



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Front Setback)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 237-239 Minerva Street Cross Street(s): Capitol/Orizaba Avenues Block /Lot No.: 7092/070, 112/113 Zoning District(s): RH-1 / 40-X Area Plan:	Case No.: 2011.0425V Building Permit: 200601242860/200601242864 Applicant/Agent: John Lau Telephone: (415) 831-7180 E-Mail: dicksongroup@yahoo.com
PROJECT DESCRIPTION	
<p>The proposal is to document the as-built condition of the two single-family dwellings at 237-239 Minerva Street.</p> <p>PER SECTION 132 OF THE PLANNING CODE the subject property is required to maintain a front setback of 15 feet. The subject buildings feature front setbacks of 9 feet; therefore, the project requires a variance from the front setback requirement of the Planning Code.</p>	
ADDITIONAL INFORMATION	
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Tom Wang Telephone: (415) 558-6335 E-Mail: thomas.wang@sfgov.org</p>	
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0425V.pdf</p>	

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

Verify all dimensions of the lot, easement, and soil conditions including excavation, underpinning, drainage and utility lines at this property, as well as, at adjacent properties. All construction work shall conform to local building code.

The drawings are intended to describe and provide for a finished piece of work. The contractor shall understand that the work herein described shall be completed in every detail although every necessary item involved is not particularly mentioned. The contractor will be held responsible to provide all the materials and labor necessary for the entire completion of the work intended to be described and shall not avail himself manifestly of any unintentional error or omission should such exists.

Should any error or inconsistency appears or occurs in the drawing, the contractor shall notify the owner and Architect/Engineer for proper adjustment before proceeding with the work, and in no case, shall proceed with the work in uncertainty.

Work included:
Except as otherwise specifically stated, the contractor shall provide and pay all materials, labor, tools, equipment, and building permits including encroachment and hauling permits.

Alterations:
If alterations of design or plan are made without the written consent of the Architect/Engineer, the Architect/Engineer shall not be responsible for such alterations made by or agreed upon between owner and contractor.

Information confidential
All plans, drawings, specifications and/or information furnished herewith are and shall remain the property of the Architect/Engineer & be held confidential and not be used for any purposes other than those for which they have been supplied and prepared. These drawings are not to be copied or duplicated without the Architect's/Engineer's written permission.

Note 1:
Built-Up roofing (Typical)

- Modified bitumen w/granule app 180 by firestone company or equivalent over fiberglass base over 3/4" CDX plywood sheating.
- Install R-30 insulation with vapor barrier between roof joists.
- Slope roof 1/4" per foot to drain (draining to sewer line).
- All roof penetrations, such as roof drains, skyline, chimneys, exhaust fans, vent stacks, etc.. shall be properly flashed to assure water tightness.
- Provide roof overflow drainage as per sect. 3207C of UBC. Roofing Material to be Class "B" fire rated roof assembly or better

NOTE 2:
Concrete Sidewalk(Typical)
Slope finish surface between 1.67% and 2% from top of curb to property line. Provide dummy joints or scored lines as shown. (Must comply with city requirements)

NOTE 3:
Street tree (Typical 15-gal. London tree) in 4'x4' min. brown brick planter w/2x2 redwood stakes.

APPLICABLE CODES:

CURRENT SAN FRANCISCO ZONING ORDINATES
CALIFORNIA BUILDING CODE,2007 EDITION
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CALIFORNIA PLUMBING CODE,2007 EDITION
CALIFORNIA ELECTRIC CODE,2007 EDITION
THE SAN FRANCISCO HOUSING CODE,2007 EDITION
CALIFORNIA ENERGY CODE,2007 EDITION
CURRENT SAN FRANCISCO AMENDMENTS FOR ALL CODES

DRAWING INDEX

- A-1: GENERAL NOTES
A-2.1: EXISTING & PROPOSED SITE & ROOF PLAN
A-2.2: EXISTING FLOOR PLAN & ELEVATIONS
A-3: PROPOSED 1ST FLOOR PLAN & 2ND FLOOR PLAN & 3RD FLOOR PLAN
A-4: PROPOSED FRONT & RIGHT ELEVATIONS
A-5: PROPOSED LEFT & REAR ELEVATION
A-6: SECTION A-A , B-B

PROJECT DATA

JOB ADDRESS: 237 MINERVA
SAN FRANCISCO,CA
BLOCK: 7092
LOT: T.B.D
ZONING: RH-1
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: R-3

SCOPE OF WORK

REVISION FOR THE APPROVED PLAN
#2006/0124/2860 S1/R1 TO REVISE
FRONT SETBACK OF THE BUILDING.

ELECTRICAL LEGEND:

SYMBOLS	
	Wall Duplex 110V
	Wall Outlet 220V
	Wall Duplex 110V w/ Ground Fault Circuit Interrupter
	Exhaust Fan
	Exhaust Fan W/ Compact Fluorescent Light
	Ceiling Lighting Outlet
	Ceiling Lighting Outlet w/ Motion Sensor
	Ceiling Lighting Outlet w/ Weather Proof
	Ceiling Lighting Outlet w/ Weather Proof & Motion Sensor
	Drop Cord / Pendant
	Recess Lighting Outlet
	Wall Lighting Outlet
	Wall Lighting Outlet w/ Motion Sensor
	Fluorescent (Wall Mount)
	Fluorescent (Ceiling Mount)
	Single Pole Switch
	Single Pole Switch / Dimmer
	Three Way Switch
	Smoke Detector

SYMBOLS	
	SECTION NO. SHEET NO.
	DETAIL SHEET NO.
	REVISION NO.

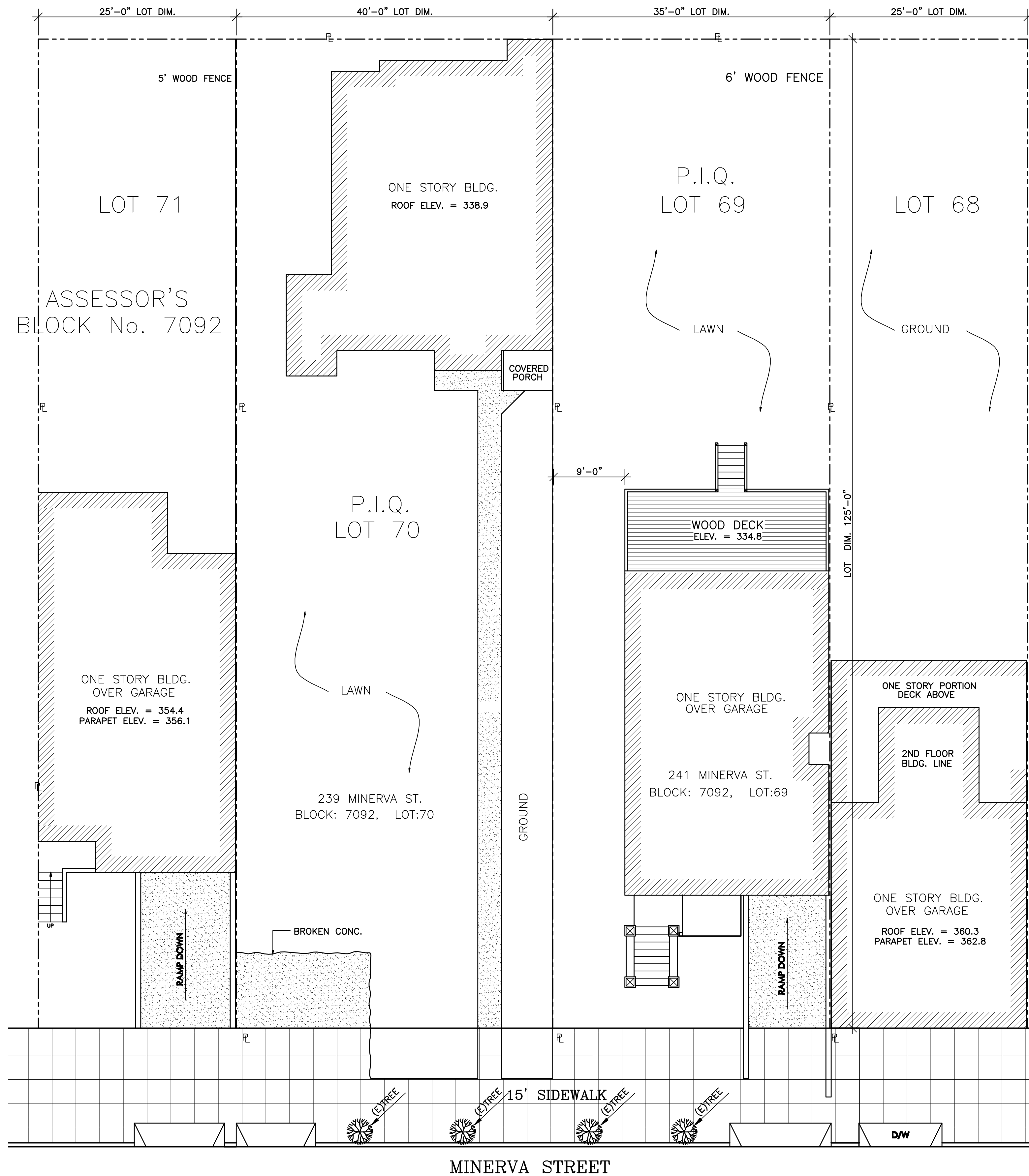
REVISIONS	BY

DICKSON
CONSULTING GROUP
5616 Copy Blvd, Suite 201
San Francisco, Ca 94121
Phone: (415) 831-7180
Fax: (415) 831-7181

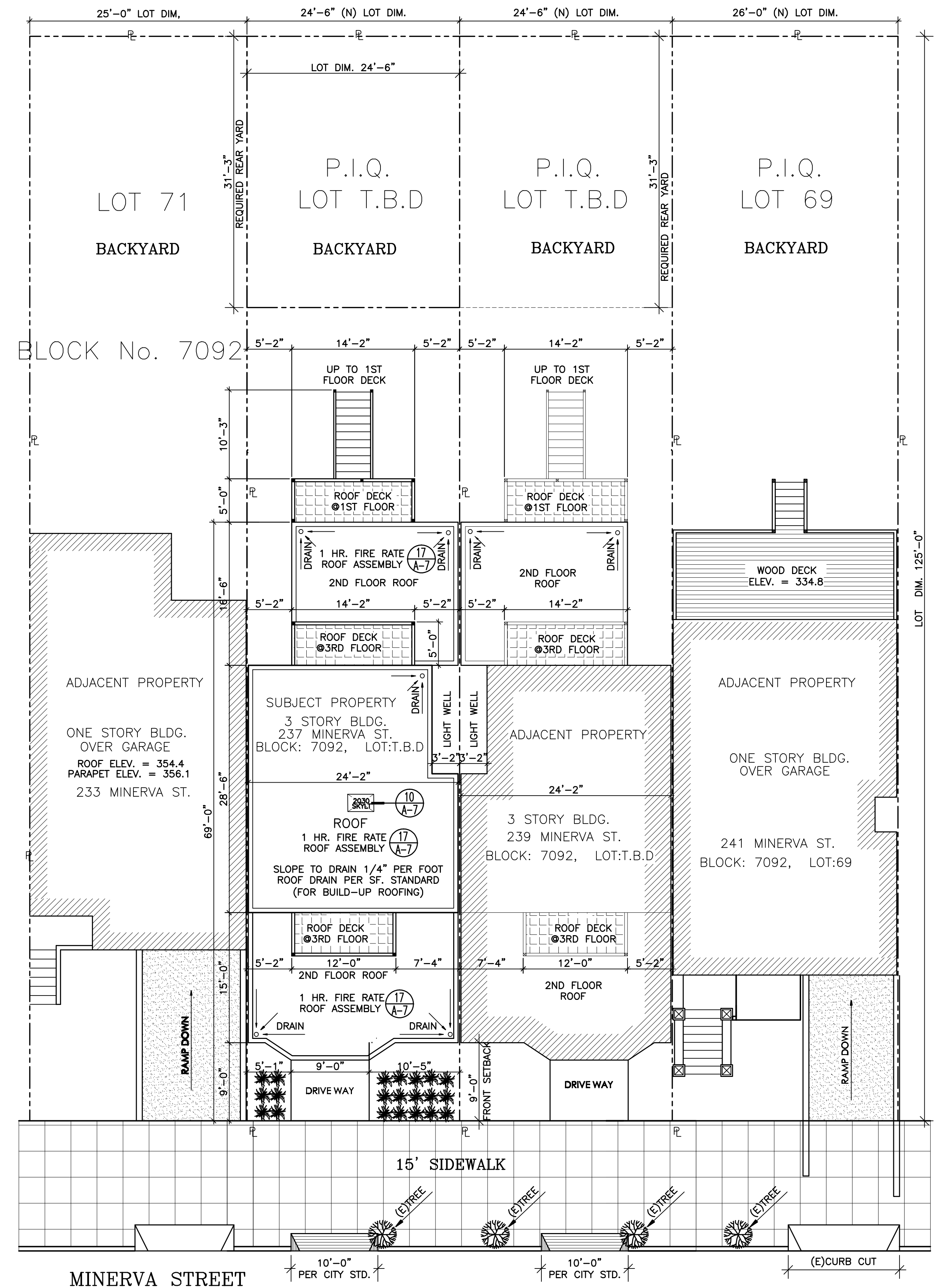
GENERAL NOTES

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237 MINERVA ST.
SAN FRANCISCO,CA

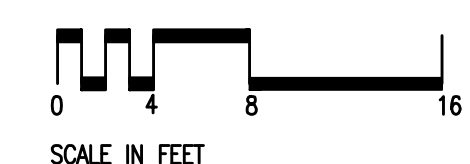
DATE	04/27/11
SCALE	1/4"=1'-0"
DRAWN	KEN
JOB	



EXISTING SITE PLAN (239 MINERVA STREET)
SCALE 1/8"=1'-0"



PROPOSED SITE / ROOF PLAN (237 MINERVA STREET)
SCALE 1/8"=1'-0"



REVISIONS BY

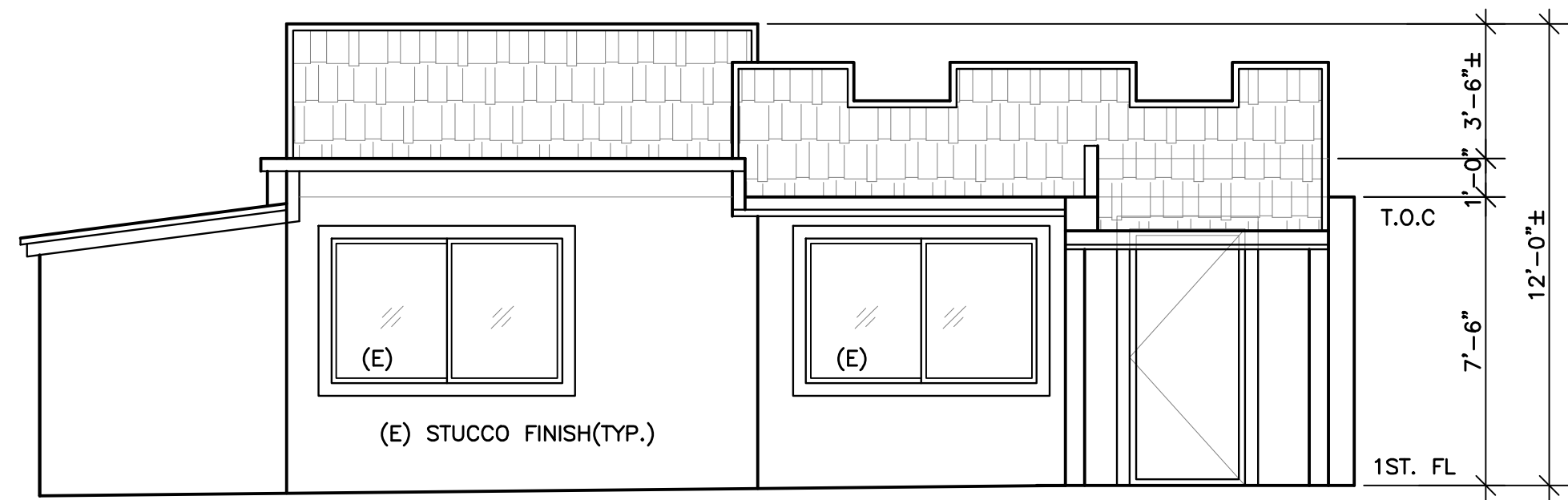
DICKSON
CONSULTING GROUP
5616 Geary Blvd, Suite 201
San Francisco, Ca. 94121
Phone: (415) 831-7180
Fax: (415) 831-7181

EXISTING & PROPOSED SITE & ROOF PLAN

BLOCK:7092, LOT: T.B.D
237 MINERVA ST.
SAN FRANCISCO,CA

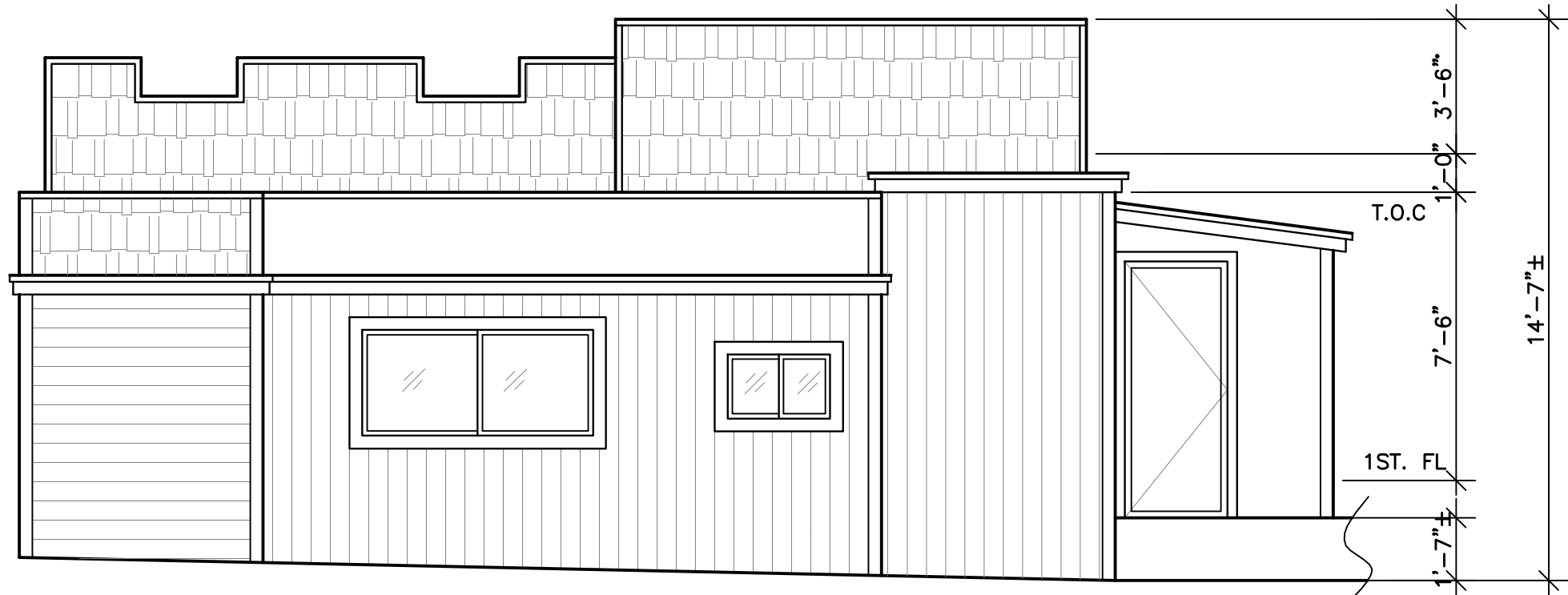
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JOB

A-2.1
OF SHEETS



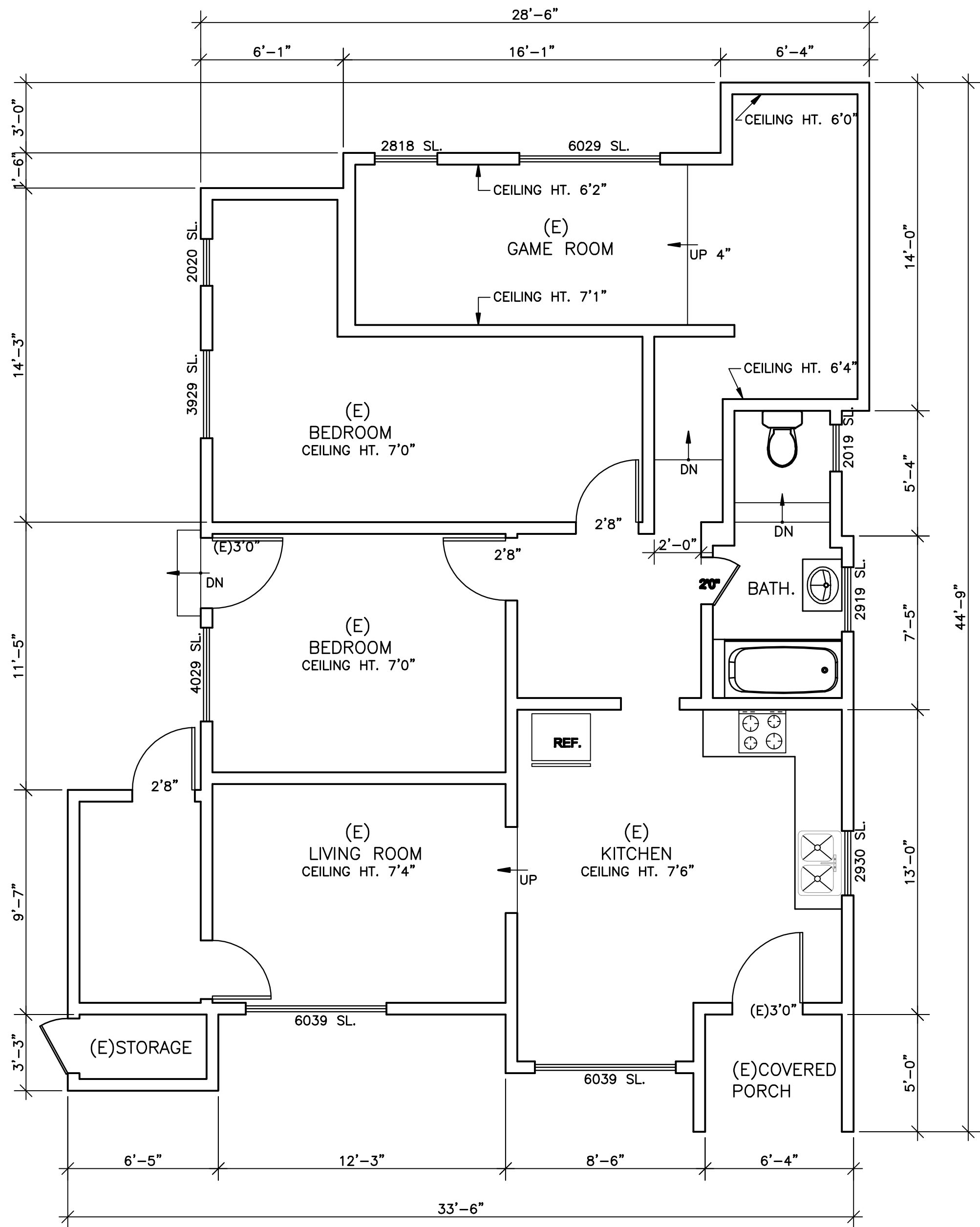
EXISTING FRONT ELEVATION (NORTH)

SCALE:1/4"=1'-0"



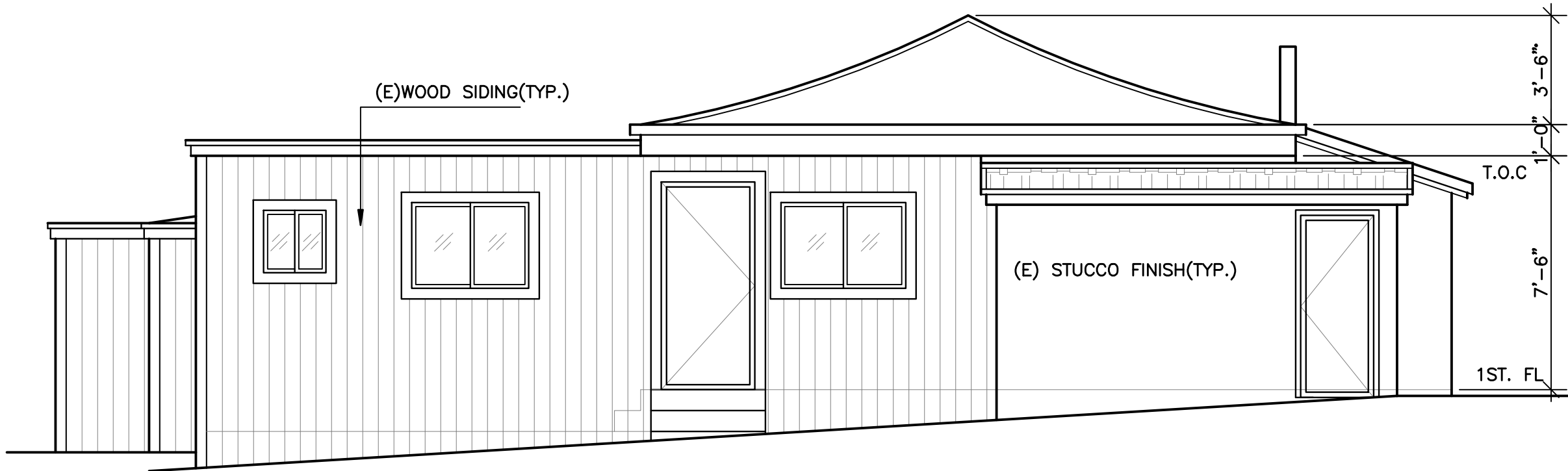
EXISTING REAR ELEVATION (SOUTH)

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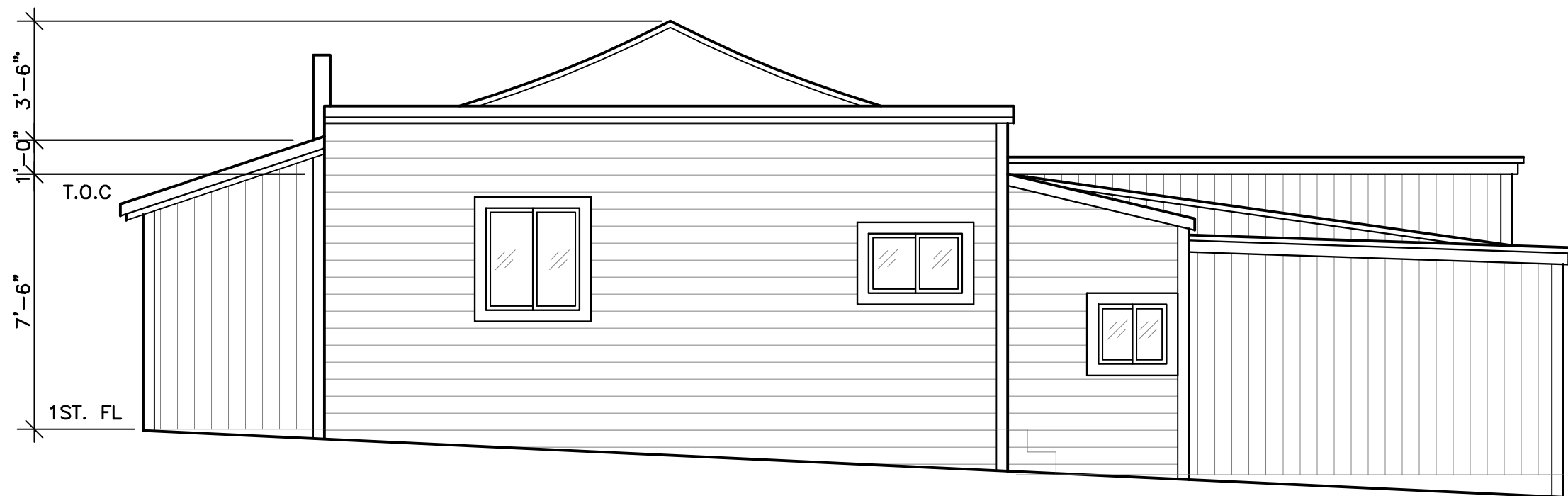
EXISTING FLOOR PLAN (239 MINERVA ST.)

SCALE 1/4"=1'-0"



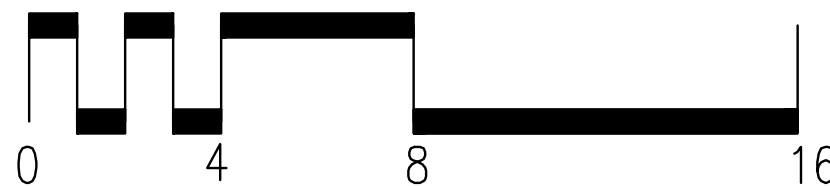
PROPOSED LEFT ELEVATION (EAST)

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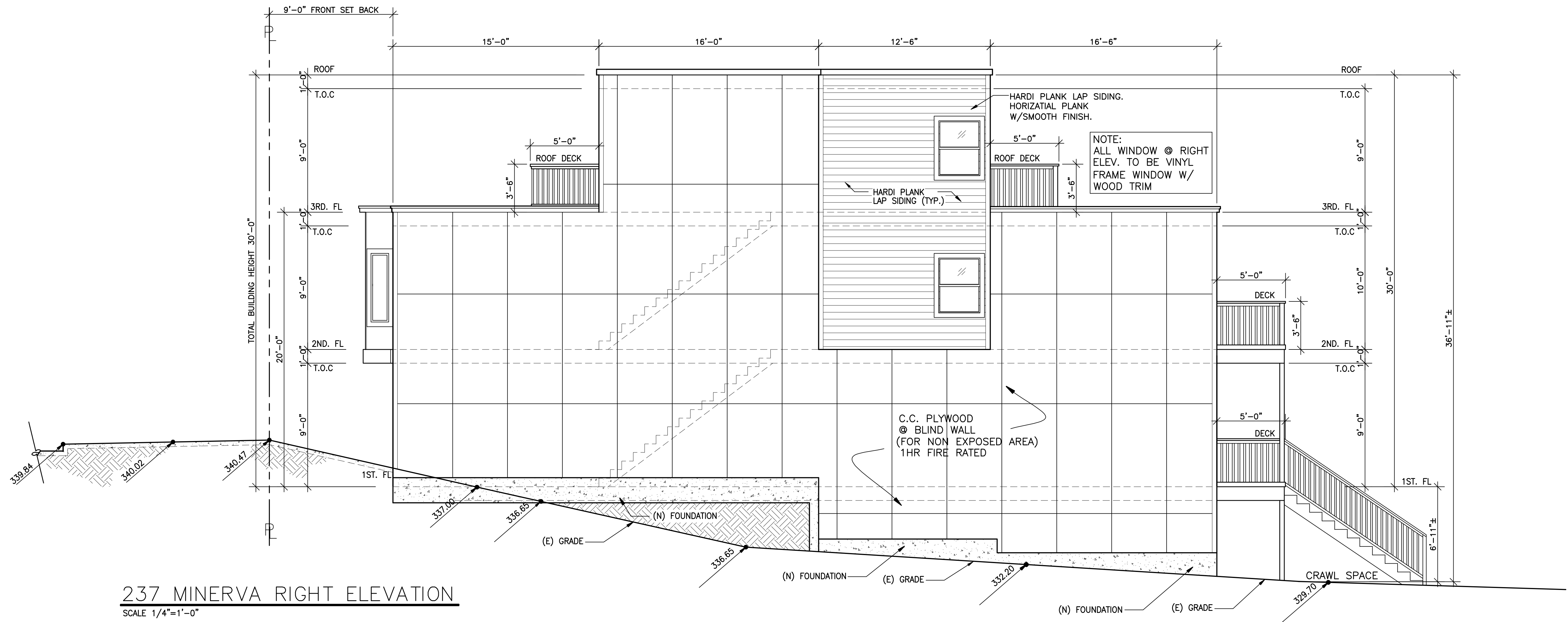
EXISTING RIGHT ELEVATION (WEST)

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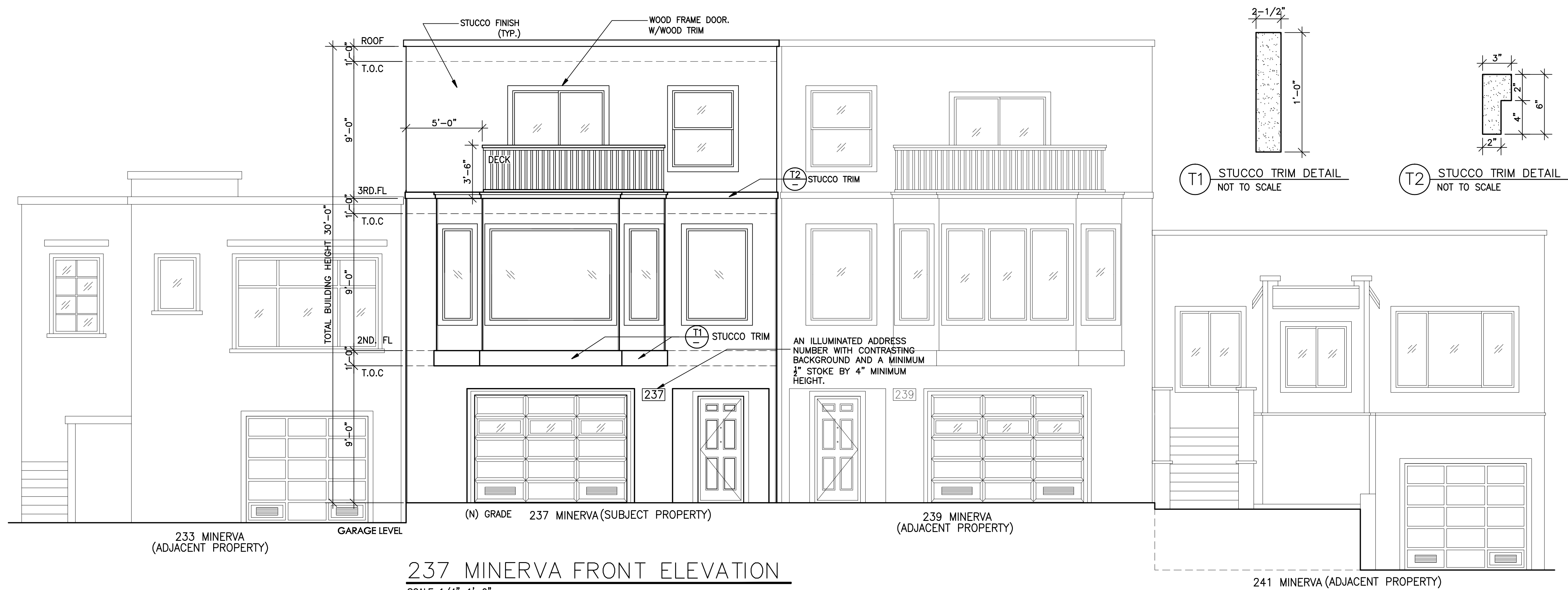


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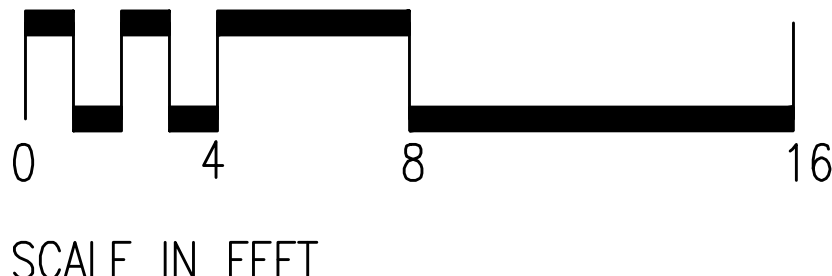
REVISIONS	BY
DICKSON CONSULTING GROUP	
5616 Copy Blvd, Suite 201 San Francisco, CA 94121 Phone: (415) 831-7180 Fax: (415) 831-7181	
BLOCK:7092, LOT: T.B.D. 237 MINERVA ST. SAN FRANCISCO,CA	
DATE 05/30/09	
SCALE AS SHOWN	
DRAWN LI	
JOB	
APP#:	
A-2.2	
OF SHEETS	



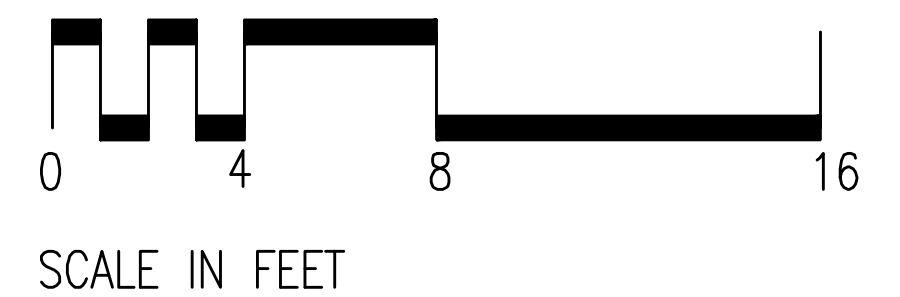
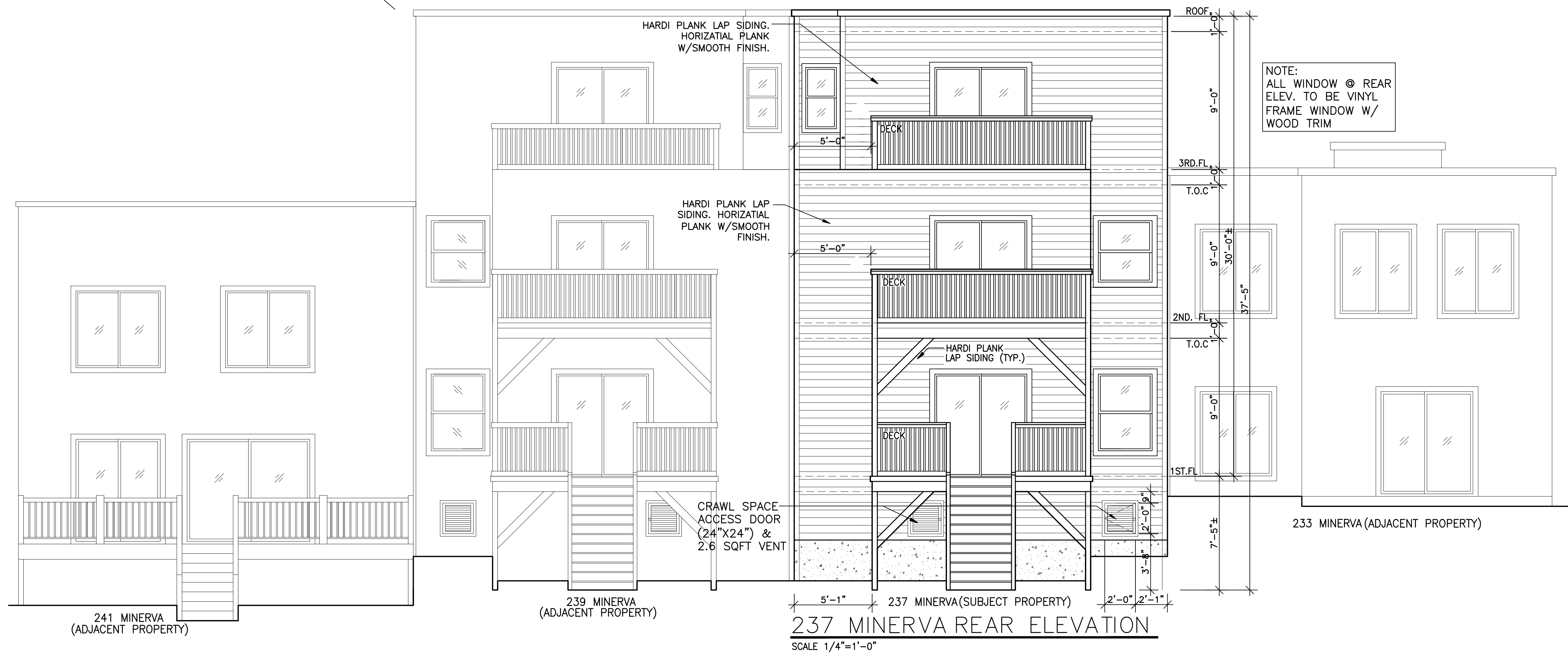
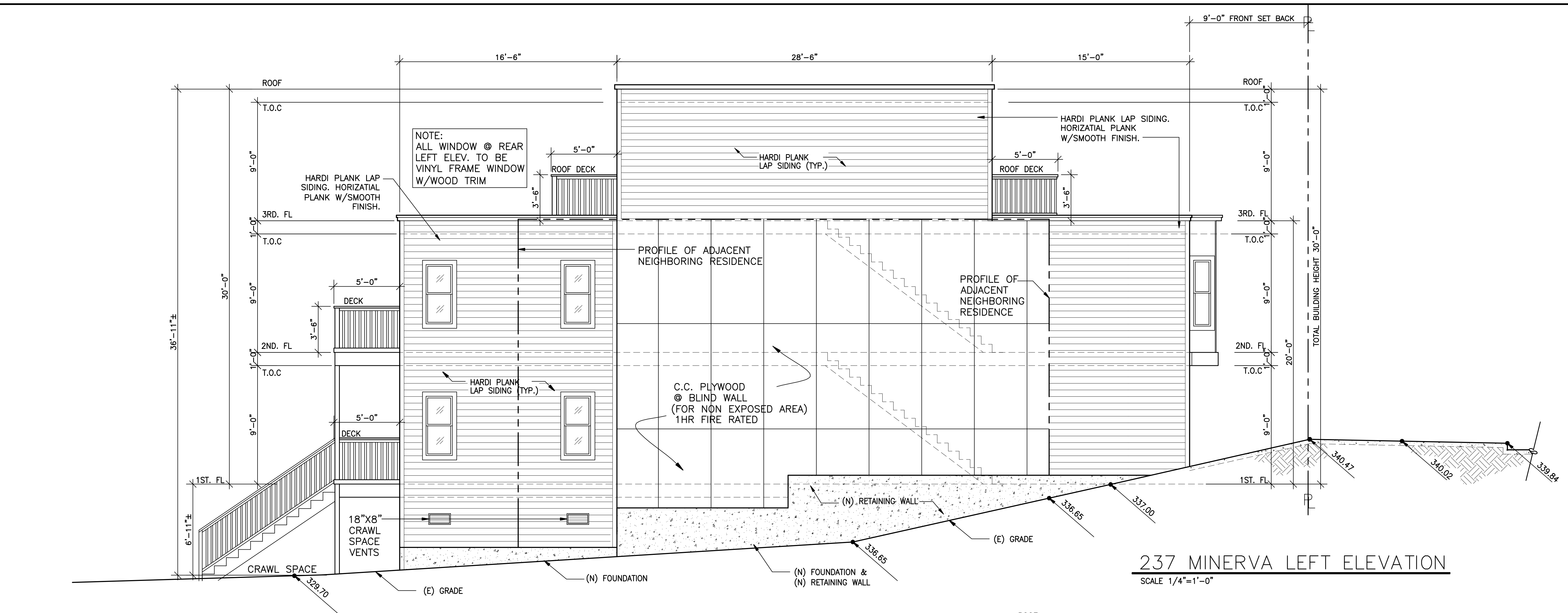
237 MINERVA RIGHT ELEVATION
SCALE 1/4"=1'-0"



237 MINERVA FRONT ELEVATION
SCALE 1/4"=1'-0"



REVISIONS	BY
DICKSON CONSULTING GROUP 5616 Geary Blvd, Suite 201 San Francisco, Ca. 94121 Phone: (415) 831-7180 Fax: (415) 831-7181	
PROPOSED FRONT & RIGHT ELEVATIONS	
BLOCK:7092, LOT: T.B.D 237 MINERVA ST. SAN FRANCISCO,CA	
DATE	04/27/11
SCALE	1/4"=1'-0"
DRAWN	KEN
JOB	
A4	OF SHEETS



REVISIONS	BY

**DICKSON
CONSULTING GROUP**

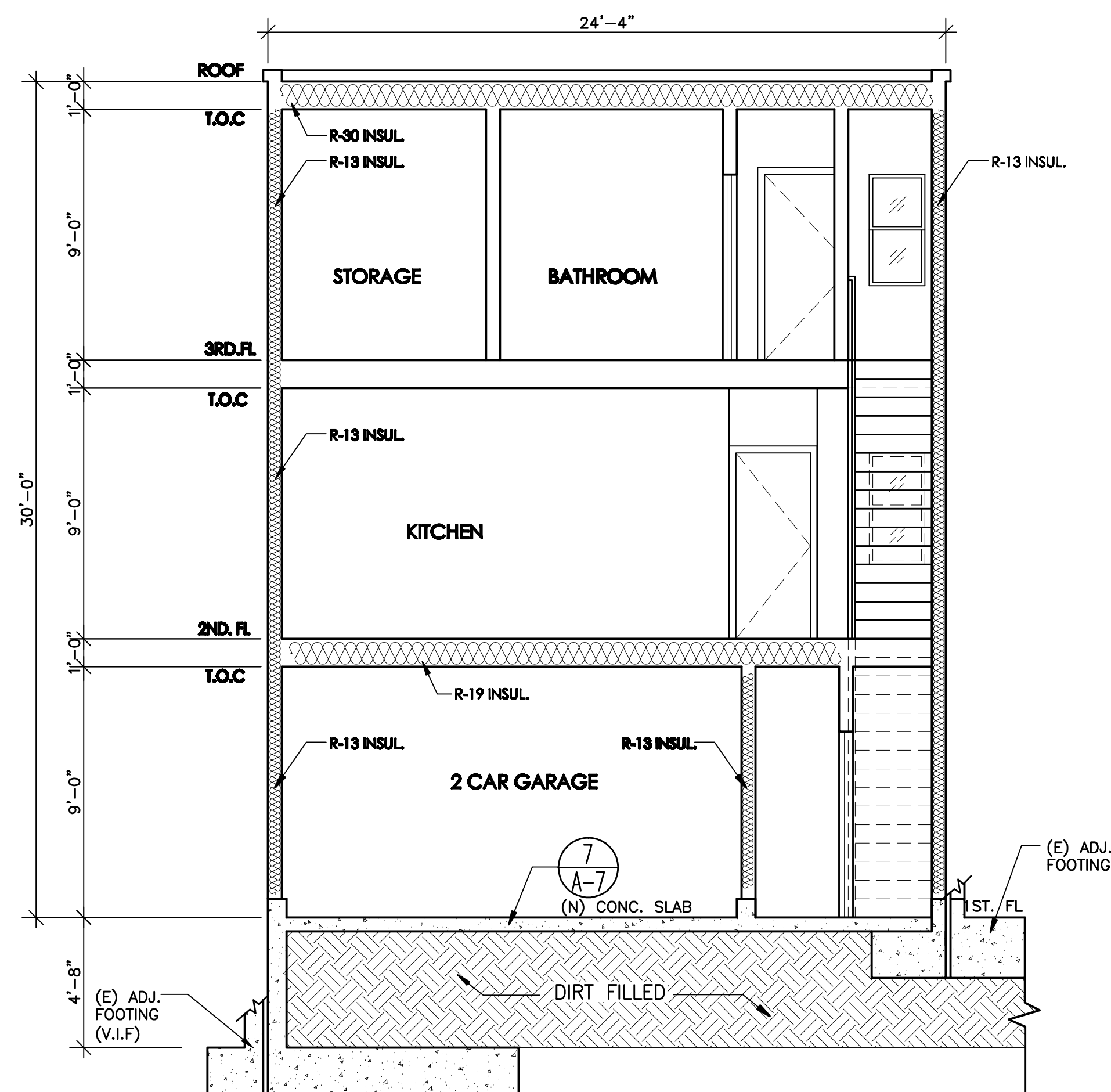
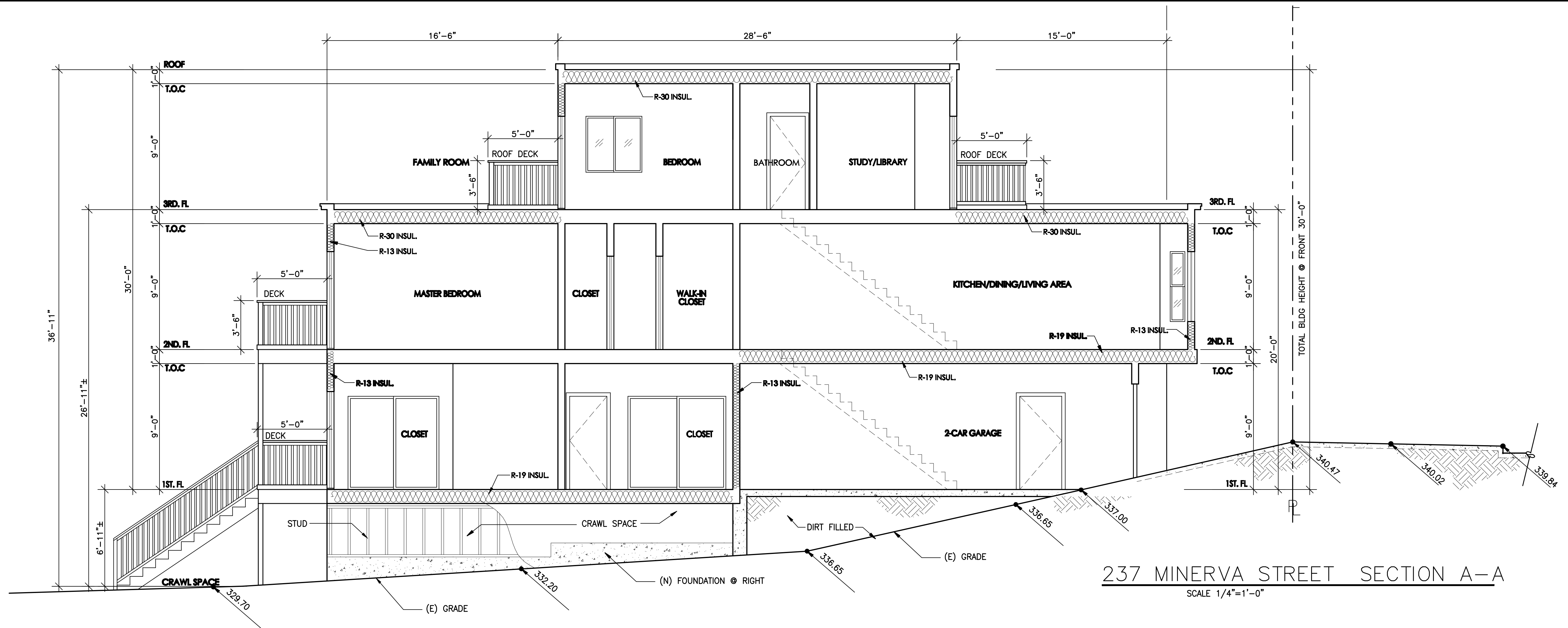
5616 Geary Blvd, Suite 201
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PROPOSED LEFT & REAR ELEVATION

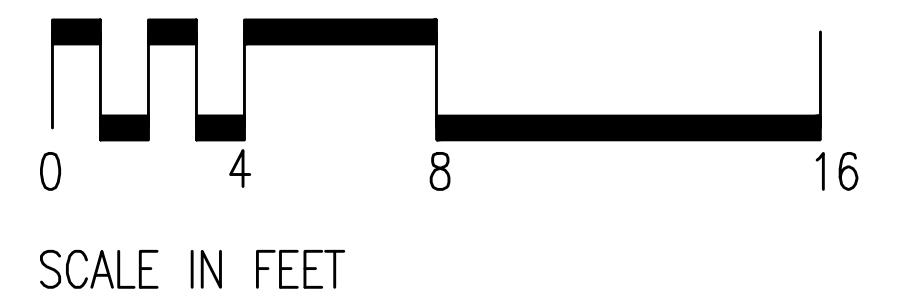
**BLOCK:7092, LOT: T.B.D
237 MINERVA ST.
SAN FRANCISCO,CA**

DATE	04/27/11
SCALE	1/4"=1'-0"
DRAWN	KEN
JOB	

A-5



237 MINERVA STREET SECTION B-B
SCALE 1/4"=1'-0"



REVISIONS	BY

**DICKSON
CONSULTING GROUP**
5616 Geary Blvd., Suite 201
San Francisco, Ca. 94121
Phone: (415) 831-7180
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PROPOSED SECTION

**BLOCK:7092, LOT: T.B.D
237 MINERVA ST.
SAN FRANCISCO,CA**

DATE	04/27/11
SCALE	1/4"=1'-0"
DRAWN	KEN
JOB	

A-6

OF SHEETS

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PROJECT DATA

JOB ADDRESS: 239 MINERVA
SAN FRANCISCO,CA

BLOCK: 7092

LOT: TBD

ZONING: RH-1




















TYPE OF CONSTRUCTION: V-B

OCCUPANCY: R-3

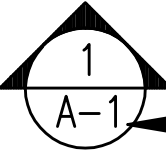
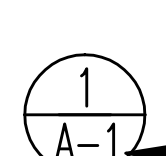
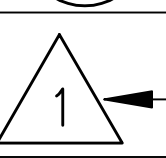

SCOPE OF WORK

REVISION FOR THE APPROVED PLAN
#2006/0124/2864 S1/R1 TO REVISE
FRONT SETBACK OF THE BUILDING.

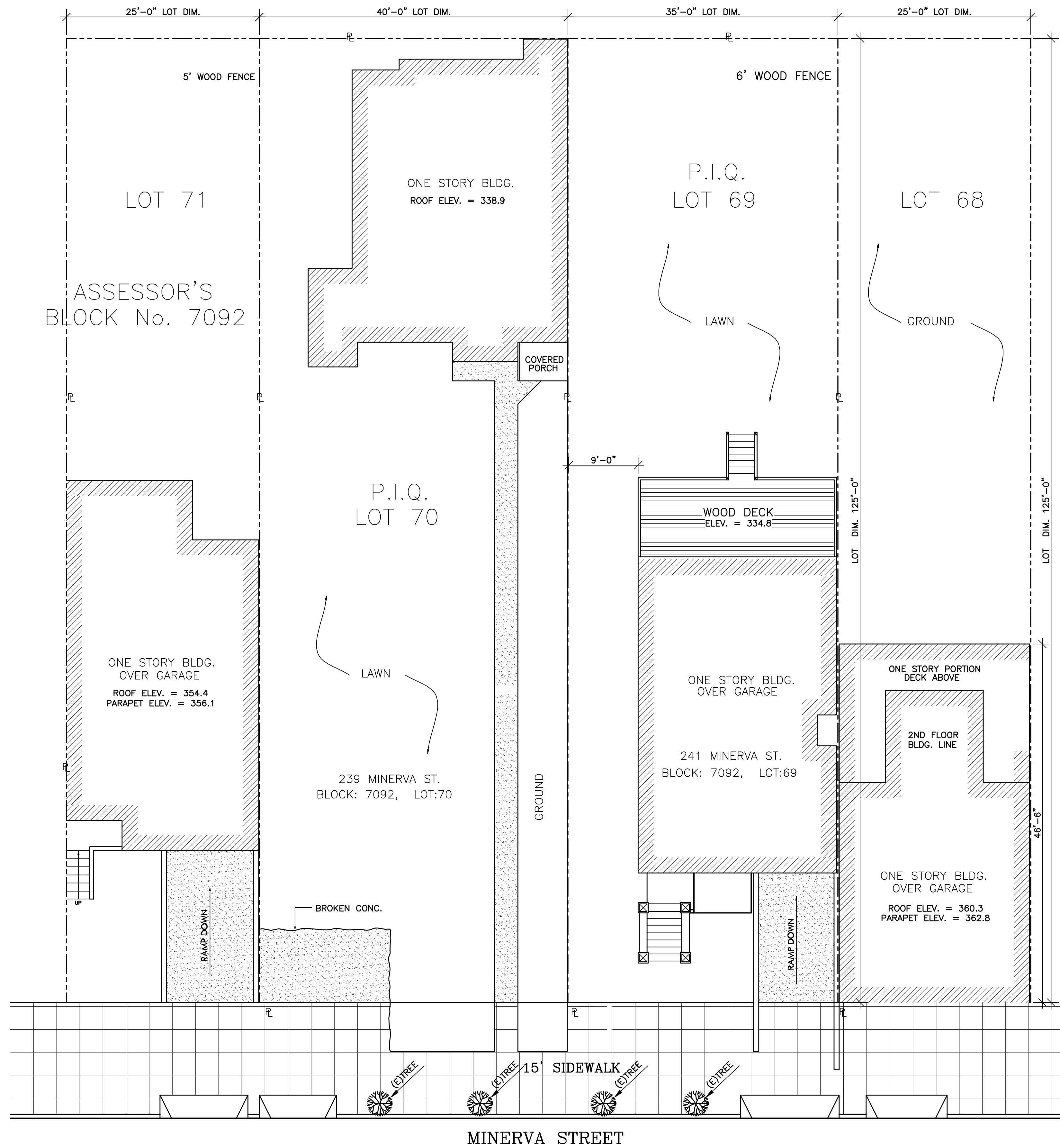
ELECTRICAL LEGEND:

SYMBOLS	
	Wall Duplex 110V
	Wall Outlet 220V
	Wall Duplex 110V w/ Ground Fault Circuit Interrupter
	Exhaust Fan
	Exhaust Fan W/ Compact Fluorescent Light
	Ceiling Lighting Outlet
	Ceiling Lighting Outlet w/ Motion Sensor
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	Ceiling Lighting Outlet w/ Weather Proof & Motion Sensor
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	Wall Lighting Outlet
	Wall Lighting Outlet w/ Motion Sensor
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	Fluorescent (Ceiling Mount)
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	Single Pole Switch / Dimmer
	Three Way Switch
	Smoke Detector

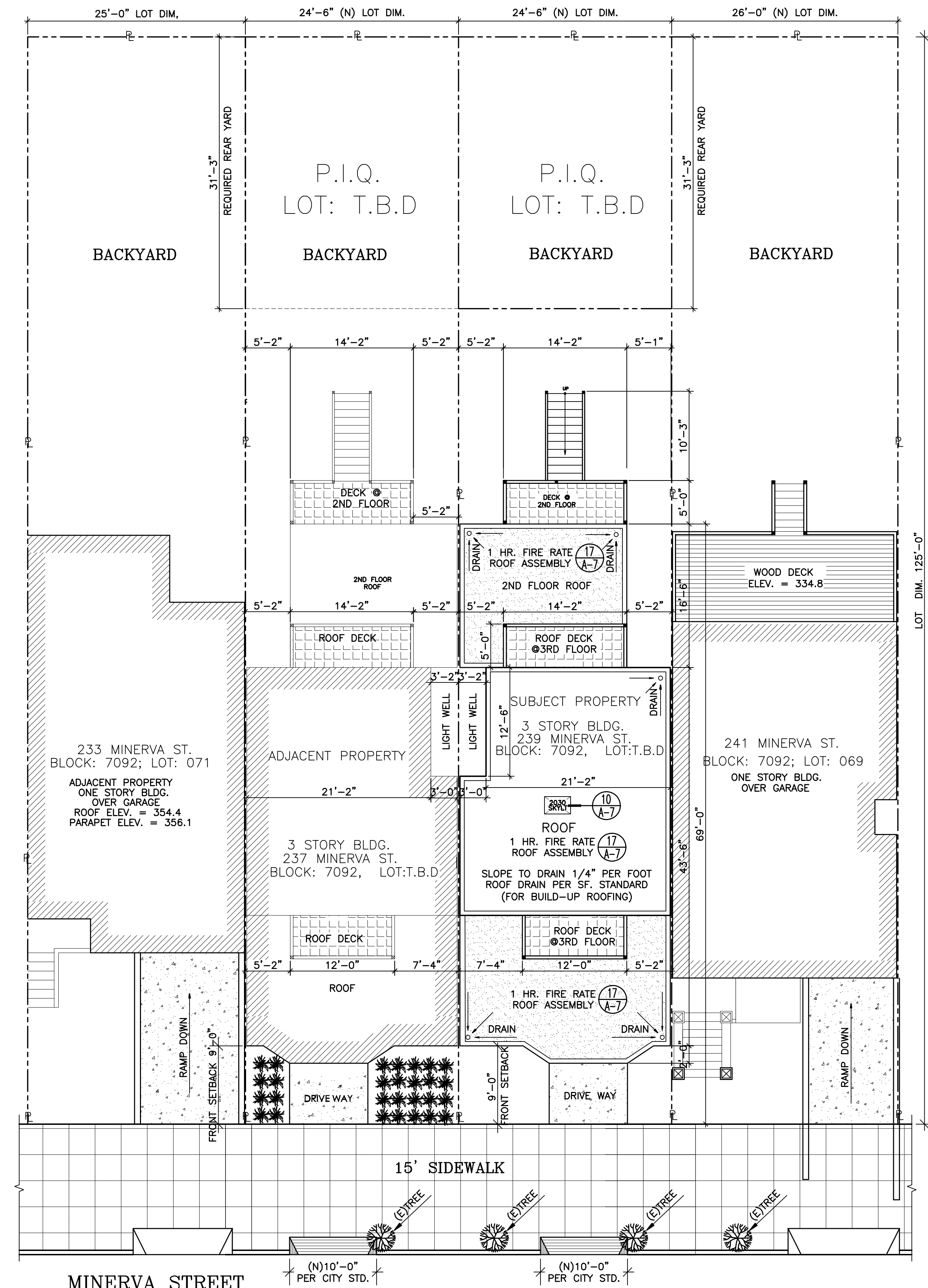
SYMBOLS

	SECTION NO.
	SHEET NO.
	DETAIL SHEET NO.
	REVISION NO.

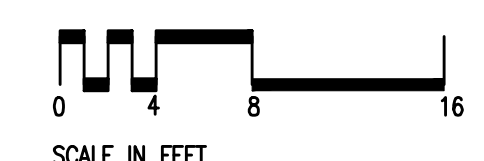
REVISIONS	BY
DICKSON CONSULTING GROUP 5616 Geary Blvd, Suite 201 San Francisco, Ca. 94121 Phone: (415) 831-7180 Fax: (415) 831-7181	
GENERAL NOTES	
BLOCK:7092, LOT: T.B.D 239 MINERVA ST. SAN FRANCISCO,CA	
DATE	04/27/11
SCALE	AS SHOWN
DRAWN	KEN
JOB	
A-1	
OF	SHEETS



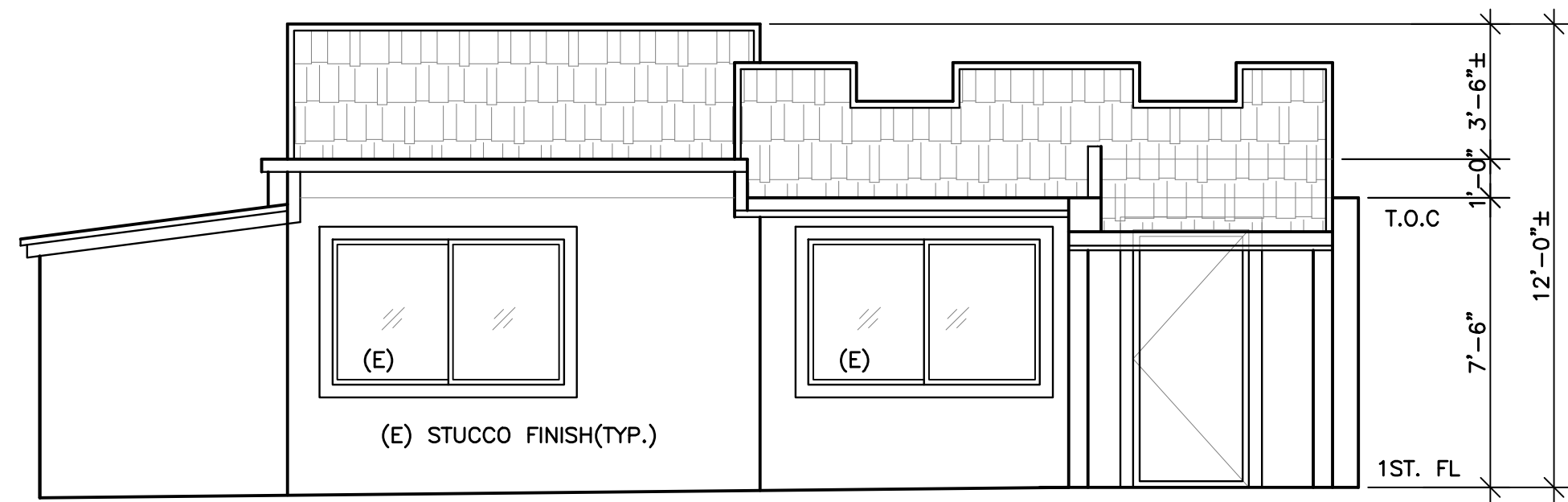
EXISTING SITE PLAN (239 MINERVA STREET)
SCALE 1/8"=1'-0"



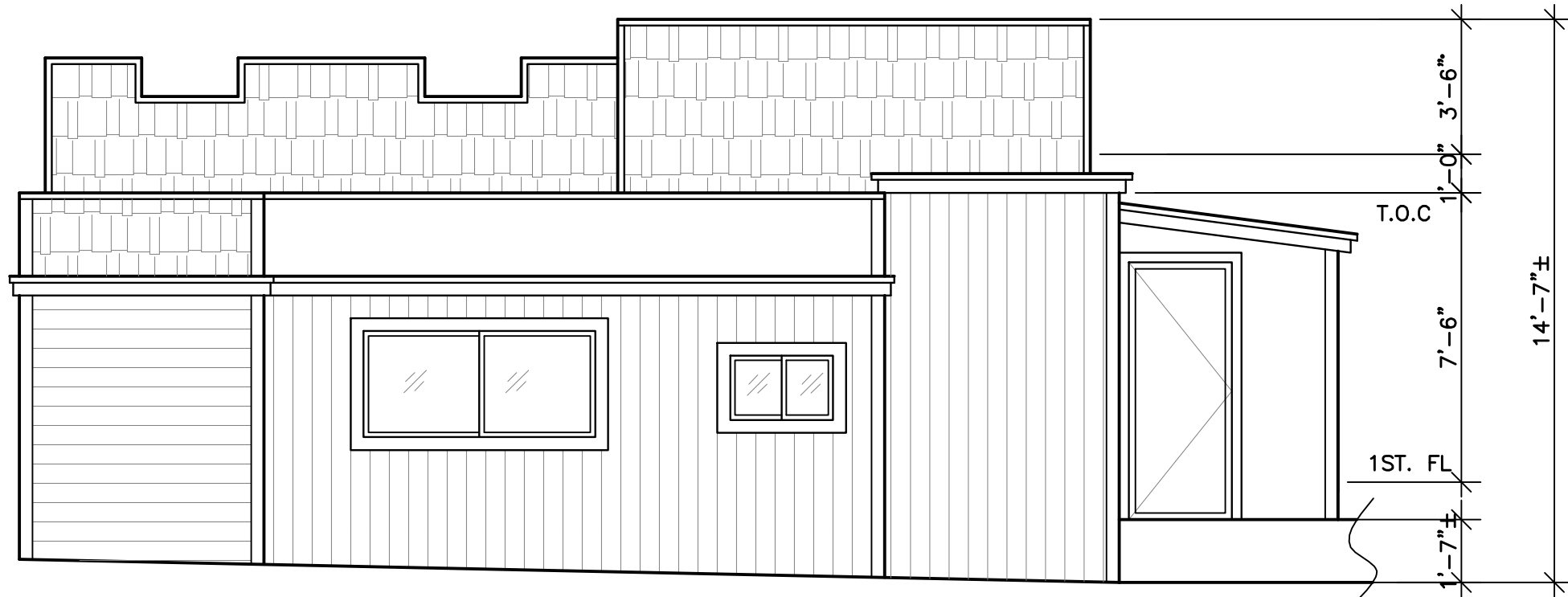
PROPOSED SITE/ ROOF PLAN 239 MINERVA STREET
SCALE 1/8"=1'-0"



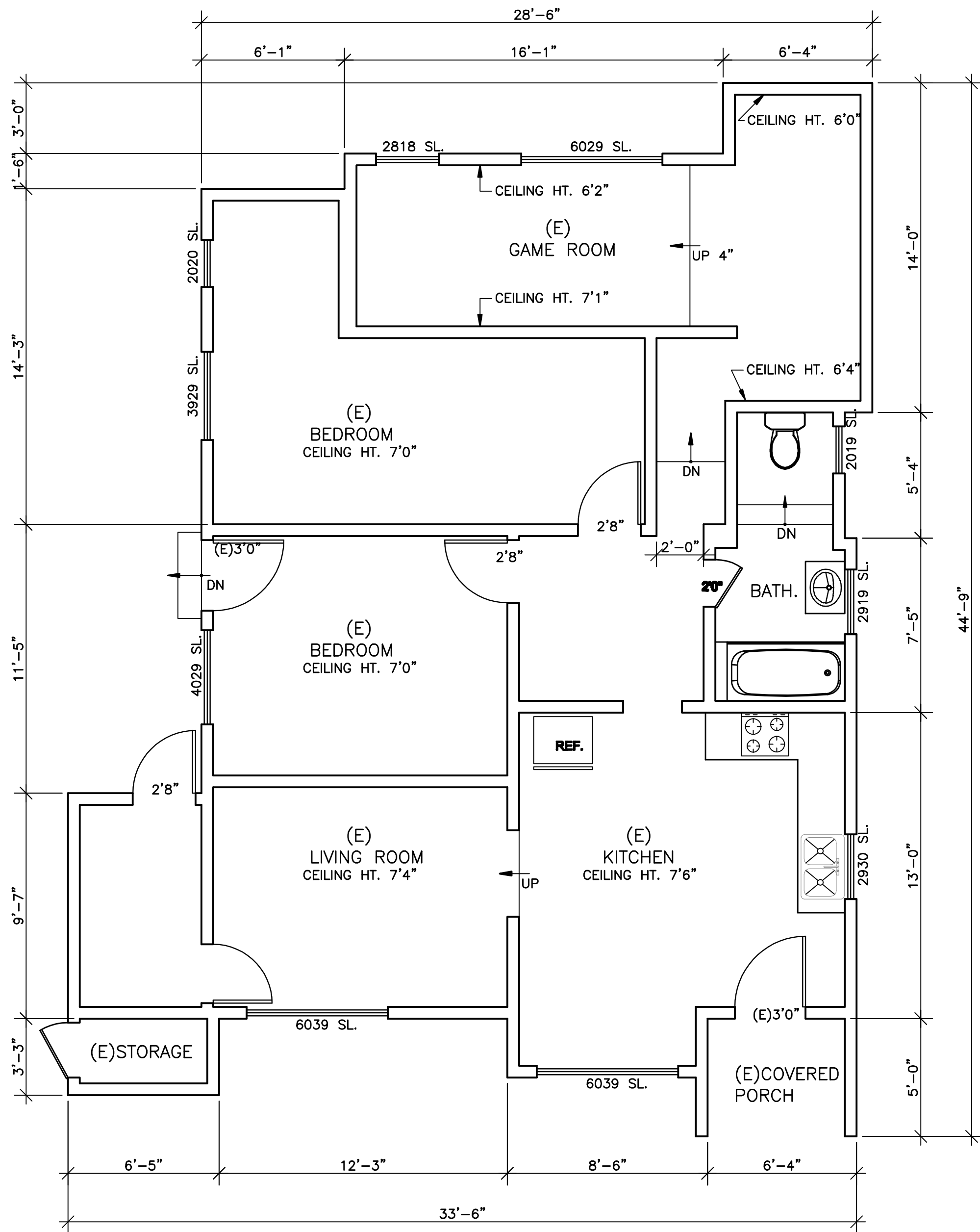
REVISIONS	BY
DICKSON CONSULTING GROUP 5616 Copy Blvd, Suite 201 San Francisco, CA 94121 Phone: (415) 831-7180 Fax: (415) 831-7181	
EXISTING & PROPOSED SITE & ROOF PLAN	
BLOCK: 7092, LOT: T.B.D 239 MINERVA ST. SAN FRANCISCO, CA	
DATE	04/27/11
SCALE	AS SHOWN
DRAWN	KEN
JOB	
A-2.1	
OF	SHEETS



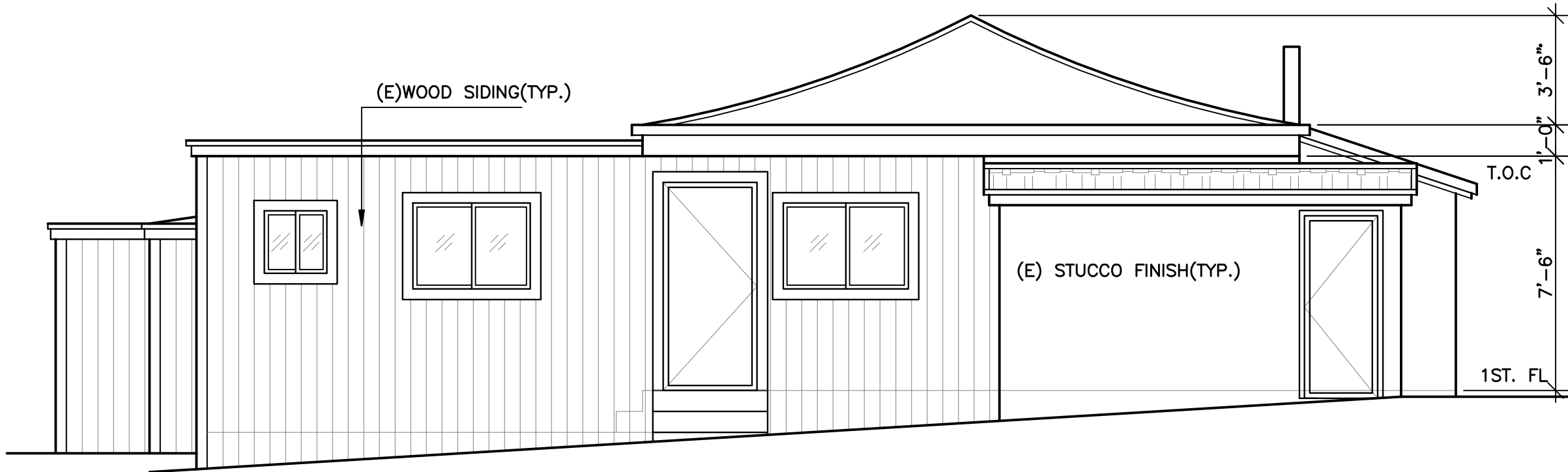
EXISTING FRONT ELEVATION (NORTH)
SCALE:1/4"=1'-0"



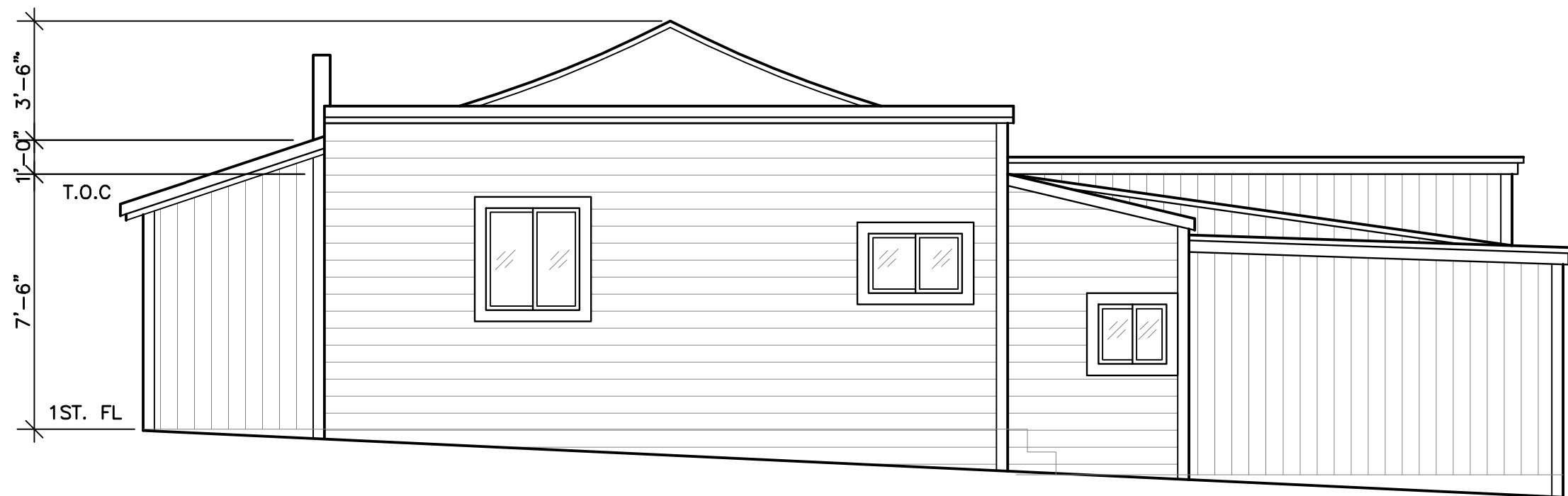
EXISTING REAR ELEVATION (SOUTH)
SCALE:1/4"=1'-0"



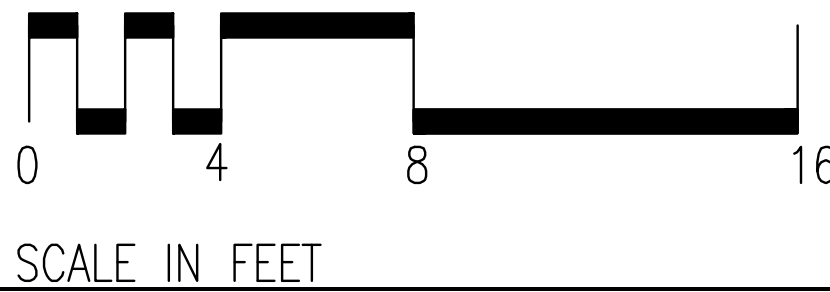
EXISTING FLOOR PLAN (239 MINERVA ST.)
SCALE 1/4"=1'-0"



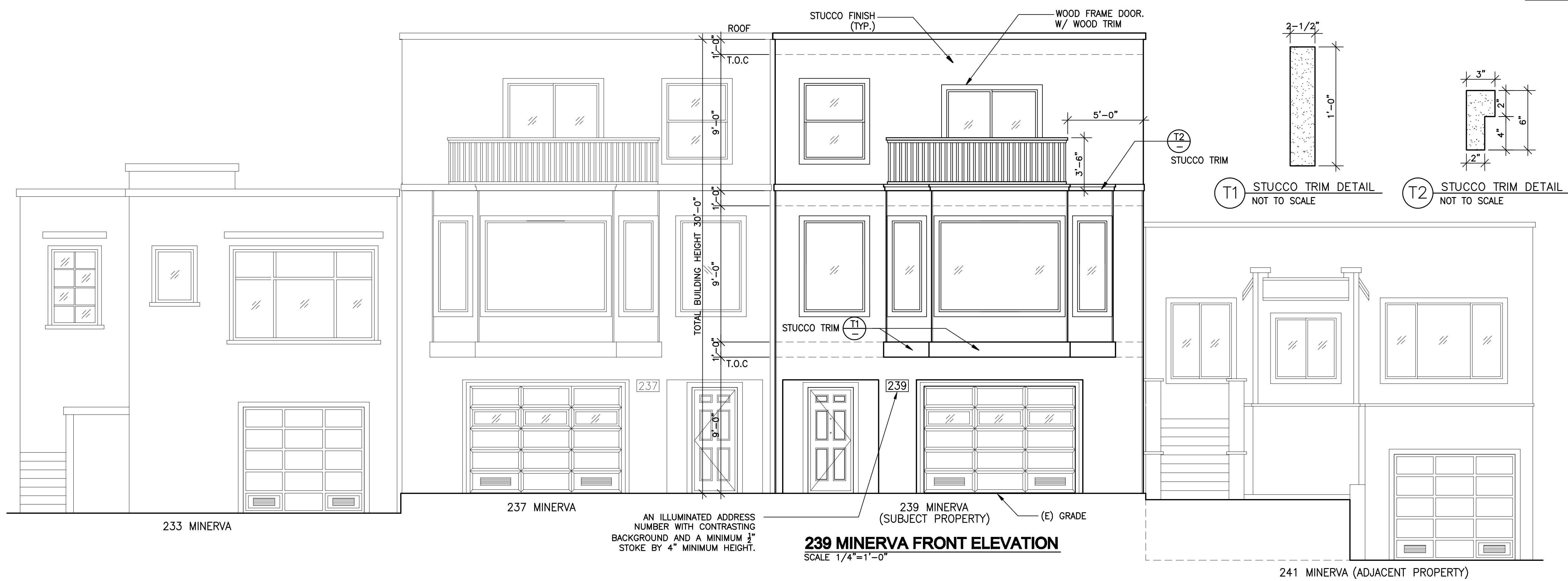
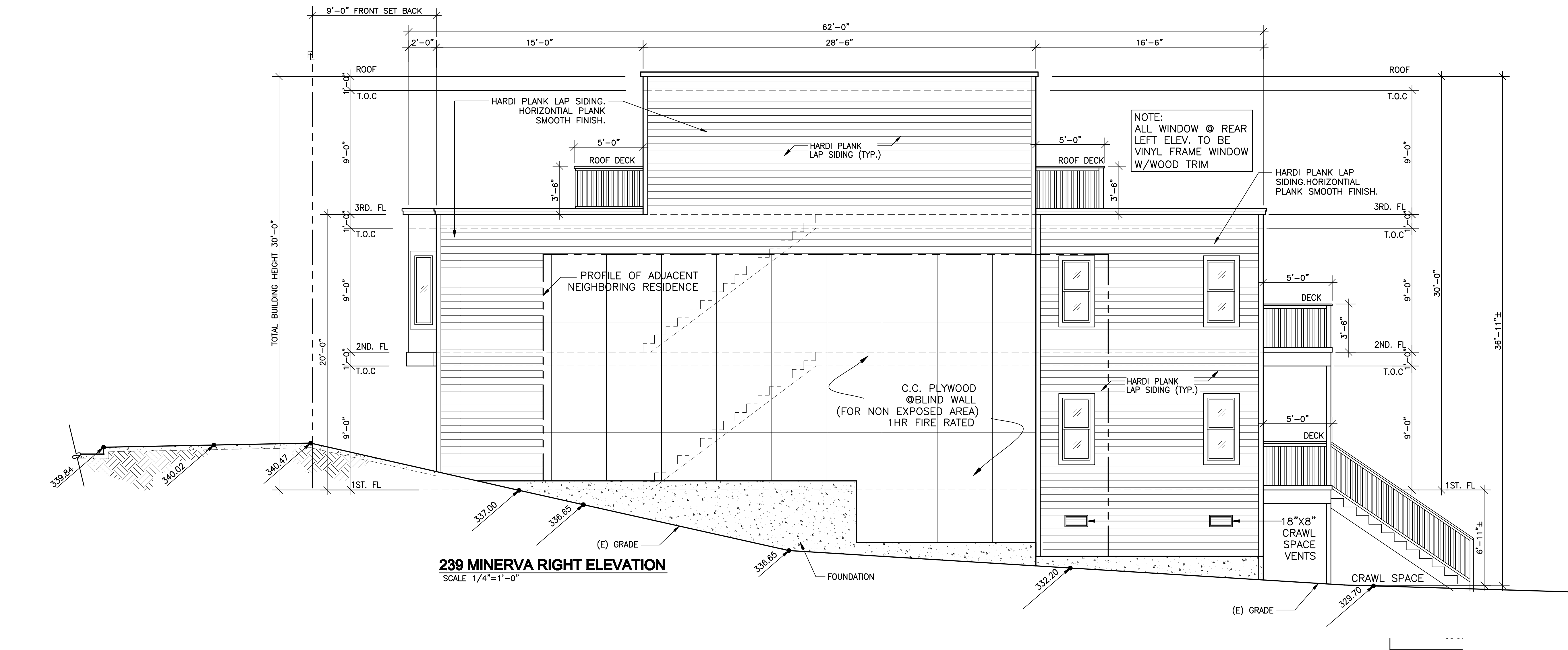
PROPOSED LEFT ELEVATION (EAST)
SCALE:1/4"=1'-0"



EXISTING RIGHT ELEVATION (WEST)
SCALE:1/4"=1'-0"



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DATE 05/30/09	
SCALE AS SHOWN	
DRAWN LI	
JOB	
APP#:	
A-2.2	
OF SHEETS	



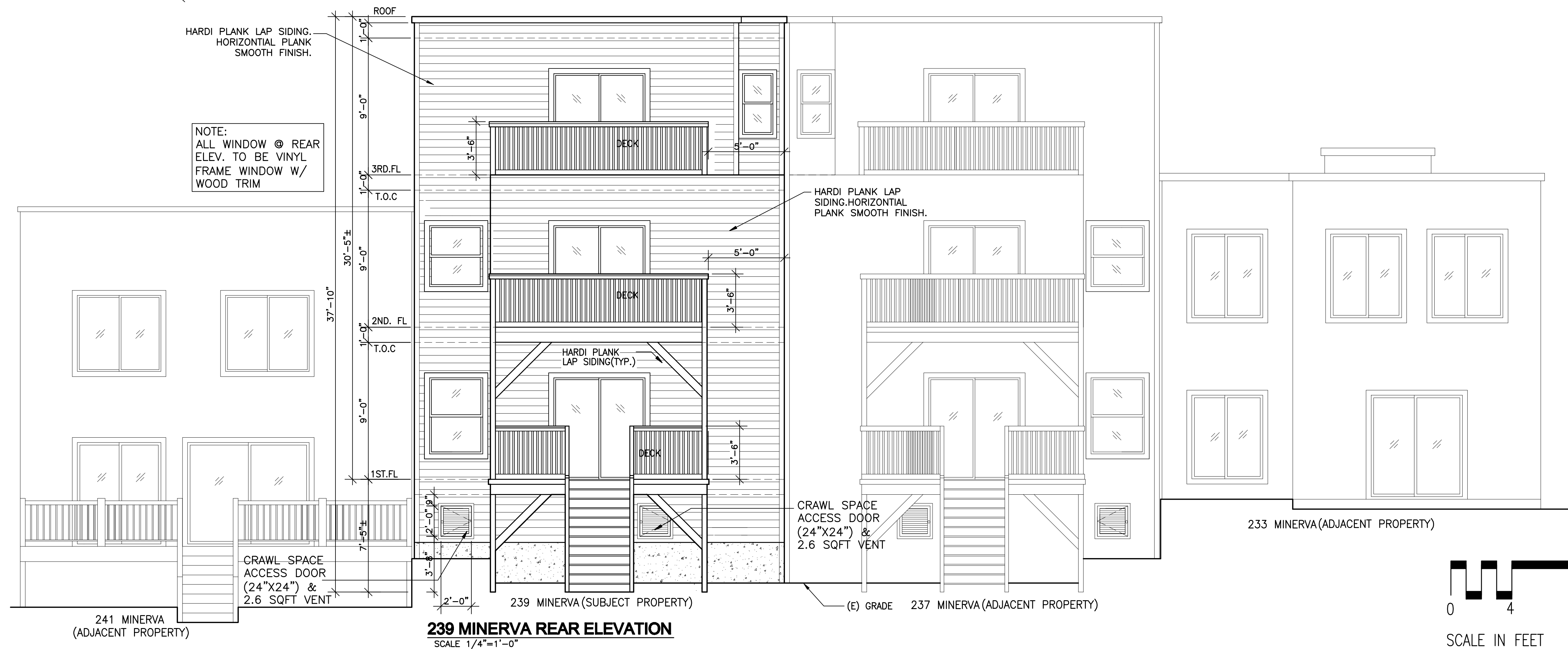
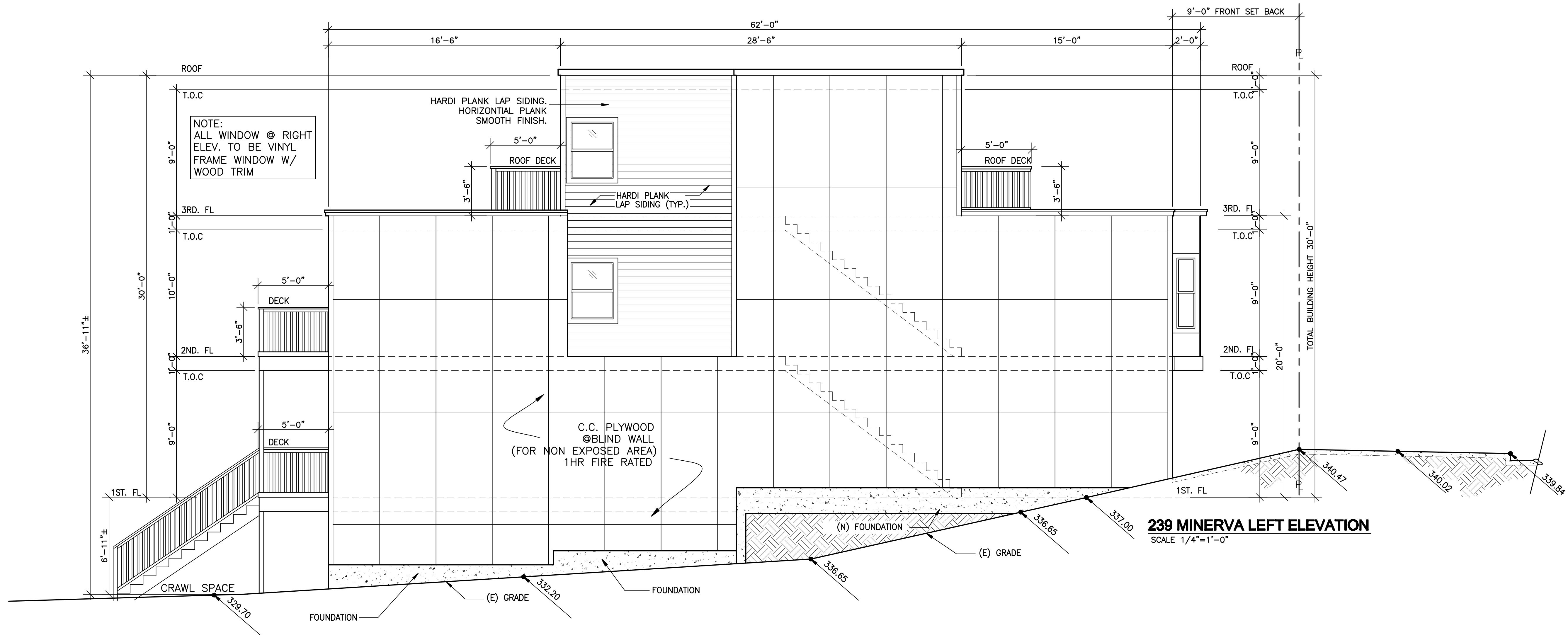
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PROPOSED FRONT & RIGHT ELEVATIONS

BLOCK: 7092, LOT: T.B.D
239 MINERVA ST.
SAN FRANCISCO, CA

DATE 04/27/11
SCALE AS SHOWN
DRAWN KEN
JOB



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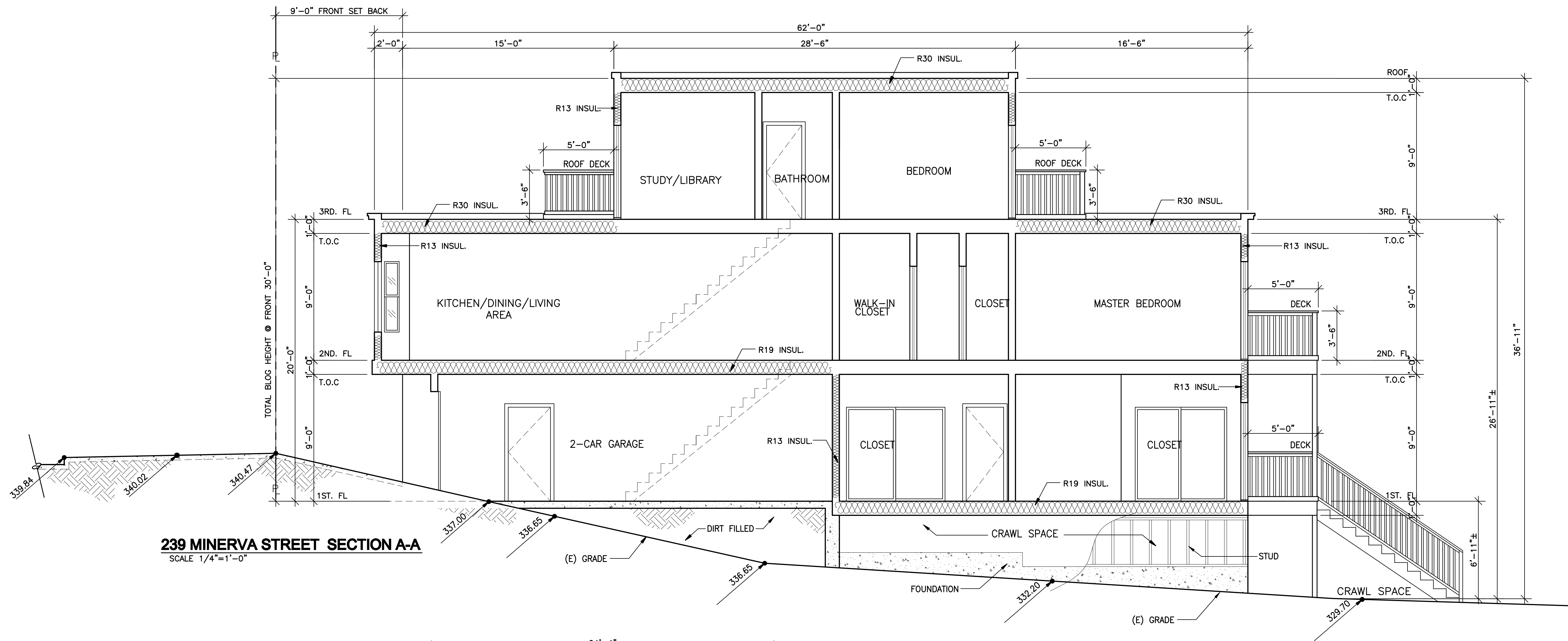
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PROPOSED LEFT & REAR ELEVATION

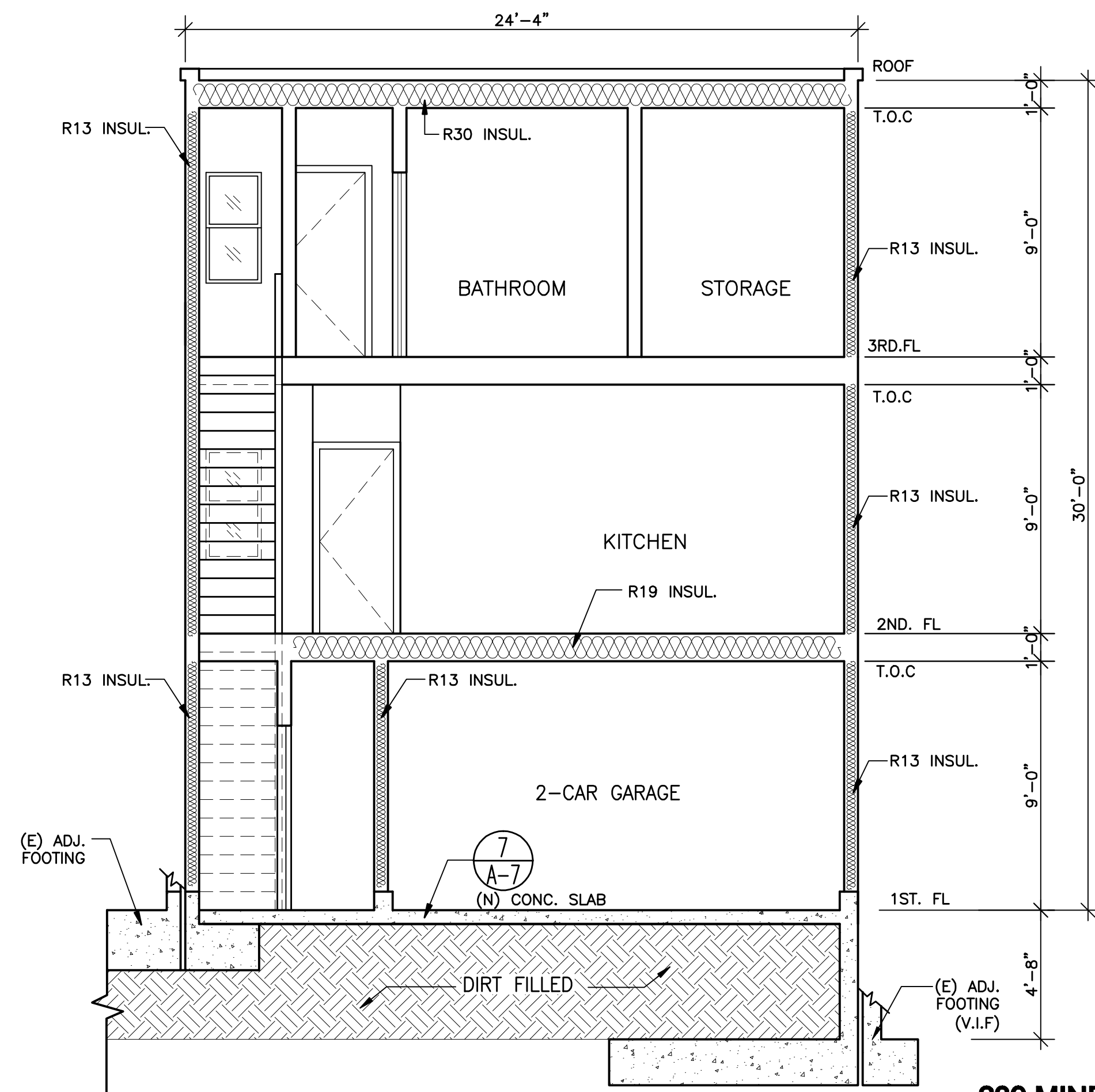
BLOCK:7092, LOT: T.B.D
239 MINERVA ST.
SAN FRANCISCO, CA

DATE 04/27/11
SCALE AS SHOWN
DRAWN KEN
JOB

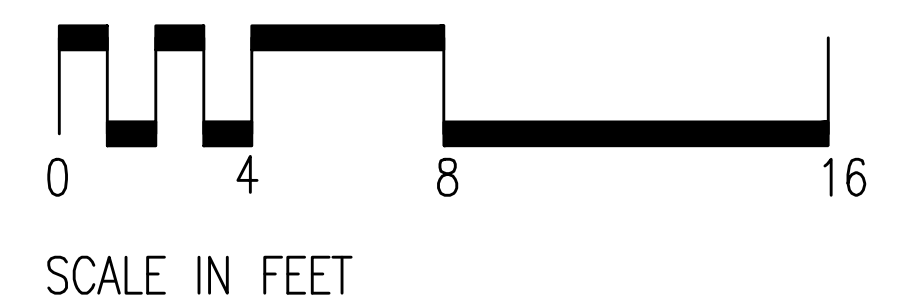
A-5
OF SHEETS



239 MINERVA STREET SECTION A-A
SCALE 1/4"=1'-0"



239 MINERVA STREET SECTION B-B
SCALE 1/4"=1'-0"



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PROPOSED SECTION A-A , B-B

BLOCK:7092, LOT: T.B.D
239 MINERVA ST.
SAN FRANCISCO,CA

DATE 04/27/11
SCALE AS SHOWN
DRAWN KEN
JOB

A-6
OF SHEETS