

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, May 25, 2011

Time: **Beginning at 9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variances (Rear Yard)
Hearing Body: Zoning Administrator

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 281 Douglass Street Cross Street(s): 18 th and 19 th Streets Block /Lot No.: 2692/023 Zoning District(s): RH-2/ 40-X Area Plan: N/A	Case No.: 2011.0299V Building Permit: 2011.04.12.3929 Applicant/Agent: Laurie Erickson, Architect Telephone: (415) 487-8660 E-Mail: laurie@ezdg.net

PROJECT DESCRIPTION

The proposal includes the construction of a new one-story deck at the rear of the existing single-family dwelling. Although the deck will not extend further into the rear yard than the existing rear staircase, it will be located within the required rear yard, necessitating the granting of a rear yard variance.

PER SECTION 134 OF THE PLANNING CODE the Subject Property is required to maintain a rear yard of approximately 28'-8", measured parallel to the rear property line. The existing two-story dwelling and its one-story rear staircase currently encroach into the required rear yard; the dwelling has a staggered rear building wall, with the deepest portion extending to within 21'-6" of the rear property line (7'-2" encroachment), and the existing rear staircase extends 3'-0" beyond the house, extending to within 18'-6" of the rear property line (10'-2" encroachment). The new one-story deck will be located within the existing notch at the rear of the existing single-family dwelling, connecting to the existing rear staircase, and will extend to within 18'-6" of the rear property. This 10'-2" encroachment necessitates a rear yard variance, pursuant to Planning Code Section 134.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Elizabeth Watty Telephone: (415) 558-6620 E-Mail: Elizabeth.Watty@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0299V.pdf

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. On May 5, 2011, the Department issued the required Section 311 notification for this project (expires June 4, 2011).

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

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MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

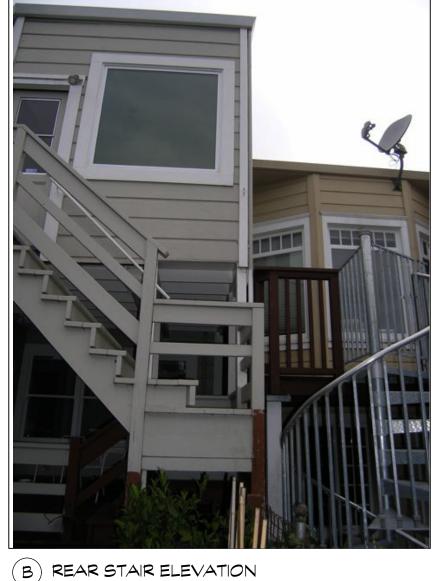
Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377

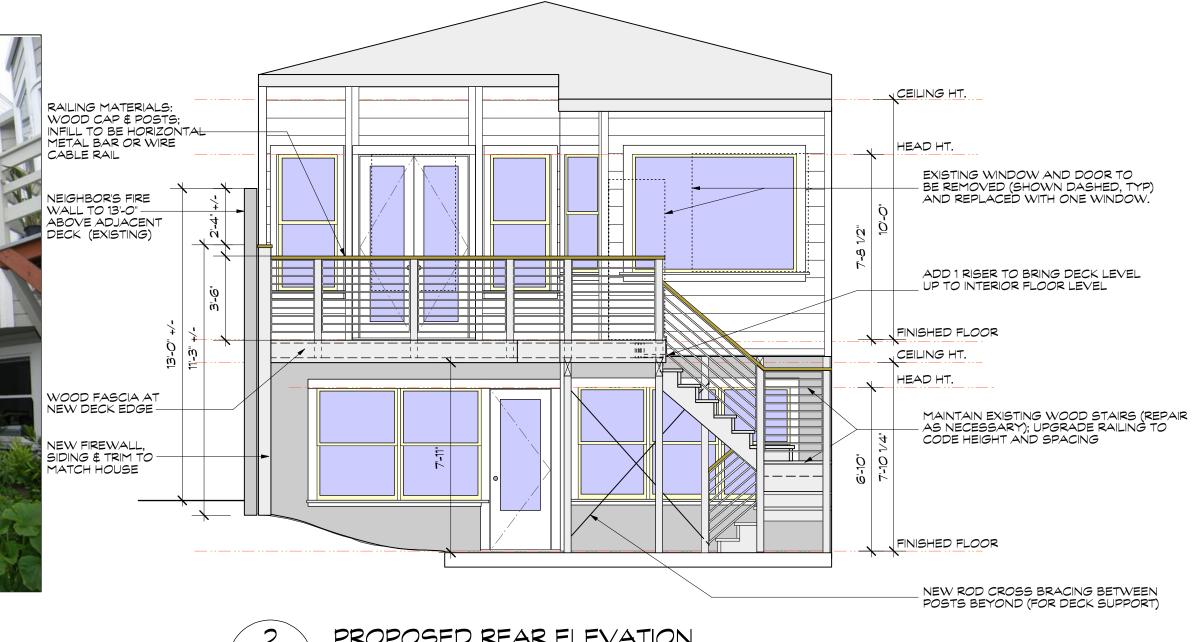


ONORTH PROPERTY LINE





SOUTH PROPERTY LINE



PROPOSED REAR ELEVATION

Scale: 1/4" = 1'-0"

ERICKSON ZEBROSKI DESIGN GROUP, Inc. 1246 18th Street

San Francisco, CA 94107 (415) 487-8660

October 19, 2010 (responses noted December 19, 2010, following pre-app meeting on Oct.28 '10)

Plan Review Manager
Department of Building Inspection
1660 Mission Street, 2nd Floor San Francisco, CA 94103

Re: 281 Douglass Street, SF

We will be submitting a permit for an interior remodel at the single family home at 281 Douglass Street. In addition to the interior work, we are considering adding a small rear deck off the 2nd floor living space, and connecting it to the existing stairs to the rear yard. The questions for the pre-application meeting are primarily related to this potential rear deck.

The following is a list of materials we have included in this package: Site plan A0, including photos of the rear elevation Existing floor plans A1
Proposed floor plans A2

The following is our list of questions and/or topics to discuss:

1. If we add a new rear deck as shown on 2/A2, we will build a full height fire wall at the South property line. The deck will connect to the existing wood stairs to gain access to the rear yard. Currently, there is no fire wall at the North property line. Would we be required to upgrade this non-conforming existing condition and add a fire wall on the North property line? Response: since it's an existing condition, and the stairs do not provide a required path of egress, no firewall will be required on the North property line.

2. The rear deck as shown on 2/A2 creates an extension over the 1st floor master bedroom that extends beyond the 7'-0" minimum for light and ventilation. We will provide mechanical ventilation and artificial light to comply with the equivalent codes 1203.1 (vent) and 1205.3 (light). Are there any problems with this strategy?

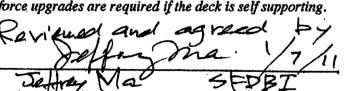
Response: the stated strategy is code-compliant. Alternative: pull the deck edge in so it is 3'-0" from the property line; this configuration will require standard light and ventilation.

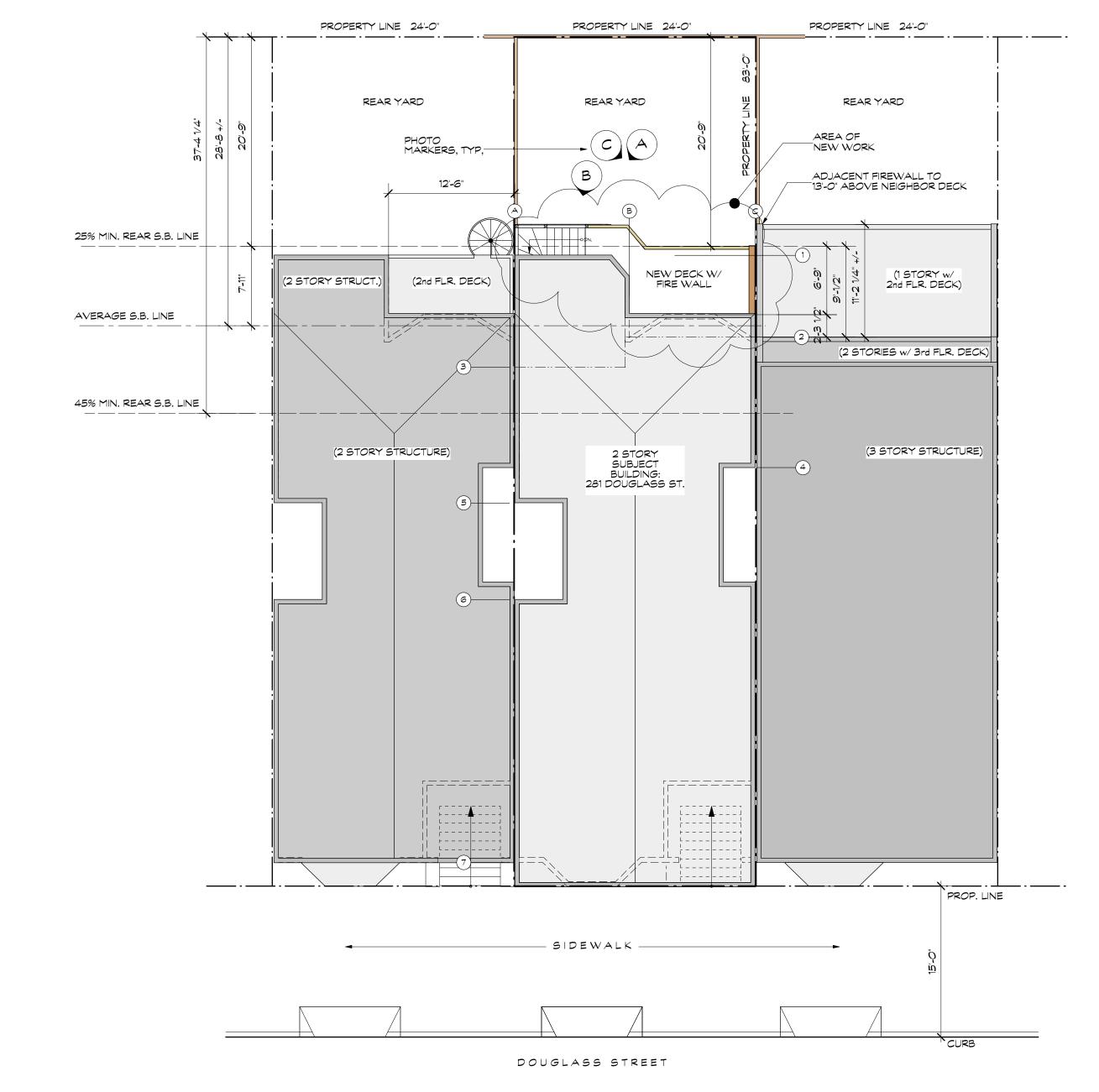
3. If the larger wood deck becomes too problematic with light and vent and the cost of the fire wall, we may opt to build a smaller deck as shown on 3/A2. In this case, similarly, would we be required to upgrade the nonconforming condition at the North property line? Response: not required (see question #1).

4. Do the modifications at the rear walls trigger mandatory structural improvements to the lateral force resisting system of the house? (At dining area = replacement of window and door with window, at new kitchen = replacement of window with door. See 2/A2). Response: since the doors and windows are essentially replacing existing units in the same locations, no lateral force upgrades are required.

5. Does a new deck trigger structural improvements to the lateral force resisting system of the house, assuming that the deck will be self-supporting and self-braced? Alternatively, if the deck is partially supported by the existing second floor framing, what are the structural implications?

Response: no lateral force upgrades are required if the deck is self supporting.





INDEX

PROJECT INFO, SITE PLAN, REAR ELEVATION EXISTING FLOÓR PLANS

PROPOSED FLOOR PLANS

Erickson Zebroski Design Group

Inc. Architects

1246 18th Street SF, CA 94107 Tel: 415-487-8660 Fax: 415-487-8661 www.ezdg.net

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SCOPE OF PROJECT

PROJECT SUMMARY:

ADD DECK TO REAR OF HOUSE, INCLUDING FIRE WALL AT PROPERTY LINE.

ADD NEW WINDOW AT DINING ROOM (TO REPLACE EXISTING WINDOW AND DOOR).

ADD LIGHTING UNDER DECK FOR LIGHT REQUIREMENT IN MASTER BEDROOM BELOW.

CONTACTS

Owner:

Mary & Tony Roggero 281 Douglass Street San Francisco CA 94114 (415) 864-2205

Architect:

Erickson Zebroski Design Group, Inc. Laurie Erickson

1246 18th Street San Francisco, CA 94107 (415) 487.8660

Engineering:

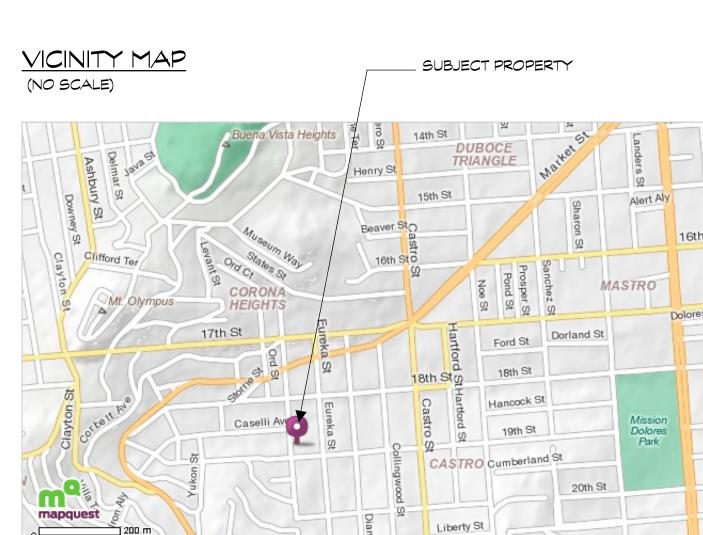
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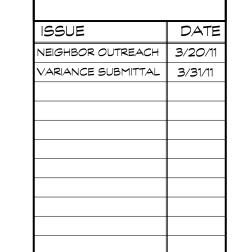
San Francisco CA 94112-2720 (415) 333.4014 fax: 333.4034

PROJECT DATA

ZONING:	RH-2
NUMBER OF UNITS:	1
BLOCK AND LOT:	2692 / 23
BUILDING TYPE :	TYPE 5
LOT SIZE:	24' × 83' (1992 SF)
HABITABLE SQ. FOOTA	GE: (NO CHANGE)
1ST FLOOR:	450. SF
2ND FLOOR:	1,214. SF
TOTAL:	1,664. SF
APPLICABLE BUILDING CODES:	THE 2007 SAN FRANCISCO BUILDING CODE CONSISTING OF THE 2007 CALIFORNIA BLDG. CODE WITH SAN FRANCISCO AMENDMENTS.
	THE 2007 SAN FRANCISCO ELECTRICAL CODE CONSISTING OF THE 2007 CALIFORNIA ELEC. CODE WITH SAN FRANCISCO AMENDMENTS.
	THE 2007 SAN FRANCISCO MECHANICAL CODE CONSISTING OF THE 2007 CALIFORNIA MECH. CODE WITH SAN FRANCISCO AMENDMENTS.
	THE 2007 SAN FRANCISCO PLUMBING CODE CONSISTING OF THE 2007 CALIFORNIA PLUMB. CODE WITH SAN FRANCISCO AMENDMENTS.



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SITE PLAN ELEVATION

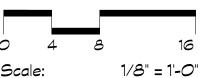
PROJECT



PRE-APPLICATION LETTER

PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"



PLAN NORTH