



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 22, 2011**

Time: **Beginning at 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard, Noncomplying Structure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	95 West Clay Street	Case No.:	2011.0286V
Cross Street(s):	24th Ave/22nd Ave	Building Permit:	2011.03.31.3184
Block /Lot No.:	1336/025	Applicant/Agent:	David Armour
Zoning District(s):	RH-1(D) / 40-X	Telephone:	(415) 440-2880
Area Plan:	n/a	E-Mail:	david@armour-vokic.com
PROJECT DESCRIPTION			
<p>The proposal is to demolish the existing sunroom at the rear (east side) of the single-family house and construct an addition of approximately the same size. The building's existing height and footprint will not be increased.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 24 feet. The proposed rear addition would encroach approximately 8 feet into the required rear yard and result in a rear yard of 16 feet.</p> <p>PER SECTION 188(a) OF THE PLANNING CODE noncomplying structures are not permitted to be expanded. The existing building is considered a legal noncomplying structure because portions of the building already encroach into the required rear yard. Therefore, the proposed expansion would be contrary to Section 188 of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Aaron Starr Telephone: (415) 558-6362 E-Mail: aaron.starr@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0286V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

5 West Clay Street
San Francisco
California, 94121

ate & Issue

Renovation to Sandler Residence

1004

own By: _____

DO NOT SCALE DRAWINGS

e: $1/8" = 1'-0"$

A horizontal number line with tick marks at 2, 4, 8, and 14. The segment between 2 and 8 is shaded with a solid black bar.

Existing Plot Plan

A.1



95 West Clay Street

95 West Clay Street
San Francisco
California, 94121

Date & Issue

Renovation to Sandler Residence

File:

Job #: 1004

Drawn By: Author

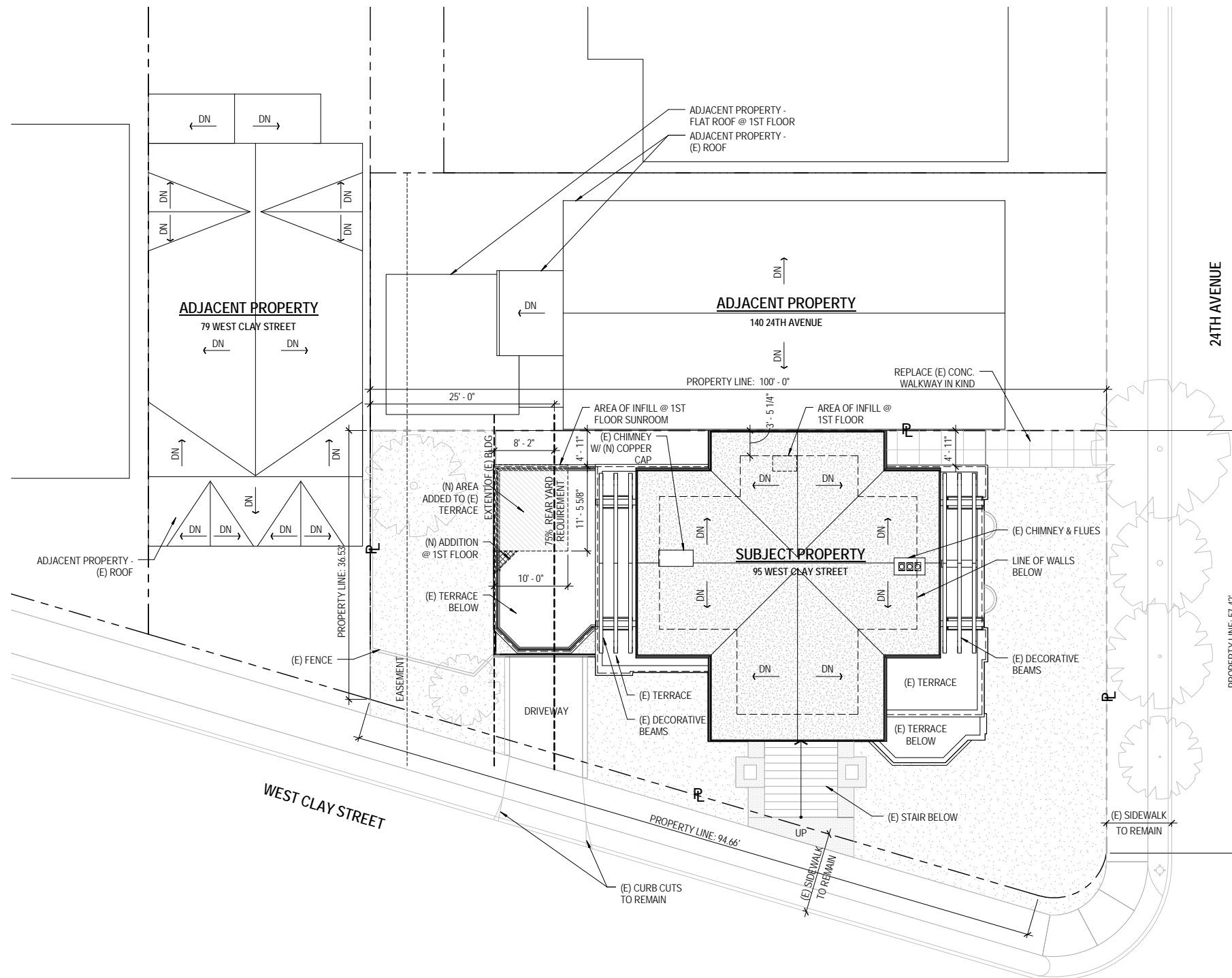
DO NOT SCALE DRAWINGS

Scale: 1/8" = 1'-0"

0 2 4 8 16

Proposed Plot Plan

A.2



PLOT PLAN - PROPOSED

SCALE: 1/8" = 1'-0"





SHEET NOTES

- ① ADJACENT BUILDING
- ② (E) CHIMNEY
- ③ (E) DECORATIVE BEAMS
- ④ LINE OF (E) TERRACE BEYOND
- ⑤ (E) FLUES



SHEET NOTES

- ① ADJACENT BUILDING
- ② (E) CHIMNEY
- ③ (E) DECORATIVE BEAMS
- ④ LINE OF (E) TERRACE BEYOND
- ⑤ (E) FLUE

NORTH ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"

4

EAST ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"

3



SHEET NOTES

- ① LINE OF ADJACENT BUILDING
- ② (E) CHIMNEY
- ③ (E) DECORATIVE BEAMS
- ④ LINE OF (E) TERRACE BEYOND
- ⑤ APPROX. WINDOW LOCATION ON ADJACENT BUILDING
- ⑥ (E) FLUES



SHEET NOTES

- ① ADJACENT BUILDING
- ② (E) CHIMNEY
- ③ (E) DECORATIVE BEAMS
- ④ LINE OF (E) TERRACE BEYOND
- ⑤ (E) FLUE

SOUTH ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"

2

WEST ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"

1

Date & Issue



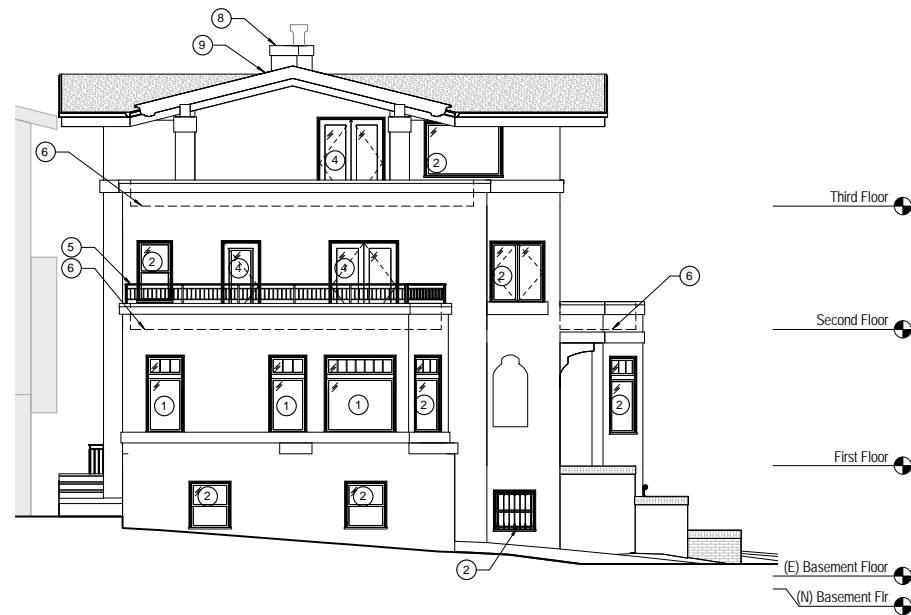
NORTH ELEVATION - PROPOSED

SCALE: 3/16" = 1'-0"

4

SHEET NOTES

- ① (N) WD WINDOW
- ② (E) WD WINDOW TO REMAIN, SASH TO BE REPLACED
- ③ (N) GARAGE DOOR TO REPLACE (E)
- ④ (N) WD DOOR TO REPLACE (E)
- ⑤ (N) GUARDRAIL 42" MIN. AB. FIN. TERRACE
- ⑥ LINE OF TERRACE BEYOND
- ⑦ NOT USED
- ⑧ AREA OF (E) WINDOW TO BE INFILLED
- ⑨ (E) CHIMNEY
- ⑩ (E) FLUES
- ⑪ (N) MTL CAP @ (E) CHIMNEY
- ⑫ (N) WINDOW TO COMPLY WITH EGRESS REQUIREMENTS (SECTION 1029 CBC 2010)
- ⑬ (E) DECORATIVE BEAMS TO BE INSPECTED FOR DRY ROT AND REPLACED IN KIND AS REQ'D



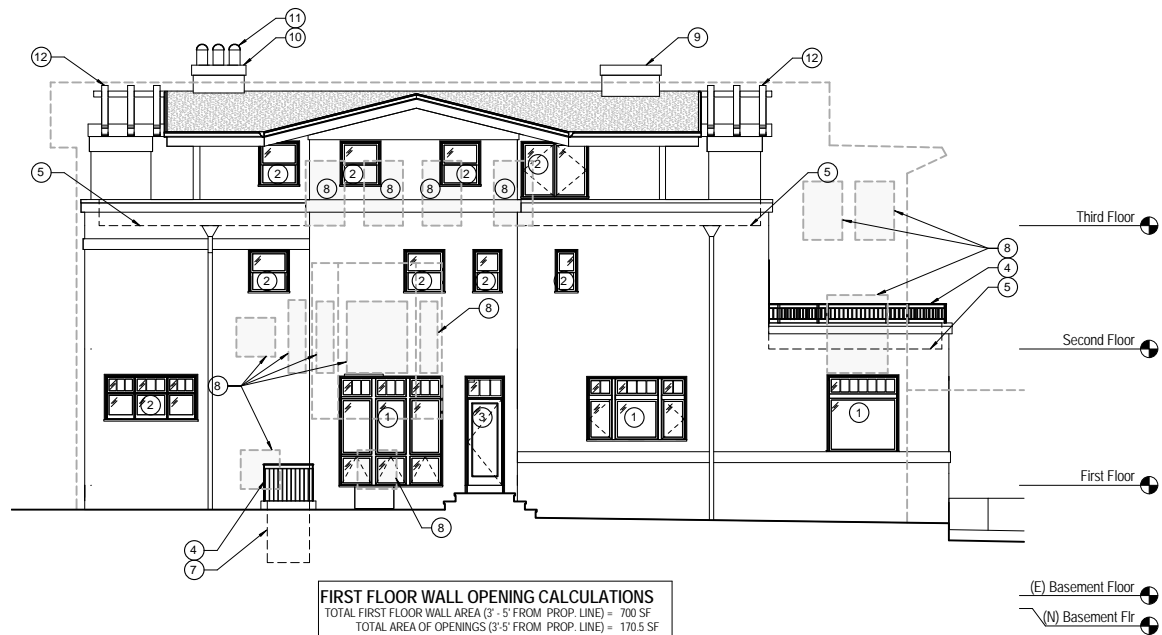
EAST ELEVATION - PROPOSED

SCALE: 3/16" = 1'-0"

3

SHEET NOTES

- ① (N) WD WINDOW
- ② (E) WD WINDOW TO REMAIN, SASH TO BE REPLACED
- ③ NOT USED
- ④ (N) WD DOOR TO REPLACE (E)
- ⑤ (N) GUARDRAIL 42" MIN. AB. FIN. TERRACE
- ⑥ LINE OF TERRACE BEYOND
- ⑦ NOT USED
- ⑧ (N) MTL CAP @ (E) CHIMNEY
- ⑨ (E) DECORATIVE BEAMS TO BE INSPECTED FOR DRY ROT AND REPLACED IN KIND AS REQ'D



SOUTH ELEVATION - PROPOSED

SCALE: 3/16" = 1'-0"

2

SHEET NOTES

- ① (N) WD WINDOW
- ② (E) WD WINDOW TO REMAIN, SASH TO BE REPLACED
- ③ (N) WD EXTERIOR DOOR
- ④ (N) GUARDRAIL 42" MIN. AFF
- ⑤ LINE OF TERRACE BEYOND
- ⑥ NOT USED
- ⑦ LINE OF (N) LIGHT WELL BEYOND
- ⑧ APPROX. WINDOW LOCATION ON ADJACENT BUILDING
- ⑨ (N) MTL CAP @ (E) CHIMNEY
- ⑩ (E) CHIMNEY
- ⑪ (E) FLUES
- ⑫ (E) DECORATIVE BEAMS TO BE INSPECTED FOR DRY ROT AND REPLACED IN KIND AS REQ'D



WEST ELEVATION - PROPOSED

SCALE: 3/16" = 1'-0"

1

SHEET NOTES

- ① (E) WD WINDOW TO REMAIN, SASH TO BE REPLACED
- ② (N) WD DOOR TO REPLACE (E)
- ③ LINE OF TERRACE BEYOND
- ④ NOT USED
- ⑤ (E) CHIMNEY
- ⑥ (E) FLUE
- ⑦ (E) DECORATIVE BEAMS TO BE INSPECTED FOR DRY ROT AND REPLACED IN KIND AS REQ'D

FIRST FLOOR WALL OPENING CALCULATIONS
TOTAL FIRST FLOOR WALL AREA (3'-5" FROM PROP. LINE) = 700 SF
TOTAL AREA OF OPENINGS (3'-5" FROM PROP. LINE) = 170.5 SF
TOTAL PERCENTAGE = 24.3%

Date & Issue

Renovation to Sandler Residence

File: 1004

Job #: 1004

Drawn By: Author

DO NOT SCALE DRAWINGS

Scale: 3/16" = 1'-0"

0 1 2 4 8

Proposed Elevations