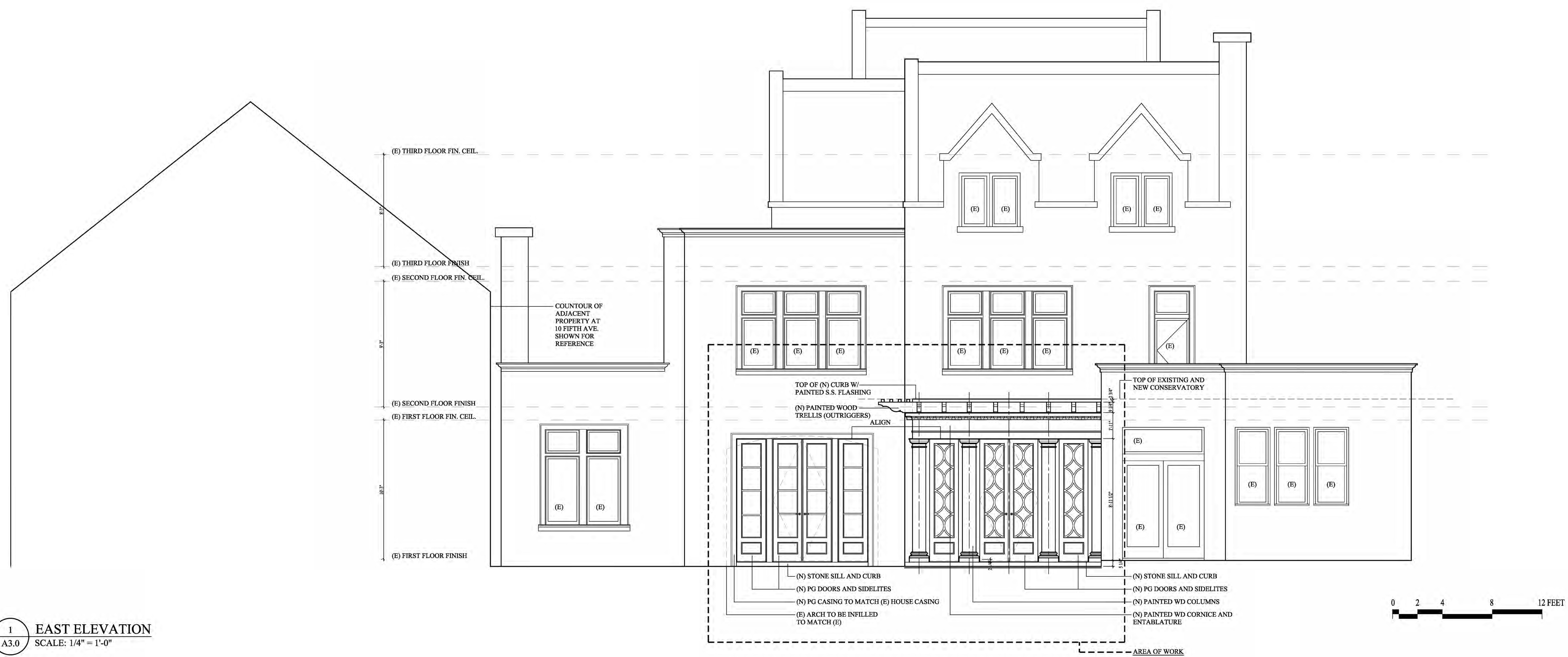
Date

MAY 3rd, 2011

A1.1



2 SOUTH ELEVATION
A3.0 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
A3.0 SCALE: 1/4" = 1'-0"



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MONCADA-COHEN RESIDENCE
BLOCK 1354 LOT 22
2 FIFTH AVENUE
SAN FRANCISCO, CA 94118

Sheet Title

EAST AND SOUTH ELEVATION

Project No. -

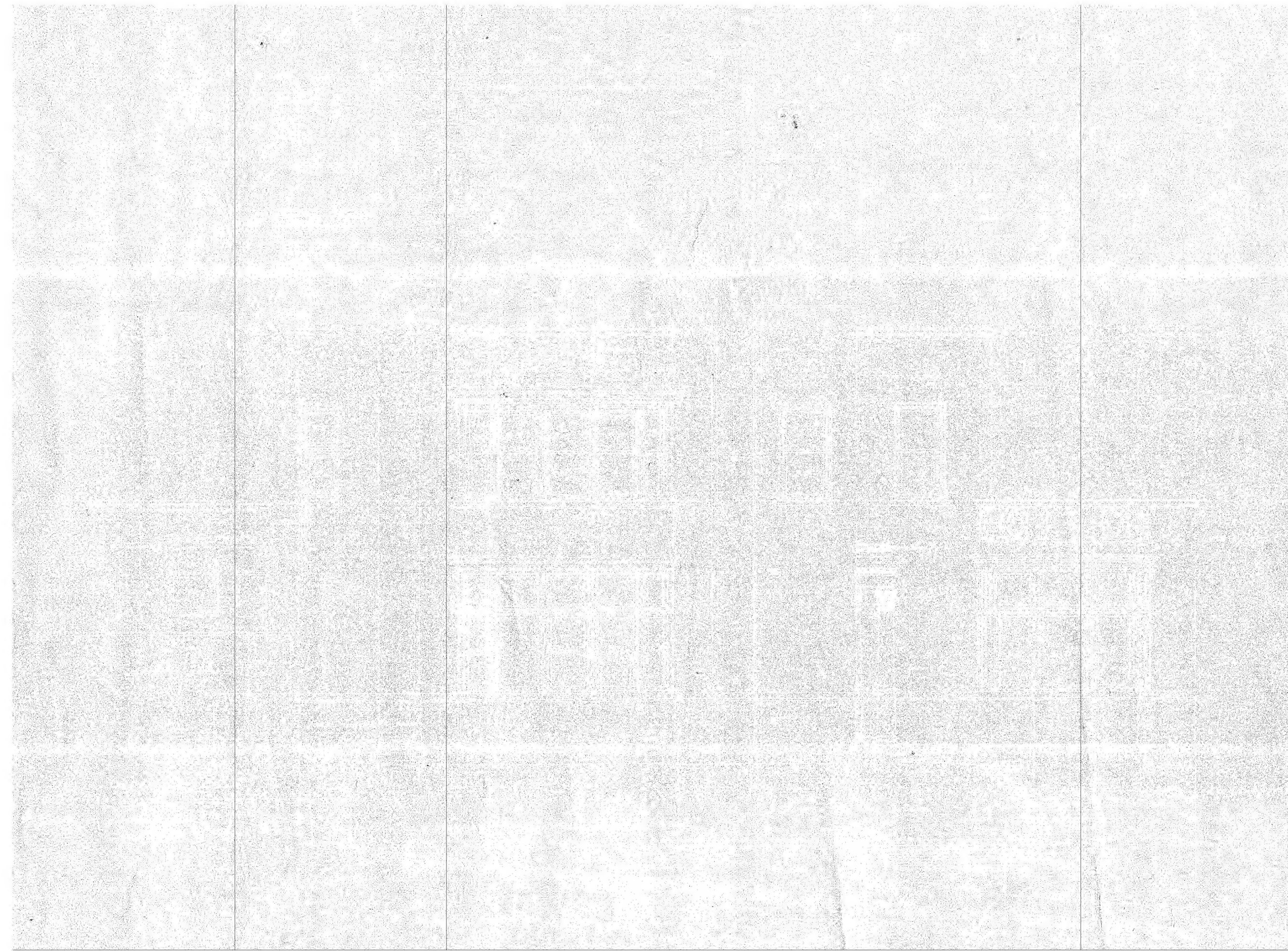
Scale AS NOTED

Date MAY 3rd, 2011

Sheet No. **A3.0**



2 NORTH ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION (FRONT) - SHOWN FOR REFERENCE ONLY
A3.1 SCALE: 1/4" = 1'-0"



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Sheet Title

WEST AND NORTH
ELEVATION

Project No.	Sheet No.
Scale	A3.1
AS NOTED	
Date	MAY 3rd, 2011