



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 22, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Dwelling Unit Exposure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1080 Sutter Street	Case No.: 2011.0440V
Cross Street(s): Larkin/Hyde	Building Permit: 2006.0829.0880
Block /Lot No.: 0279/011	Applicant/Agent: David Silverman
Zoning District(s): RC-4/130-E	Telephone: (415) 567-9000
Area Plan: N/A	E-Mail: dsilverman@reubenlaw.com

PROJECT DESCRIPTION

The proposal is to amend a previously approved variance request for dwelling unit exposure that was granted under Case No. 2006.0431V. The previously approved variance allowed nine dwelling units to have non-Planning Code compliant dwelling unit exposure as part of a mixed-use, new construction project that would contain up to 35 dwelling units and ground-floor commercial space. The revised dwelling unit configuration would contain up to 19 dwelling units that would not have Planning Code compliant exposure.

PER SECTION 140 OF THE PLANNING CODE the proposed dwelling units must have exposure onto a public right-of-way at least 25 feet in width, a Code-compliant rear yard or an inner courtyard meeting Code-required dimensions. Two dwelling units per floor on the second through tenth floors along with the dwelling unit located on the eleventh floor would have their only exposure onto a proposed, non-complying rear yard area.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Aaron Hollister** Telephone: **(415) 575-9078** E-Mail: aaron.hollister@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0440V.pdf>

中文詢問請電: **415.558.5956**

Para información en Español llamar al: **415.558.5952**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ADDRESS: 1080 Sutter Street, San Francisco, CA
CROSS STREET: Larkin Street
BLOCK/LOT: 0270/011
ENVIRONMENTAL/PROP K: 98.891E/98.791K
PROJECT DESCRIPTION: New construction of 35 residential dwelling units on 10 floors above ground floor retail commercial / parking garage. The site is currently a surface parking lot.
There will typically be two unit types; 2 bedroom and 3 bedroom units. Non of the units are to have mezzanines. The building will be Automatic Sprinkled with a manual and automatic fire alarm system. It is considered an Adoptable Accessible Building with full elevator access.

CODE USED: 2007 CALIF BLDG CODE & SF AMENDMENTS
2007 CALIF MECH CODE & SF AMENDMENTS
2007 CALIF PLUMB CODE & SF AMENDMENTS
2007 CALIF ELECTR CODE & SF AMENDMENTS
2007 CALIF ENERGY CODE
2007 CALIF FIRE CODE & SF AMENDMENTS
2007 HOUSING CODE
2007 NFPA 72 (FIRE ALARMS)
2002 NFPA 13

ZONING: RC-4

EXISTING SITE CONDITION: Surface parking lot

OCCUPANCY: R-2 Multi- Residential,
S-2 Garage(>3000sf)
M Mercantile (occupant load less than 100)

ACCESSIBILITY: As per the multi level model in CBC Sec 1107b and The California Multi Family Disabled Access Regulations book Sec 11, this is a multi-level, elevator building. It is in full compliance with CBC Section 11-b, accessible in all common areas accessed by the elevator and accessible adaptable in private dwelling units on accessible floors.
The commercial space is accessible.
There is one accessible parking stall as per 1109A.2 (28'x22'=0.6). As per 1129B.4 this stall is a Van sized space with a clear 96 inch access aisle.

CONSTRUCTION TYPE and BUILDING TYPE: The proposed project shall be classified as a Type 1B structure. The project is 11 stories with a gross floor area (per level) of 5,578 sq ft which is less than the UL sq ft specified for R-2 occupancy in table 503.
The primary structural frame, including bearing walls and floor slabs are to be poured in place concrete with a minimum 3 hour fire resistive rating. As per Tbl 502 all non bearing exterior walls are to be 1 our rated (non-combustible material). Roof construction to be minimum 1.5 hour rating.

NUMBER OF STORIES: 11 stories plus 1 basement.
THE ENTIRE BUILDING IS TO BE FULLY SPRINKLED. THIS WILL BE UNDER SEPERATE PERMIT. See addendum schedule.
Install Type 1 dry/wet combination standpipe.

HEIGHT: Building is 104'-8" high from top of curb (center of frontage on Sutter Street) to roof structure. CBC Tbl 503 permits up to 160' for Type 1B with automatic sprinkler system.
There is no parapet.
This building is considered High Rise and is therefore governed by Section 403.
The elevator penthouse extends 4' above the roof.

LOT SIZE/AREA: The site dimensions are as follows:
Depth: 87'-6"
Width: 80'-0"
Area: 7,000 sq ft

LOT COVERAGE: Per SFPC Sec 209.1, one unit per 200 sq ft of lot area.
Lot area = 7,000, therefore 35 dwelling unit proposed

STREET FRONTAGE: There is a 700 sq ft commercial space that fronts onto Sutter street. The residential entry lobby is accessed from Sutter Street.
One curb cut is proposed where an existing curb cut exists.
There are no interior parking stalls immediately adjacent to the street

REAR YARD: 25% rear yard (1,750 sq ft) required at lowest level of residential occupancy. 895 sq ft rear yad proposed per rear yard variance request (approved)

OPEN SPACE: Private Outdoor Space
Decks: Number of Units = 4 (36 sq ft min required)
Common Outdoor Space
Number of units = 32
Total rooftop space required = 32*1.33*36=1,532 sq ft
1,540 sq ft provided. No dimension is less than 15'.
The common outdoor space is serviced by an ADA compliant elevator and two exit stairs.

PARKING: Off street parking
Residential: The project makes provision for the following:
28 standard size stalls.
Independent car stockers will be provided
Bike Stalls
18 independantly accessible bike stalls have been provided.

STRUCTURE: Cast in place concrete structure

EXTERIOR MATERIALS: Sutter Street: Thin brick rainscreen over continous rigid insulation
Aluminum framed zero sight line windows
Side and Rear elevations: Thin brick rainscreen, poured in place concrete and metal panels

DATA AND CALCULATIONS

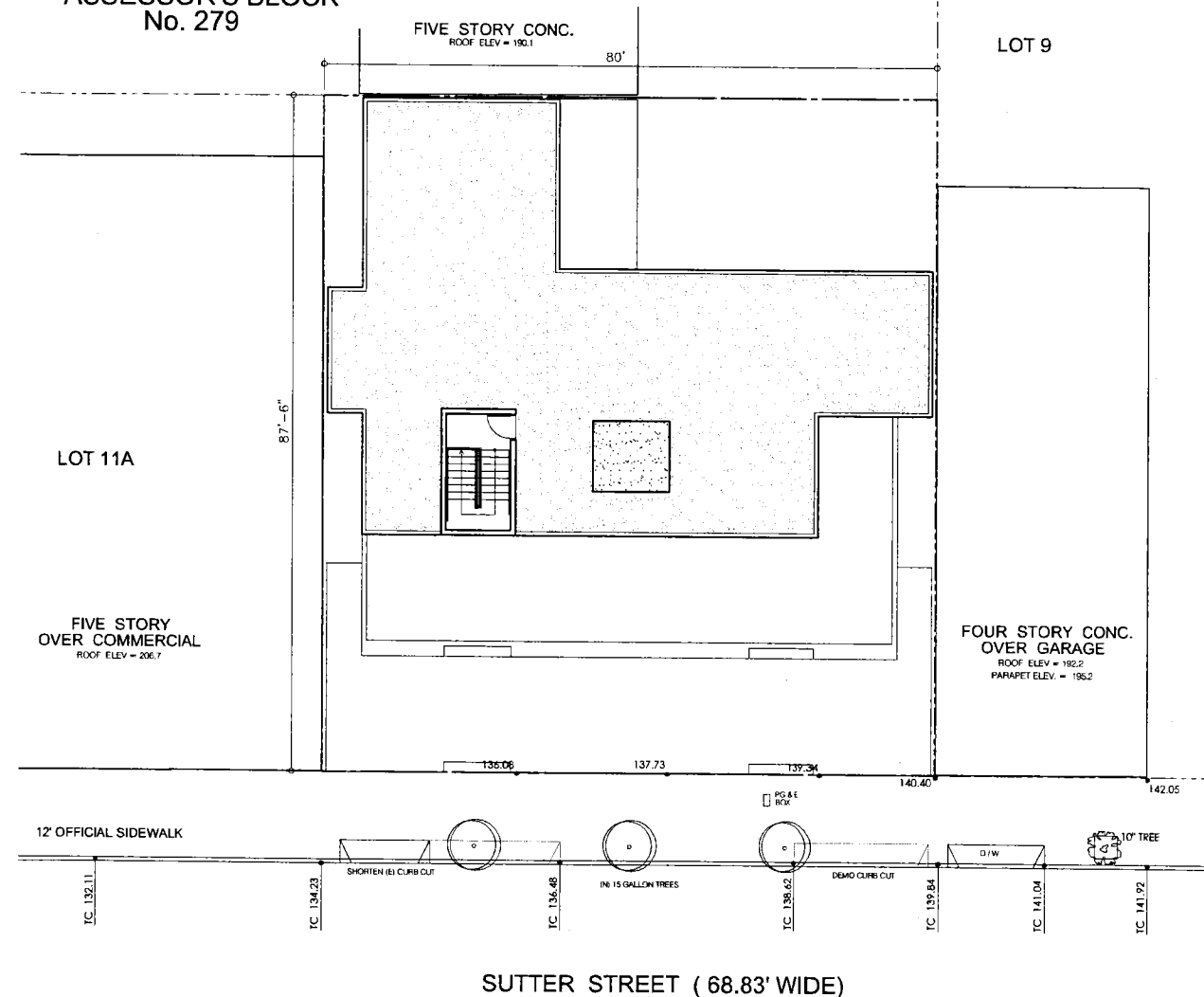
Gross Square Footages								
Level	sq ft	Total sq ft						
Level -1	980	980						
Level 1	6,893	6,893						
Level 2 to 8	5,758	40,306						
Level 9 to 10	4,464	8,928						
Level 11	2,978	2,978						
Total		60,085						

sq ft	Pent	3 Bdrm Type A	3 Bdrm Type B	3 Bdrm Type C	2 Bdrm Type B	Total 3 Bdrm	Total 2 Bdrm	Total
	2,230	1,226	1,248	1,330	750			
Basement		0						
Level 1		0						
Level 2		2		1	1			
Level 3		2		1	1			
Level 4		2		1	1			
Level 5		2		1	1			
Level 6		2		1	1			
Level 7		2		1	1			
Level 8		2		1	1			
Level 9			1	1	1			
Level 10			1	1	1			
Level 11	1							
Subtotal	1	14	2	9	9	26	9	35
Net Sq Ft	2,230	17,164	2,496	11,970	6,750	40,610		

OCCUPANCY LOAD CALCULATIONS			
5758/200 = 29	per floor: non cascading	R-2 Load Factor = 200 as per CBC 1b1 1004.1.1	
4207/200 = 21	per floor: non cascading	S-3 Load Factor = 200 as per CBC Tbl 1004.1.1	
1550/15 = 103	Load Factor:15	Common outdoor deck	2 exits required as per CBC 1019.1
700/30 = 23	Load Factor:30	Mercantile on Grade	1 exit required as per CBC 1015.1

29	29' x 0.3 = 9"	Minimum Accumulative Width of any component of means of egress system, as defined by Tbl 1005.1 However, minimum accessible stair width shall be 48" x 2 = 96"
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ASSESSOR'S BLOCK No. 279



SITE PLAN

REVISIONS

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1080 SUTTER STREET
1080 SUTTER STREET, SAN FRANCISCO, CA

SITE PLAN
PROJECT DATA

BUILDING PERMIT SET

Date 3.25.11

Scale 3/32"=1'-0"

Drawn SSO

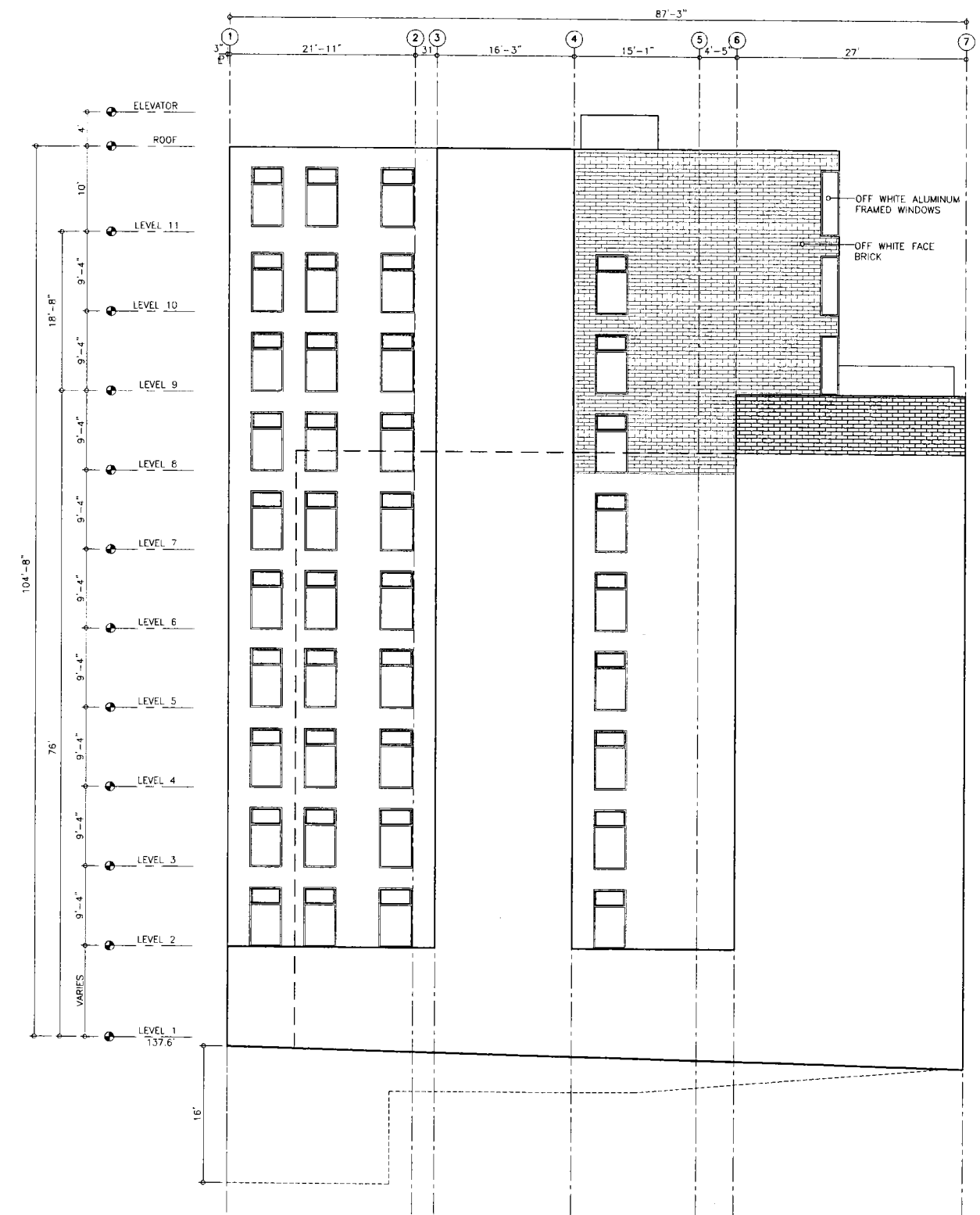
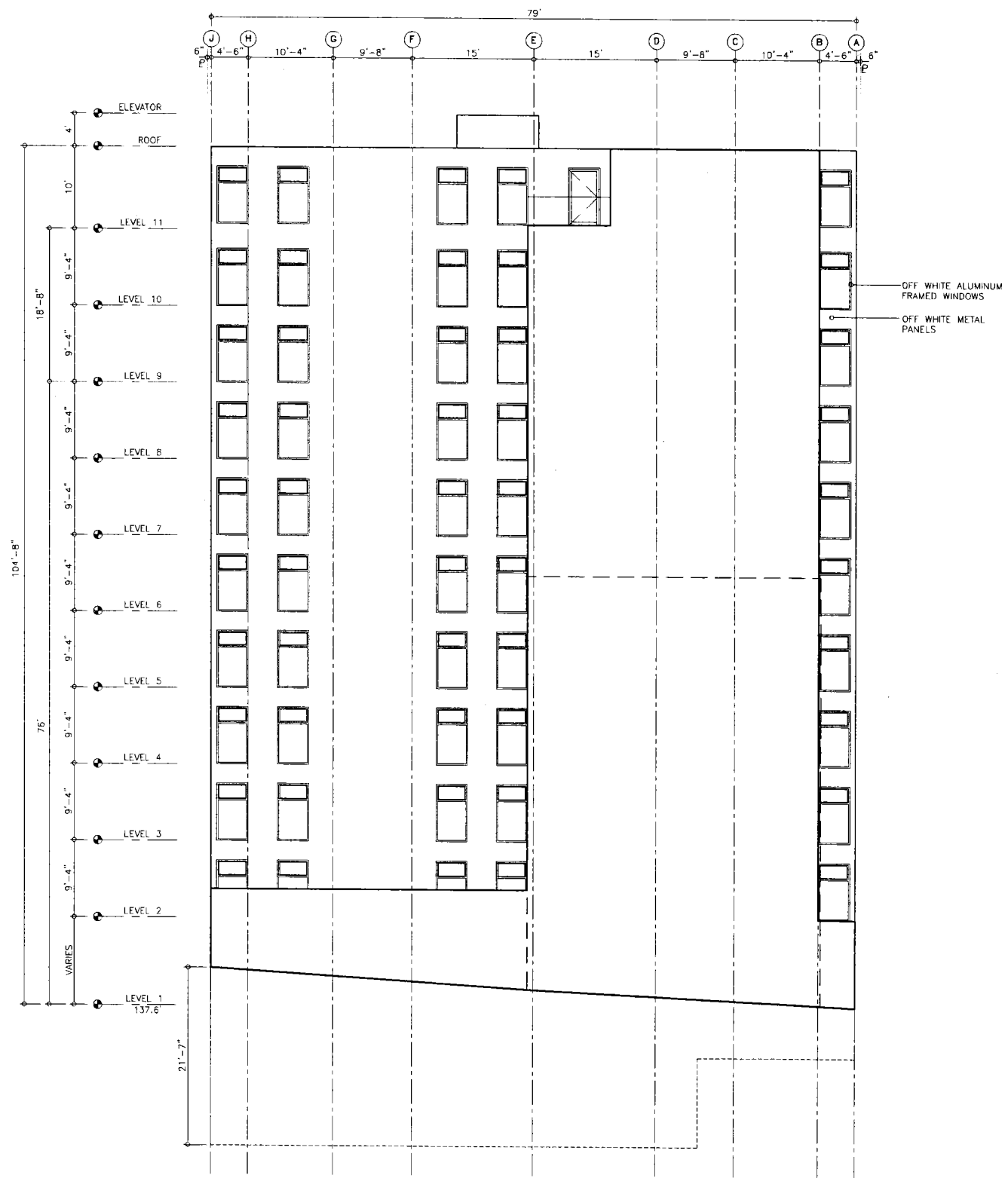
Job 1080

File BE-A1.0

Sheet

A0.4

Of 6 Sheets



REVISIONS	

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1080 SUTTER STREET
1080 SUTTER STREET, SAN FRANCISCO, CA

ELEVATION

BUILDING PERMIT SET

ote 3.25.11

Scale $1/8" = 1' - 0"$

rown SS0

b 1080

BE-A1.0

Sheet

A3.2

6 Sheets