



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25th, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	3938 17th Street	Case No.:	2011.0274V
Cross Street(s):	Between Market & Noe	Building Permit:	2011.03.24.2778
Block /Lot No.:	3563/015B	Applicant/Agent:	Peter Shutts
Zoning District(s):	RH-3 / 40-X	Telephone:	(925) 484-0903
Area Plan:	None	E-Mail:	pgshutts@sbcglobal.net
PROJECT DESCRIPTION			
<p>The proposed work for the existing one-story over garage, single-family dwelling includes the demolition and reconstruction of the last 19 feet of the ground floor and the last 12 feet of the second floor and (2) the addition of a second floor rear stairway leading to grade.</p> <p>The proposed work would not change the existing building footprint, but would include a new gable roof above the reconstructed first and second floors to match the existing gable roof.</p> <p>Section 134(a)(2) of the Planning Code requires a minimum rear yard depth of 58 feet 6 inches, measured from the rear property line, for the subject lot. Although the demolition and reconstruction of the rear portion of the ground and second floors would not change the current building footprint, it would encroach 19 feet into the required rear yard to within 39 feet 6 inches of the rear property line.</p> <p>Section 188 of the Planning Code prohibits enlargements reconstruction of a noncomplying structure. Since a portion of the subject building was legally constructed within the currently required rear yard, it is considered a legal noncomplying structure. The proposed work would result in the reconstruction and expansion of a noncomplying structure.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0274V.pdf</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Tom Wang Telephone: (415) 558-6334 E-Mail: thomas.wang@sfgov.org</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

Architecture Planning

Professional Engineer Seal for Peter Geoffrey Shuts, State of California, License #8768, expires 10-31-11.

HELEN VU
3938 17TH STREET
SAN FRANCISCO, CA 94118

DRAWN
PGS

CHECKED
PGS

DATE _____

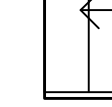
SCALE
1/4" = 1'-0"




JOB NO.
1023

SUBST

$$A = I.$$

2


$$|/4'' = |'-O'$$

$$|/4'' = |'-0$$

	EXIST'G WALL
	NEW 2x STUD WALL
	REMOVE (E) WALL

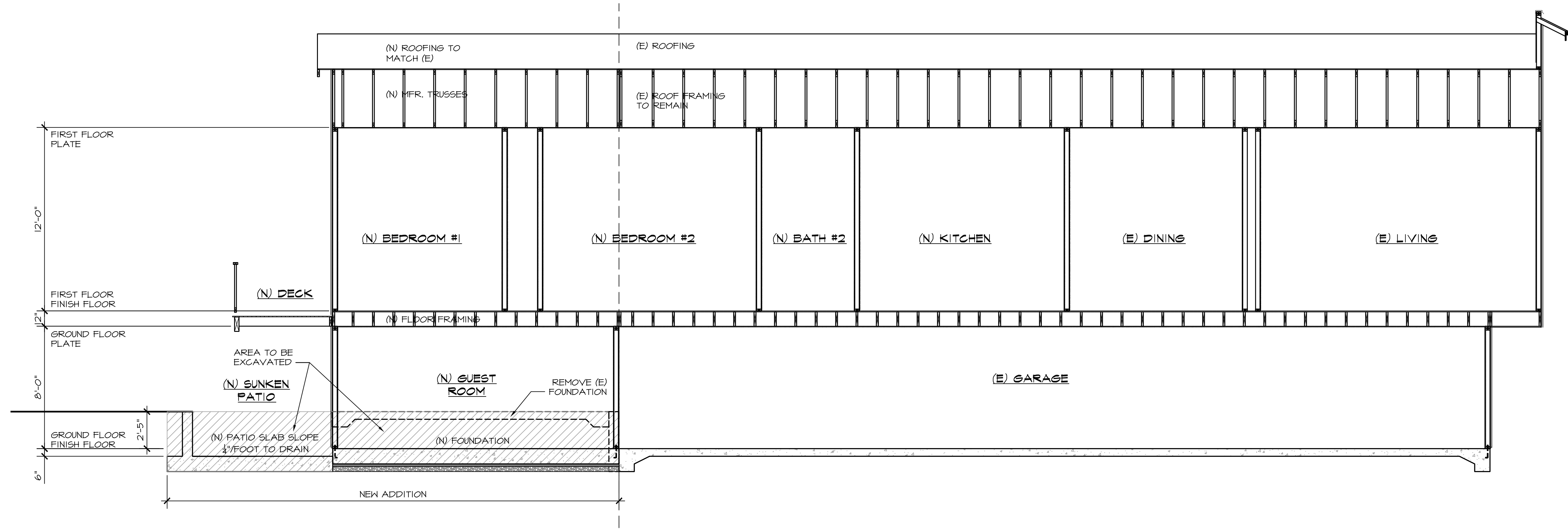
1. WALL FINISH IN THE TOWER AND THE TUB/SHOWER SHALL BE A SMOOTH, HARD, NONABSORBING SURFACE TO THE HEIGHT OF 10 INCHES ABOVE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE. IF GYPSUM BOARD IS USED FOR UNDERLAYMENT, PROVIDE A WATER RESISTANT GYPSUM BACKING BOARD. 2. ALL SHOWER COMPARTMENTS REGARDLESS OF SHAPE SHALL HAVE MINIMUM FINISH INTERIOR OF ONE THOUSAND TWENTY-FOUR SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. THIS MEASUREMENTS SHALL BE MAINTAINED TO A POINT 10" ABOVE THE SHOWER DRAIN.

7. CONTRACTOR TO VERIFY SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: SECTION 310.9.1.4
- A) IN EACH SLEEPING ROOM
 - B) CENTRALLY LOCATED IN A CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA.
 - C) ON EACH LEVEL AND IN A BASEMENT

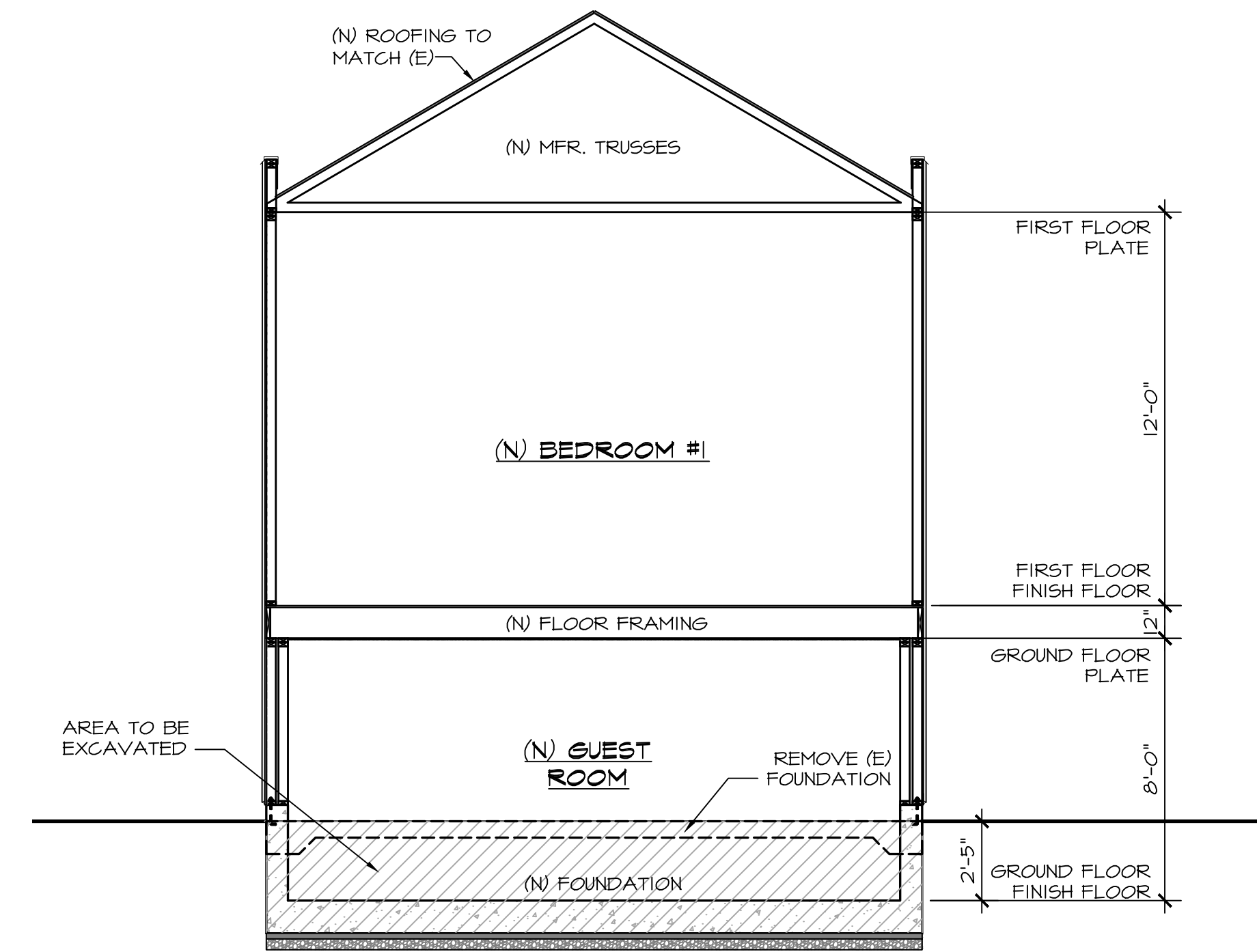
8. COMPLETELY SEAL GARAGE WALLS AND CEILINGS FROM ADJACENT INTERIOR WALLS. DOOR BETWEEN THE LIVING SPACE AND THE GARAGE TO BE 1-3/8" TIGHT FITTING OR 20 MINUTE RATED AND HAVE FULL WEATHERSTRIPPING AND SEALED THRESHOLDS.

9. PROVIDE 5/8" TYPE "X" GYP. BOARD FOR ONE HOUR CONSTRUCTION FIRE RESISTIVE PROTECTION AT GARAGE WALL, CEILING/FLOOR, (STRUCTURAL ELEMENTS SUPPORTING THE FLOOR/CEILING ASSEMBLY SEPARATING LIVING SPACE FROM GARAGE MUST ALSO BE PROTECTED). CBC 406.1.4.

10. ATTIC ACCESS OF 22 INCHES BY 30 INCHES MINIMUM CLEARANCE SHALL BE PROVIDED. MINIMUM HEAD ROOM CLEARANCE ABOVE ACCESS SHALL BE 30 INCHES.



A SECTION A
1/4"=1'-0"



B SECTION B
1/4"=1'-0"

REVISIONS	BY

Peter
G.
Shutts AIA

Architecture
Planning

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Pleasanton
California 94566
(925) 484-0903

LICENSED ARCHITECT
#8768
10-31-11
STATE OF CALIFORNIA

REMODEL AND ADDITION

HELEN YU
3938 17TH STREET
SAN FRANCISCO, CA 941xx

DRAWN
PGS

CHECKED
PGS

DATE
3-24-2011

SCALE
1/4"=1'-0"

JOB NO.
1023

SHEET

A-4.0

OF SHEETS



*Peter
G.
Shutts AIA*

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(925) 484-0903*



REMODEL AND ADDITION

HELEN YU

3938 17TH STREET
SAN FRANCISCO, CA 941xx

DRAWN AWE
CHECKED PES
DATE 3-24-2011
SCALE 1/4"=1'-0"
JOB NO. 1023
SHEET
A-2.0
OF SHEETS