



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variances (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address: 281 Douglass Street Cross Street(s): 18th and 19th Streets Block /Lot No.: 2692/023 Zoning District(s): RH-2/ 40-X Area Plan: N/A		Case No.: 2011.0299V Building Permit: 2011.04.12.3929 Applicant/Agent: Laurie Erickson, Architect Telephone: (415) 487-8660 E-Mail: laurie@ezdq.net	
PROJECT DESCRIPTION			
<p>The proposal includes the construction of a new one-story deck at the rear of the existing single-family dwelling. Although the deck will not extend further into the rear yard than the existing rear staircase, it will be located within the required rear yard, necessitating the granting of a rear yard variance.</p> <p>PER SECTION 134 OF THE PLANNING CODE the Subject Property is required to maintain a rear yard of approximately 28'-8", measured parallel to the rear property line. The existing two-story dwelling and its one-story rear staircase currently encroach into the required rear yard; the dwelling has a staggered rear building wall, with the deepest portion extending to within 21'-6" of the rear property line (7'-2" encroachment), and the existing rear staircase extends 3'-0" beyond the house, extending to within 18'-6" of the rear property line (10'-2" encroachment). The new one-story deck will be located within the existing notch at the rear of the existing single-family dwelling, connecting to the existing rear staircase, and will extend to within 18'-6" of the rear property. This 10'-2" encroachment necessitates a rear yard variance, pursuant to Planning Code Section 134.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Elizabeth Watty Telephone: (415) 558-6620 E-Mail: Elizabeth.Watty@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0299V.pdf</p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On May 5, 2011, the Department issued the required Section 311 notification for this project (expires June 4, 2011).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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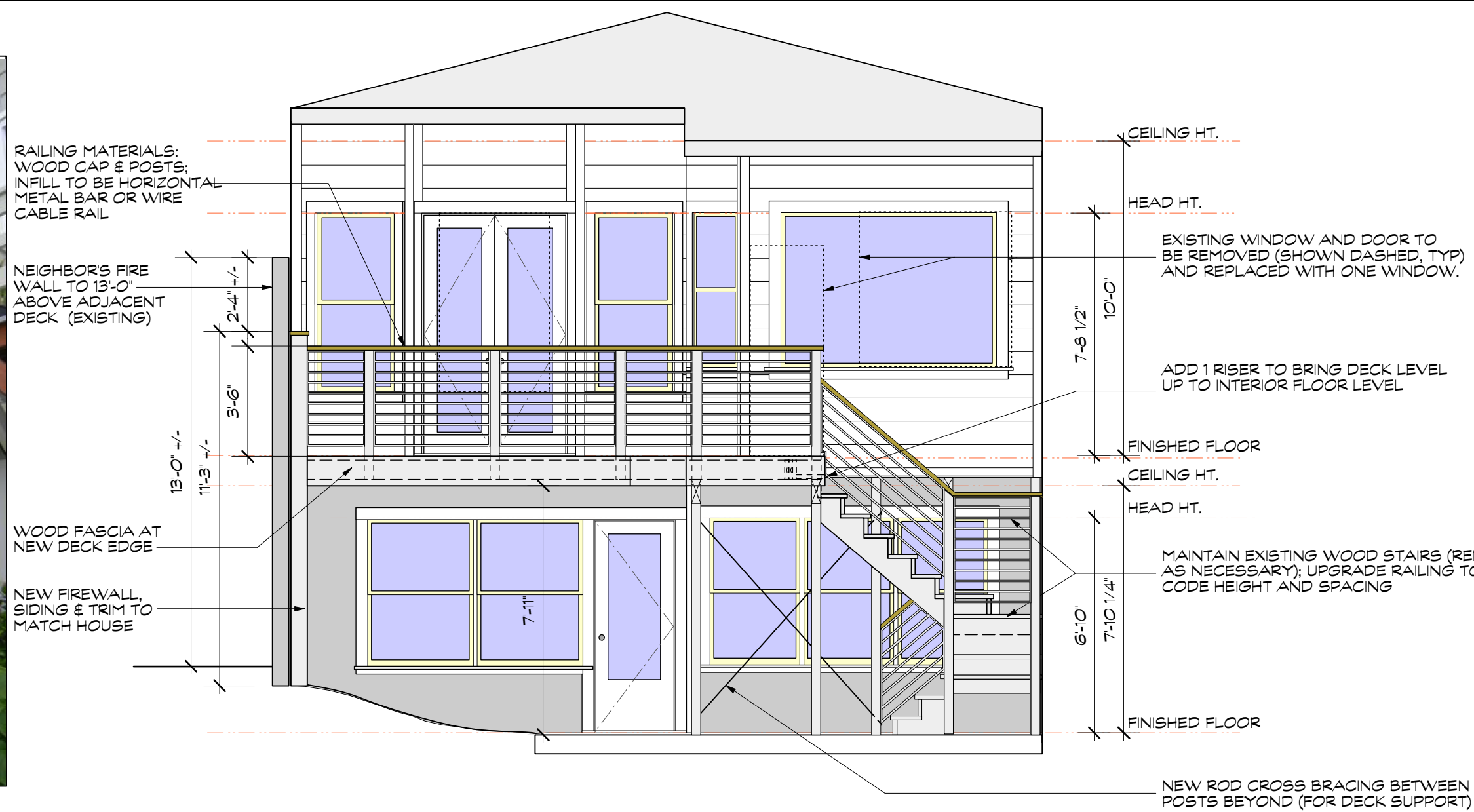
Planning
Information:
415.558.6377



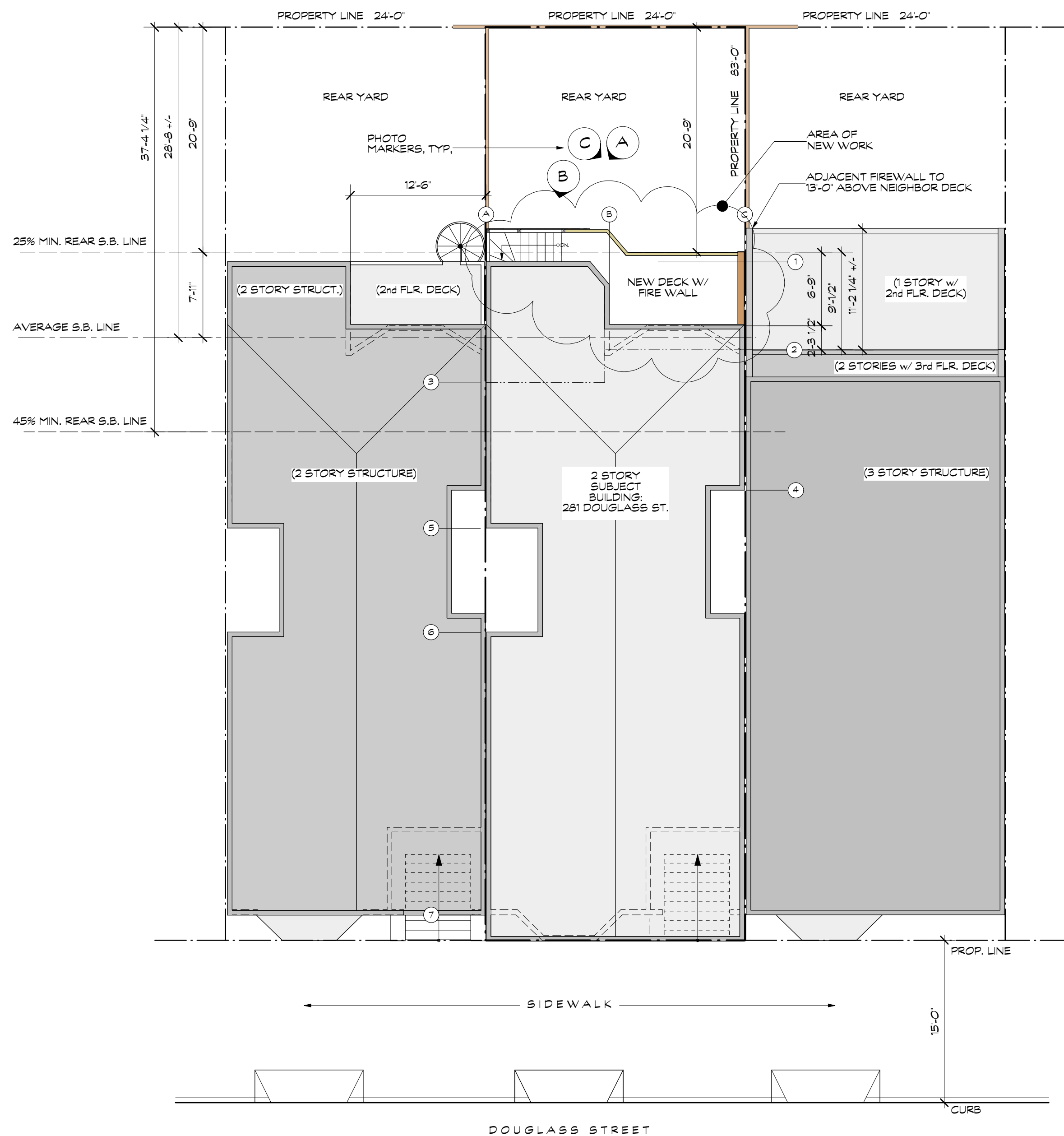
(B) REAR STAIR ELEVATION



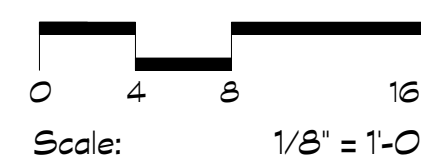
© REAR ELEVATION LOOKING TOWARD
SOUTH PROPERTY LINE



A3 Scale: 1/4" = 1'-0"



AO Scale: 1/8" = 1'-0"



A0	PROJECT INFO, SITE PLAN, REAR ELEVATION
A1	EXISTING FLOOR PLANS
A2	PROPOSED FLOOR PLANS

1. ADD DECK TO REAR OF HOUSE, INCLUDING FIRE WALL AT PROPERTY LINE.
2. ADD NEW WINDOW AT DINING ROOM (TO REPLACE EXISTING WINDOW AND DOOR).
3. ADD LIGHTING UNDER DECK FOR LIGHT REQUIREMENT IN MASTER BEDROOM BELOW.

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281 Douglass Street
San Francisco CA 94114
(415) 864-2205

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Laurie Erickson
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(415) 487.8660

Sarah Leong Engineering
Sarah Leong
226 Persia
San Francisco CA 94112-2720
(415) 333.4014
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ZONING:	RH-2
NUMBER OF UNITS:	1
BLOCK AND LOT :	2692 / 23
BUILDING TYPE :	TYPE 5
LOT SIZE:	24' x 83' (1992 SF)
HABITABLE SQ. FOOTAGE:	(NO CHANGE)
1ST FLOOR:	450. SF
2ND FLOOR:	1,214. SF
TOTAL:	1,664. SF
APPLICABLE BUILDING CODES:	THE 2007 SAN FRANCISCO BUILDING CODE CONSISTING OF THE 2007 CALIFORNIA BLDG. CODE WITH SAN FRANCISCO AMENDMENTS.
	THE 2007 SAN FRANCISCO ELECTRICAL CODE CONSISTING OF THE 2007 CALIFORNIA ELEC. CODE WITH SAN FRANCISCO AMENDMENTS.
	THE 2007 SAN FRANCISCO MECHANICAL CODE CONSISTING OF THE 2007 CALIFORNIA MECH. CODE WITH SAN FRANCISCO AMENDMENTS.
	THE 2007 SAN FRANCISCO PLUMBING CODE CONSISTING OF THE 2007 CALIFORNIA PLUMB. CODE WITH SAN FRANCISCO AMENDMENTS.

The map shows the Corona Heights area in San Francisco. A red pin is placed on the map near the intersection of 17th St and 18th St, indicating the location of the San Francisco Zoo. The map includes labels for various streets and landmarks, such as Buena Vista Heights, Museum Way, and Mission Dolores Park. A scale bar at the bottom left indicates a distance of 200 meters. The map is credited to MapQuest and Navteq.

A diagram of a circle with four labels: 'z' at the top, 'd' at the right, 'g' at the bottom, and 'e' at the left.

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THE ROGGERO RESIDENCE
281 DOUGLASS STREET
SAN FRANCISCO, CALIFORNIA 94114
BLOCK # 2692 LOT # 23

[illegible]

SITE PLAN
ELEVATION
PROJECT
INFO

AO

AO NO SCALE