## MEMO

## **Disclaimer for Review of Plans**

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377

# NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, May 25<sup>th</sup>, 2011

Time: **Beginning at 9:30 AM** 

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (Rear Yard)
Hearing Body: Zoning Administrator

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	3938 17 <sup>th</sup> Street	Case No.: Building Permit: Applicant/Agent: Telephone: E-Mail:	2011.0274V
Cross Street(s):	Between Market & Noe		2011.03.24.2778
Block /Lot No.:	3563/015B		Peter Shutts
Zoning District(s):	RH-3 / 40-X		(925) 484-0903
Area Plan:	None		pgshutts@sbcglobal.net

## PROJECT DESCRIPTION

The proposed work for the existing one-story over garage, single-family dwelling includes the demolition and reconstruction of the last 19 feet of the ground floor and the last 12 feet of the second floor and (2) the addition of a second floor rear stairway leading to grade.

The proposed work would not change the existing building footprint, but would include a new gable roof above the reconstructed first and second floors to match the existing gable roof.

**Section 134(a)(2) of the Planning Code** requires a minimum rear yard depth of 58 feet 6 inches, measured from the rear property line, for the subject lot. Although the demolition and reconstruction of the rear portion of the ground and second floors would not change the current building footprint, it would encroach 19 feet into the required rear yard to within 39 feet 6 inches of the rear property line.

**Section 188 of the Planning Code** prohibits enlargements reconstruction of a noncomplying structure. Since a portion of the subject building was legally constructed within the currently required rear yard, it is considered a legal noncomplying structure. The proposed work would result in the reconstruction and expansion of a noncomplying structure.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2011.0274V.pdf">http://sf-planning.org/ftp/files/notice/2011.0274V.pdf</a>

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Tom Wang Telephone: (415) 558-6334 E-Mail: thomas.wang@sfgov.org

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

## GENERAL INFORMATION ABOUT PROCEDURES

#### VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

### **BUILDING PERMIT APPLICATION INFORMATION**

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. The mailing of such notification will be performed separately.

### **BOARD OF APPEALS**

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

#### ABOUT THIS NOTICE

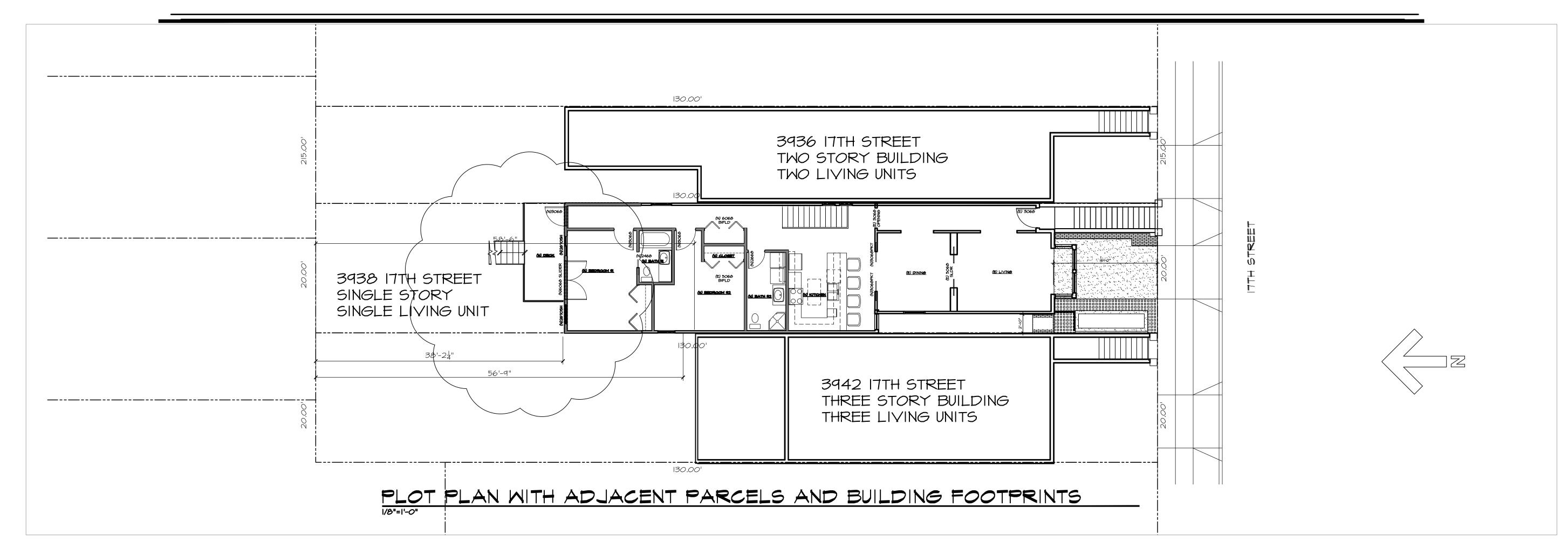
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <a href="http://upn.sfplanning.org">http://upn.sfplanning.org</a> for more information.

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# A CUSTOM REMODEL AND ADDITION HELEN T. VU



# GENERAL NOTES

- I. THESE DRAWINGS ARE THE COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN PERMISSION BY THE ARCHITECT.
- 2. THE CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY AND WORK ON THE AFFECTED AREA SHALL NOT PROCEED WITHOUT THE ARCHITECT'S AUTHORIZATION.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL SITE CONDITIONS AND THESE DRAWINGS PRIOR TO SUBMITTING A BID FOR THIS
- 4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2007 CALIFORNIA BUILDING CODE, 2001 CALIFORNIA MECHANICAL CODE, 2004 CALIFORNIA ELECTRIC CODE, 2001 CALIFORNIA PLUMBING CODE, AND ALL <u>CITY OF SAN FRANCISCO</u> REGULATIONS AND ORDINANCES AS THEY APPLY TO THIS PROJECT.
- 5. MATERIALS AND PRODUCTS SPECIFIED BY NAME OR MODEL NUMBER SHALL NOT BE SUBSTITUTED WITHOUT APPROVAL OF THE OWNER AND NOTIFICATION TO THE ARCHITECT.
- 6. ALL DEMOLITION SHALL BE DONE IN A SAFE, CONTROLLED MANNER. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A SAFE AND APPROVED MANNER.
- 7. ELECTRICAL INFORMATION SHOWN ON THESE DRAWINGS IS SCHEMATIC IN NATURE AND THE CONTRACTOR SHALL PERFORM THE WORK INDICATED AND IMPLIED TO PROVIDE COMPLETE AND WORKING SYSTEMS.
- 8. EXTERIOR WALL PENETRATIONS SHALL BE CAULKED AND SEALED PRIOR TO PAINTING.
- 9. ALL WORK SHALL BE PLUMB, TRUE AND LEVEL AS INDICATED ON THESE PLANS. ALL WORK SHALL MEET INDUSTRY STANDARDS AND NO ALLOWANCE WILL BE MADE FOR UNSKILLED, SLOPPY, OR IMPROPER WORK.
- IO. ALL LUMBER SHALL BE D.F. NO. 2 OR BETTER, AND ALL NAILING SHALL COMPLY WITH TABLE 23-II-B-I IN U.B.C. AND AS SHOWN ON THESE DRAWINGS.
- II. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING FOUNDATION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL DISCREPANCIES AND SHALL BE RESOLVE PRIOR TO PROCEEDING WITH CONSTRUCTION.

# DEMOLITION NOTES

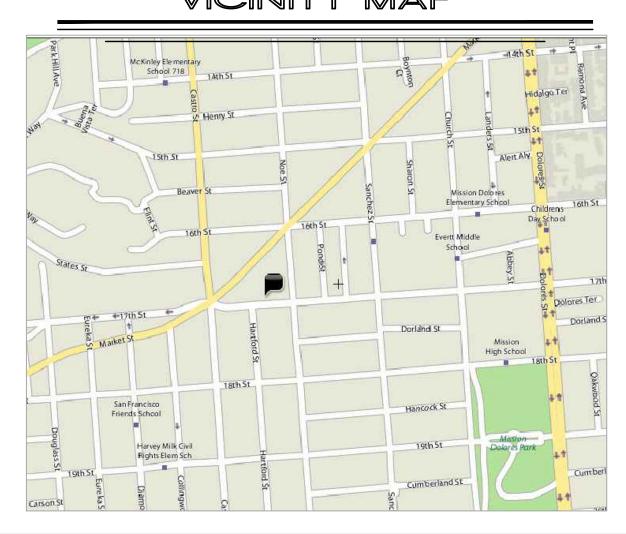
- I. THE EXTENT OF THE DEMOLITION TO BE PERFORMED IS LIMITED TO THE NON-STRUCTURAL COMPONENTS SHOWN HEREIN.
- 2. IT SHALL BE THE DEMOLITION CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. ANY QUESTIONS OR CONFLICTS REGARDING THE EXISTING CONDITIONS AND THE DRAWINGS SHOULD BE RESOLVED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 3. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS OR APPROVALS FOR TRASH REMOVAL AND DISPOSAL REQUIRED BY GOVERNMENTAL REGULATIONS.
- 4. PROTECT ALL MATERIALS, CONSTRUCTION, UTILITIES AND OTHER ITEMS AND APPURTENANCES NOT SCHEDULED FOR DEMOLITION WITHIN THE BUILDING FROM BEING DAMAGED DURING THIS PHASE OF THE WORK.
- 5. KEEP EXISTING UTILITIES IN OPERATION DURING THE DEMOLITION SHOWN HEREON. ADVISE THE OWNER OF ANY INTERRUPTION IN UTILITY SERVICE.
- 6. USE SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL OF AIR POLLUTION FOR THE CONDITION OF THE WORK. COMPLY WITH ALL RELATED GOVERNMENTAL REGULATIONS.
- 7. KEEP DEMOLITION AREA BROOM CLEAN. CLEAN ADJACENT AREAS OF ALL DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS.
- 8. DEMOLISH AND/OR REMOVE ALL ITEMS SHOWN DASHED IN THE DEMOLITION PLAN AND WALL LEGEND.

# SHEET INDEX

A-O GENERAL NOTES, BUILDING DATA
A-I.O SITE PLAN & EXISTING & DEMO PLAN
A-I.I FLOOR PLANS

A-2.0 BUILDING ELEVATIONS A-4.0 BUILDING SECTIONS

# VICINITY MAP



# CODES

## 2010 San Francisco Code Amendments

- 2010 San Francisco Building Code Amendments (Includes Green Building Requirements. See Chapter 13C)
- o 2010 San Francisco Electrical Code Amendments o 2010 San Francisco Mechanical Code Amendments
- 2010 San Francisco Plumbing Code Amendments
- 2010 San Francisco Housing Code Amendments

## 2010 California Codes

- o 2010 California Building Code
- o 2010 California Energy Code
- o 2010 California Plumbing Code o 2010 California Mechanical Code

## BULDING DATA

# LOT AREA

(E) GROSS LOT AREA: 2,617 S.F.

# ZONING DATA

ZONING: RH-3, ZONED FOR 3 LIVING UNITS CONSTRUCTTION: Y-B NON SPRINKLERED

OCCUPANCY: R-3/U-I SETBACKS:

BACK: 45% OF LOT DEPTH=58'-6". EXISTING NON-CONFORMING SETBACK 38' SIDE: NONE FRONT SETBACK: 16'

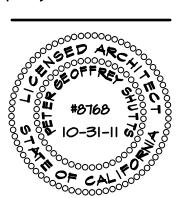
MAX BUILDING HEIGHT: 40' FROM AVG. GRADE

PLANNIING COMMEN S
4-5-20II

Peter G. Shutts AIA

Architecture Planning

4133 Mohr Avenue Pleasanton California 94566 (925) 484-0903



NOIT

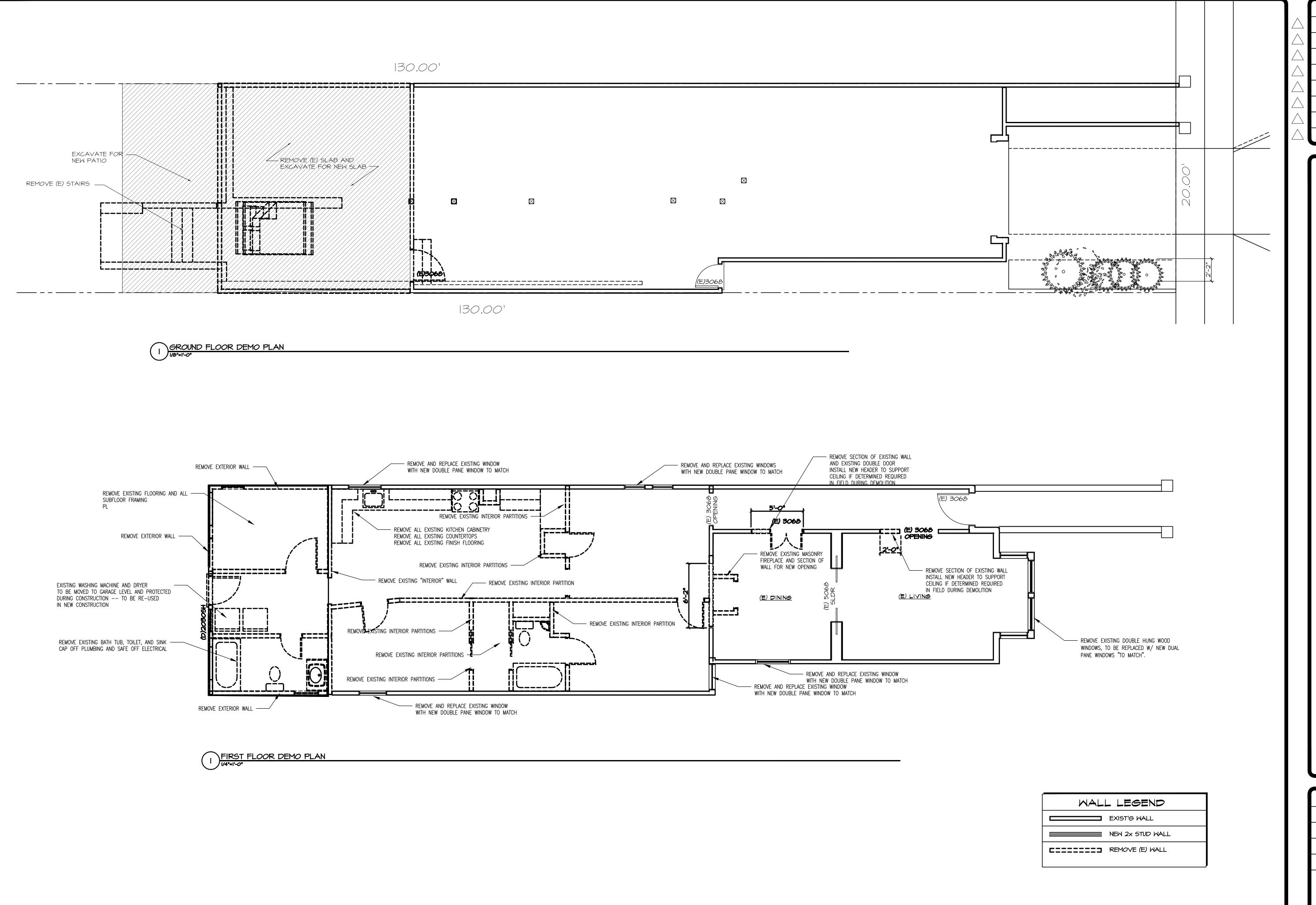
TOM REMODEL AND ADI

DRAWN
PGS
CHECKED
PGS
DATE

SCALE
|/4"=|"-0"

JOB NO.
|023
SHEET

HELEN 3938 IT SAN FRA



REVISIONS

Shutts AIA

Architecture Planning

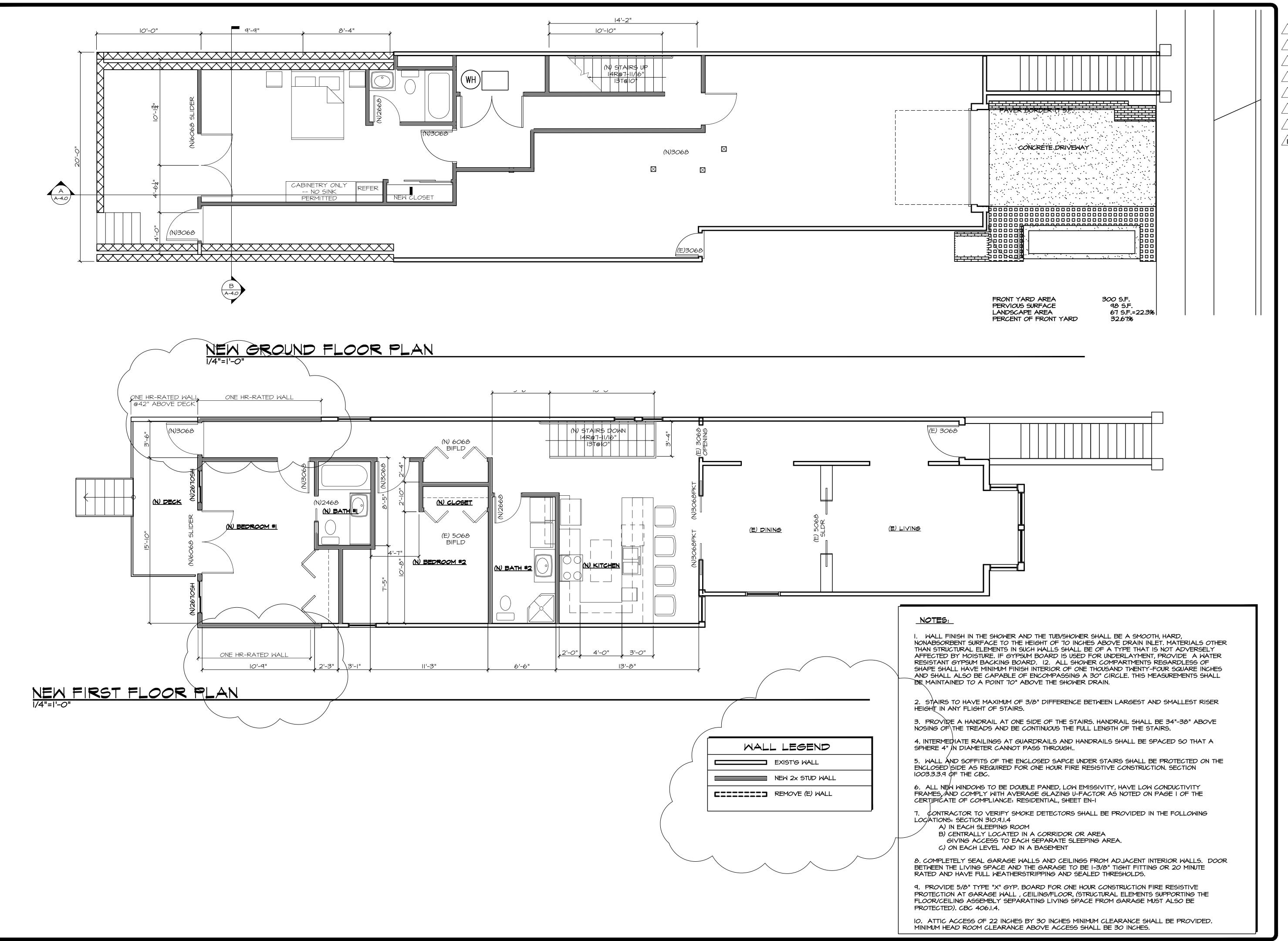
4133 Mohr Avenue PleasantonCalifornia 94566 (925) 484-0903



ADDITION

CUSTOM REMODEL
HELEN VU
3938 ITTH STREET
SAN FRANCISCO, CA 941xx

DRAWN
P65
<del>GECKED</del> P <i>G</i> S
DATE
SCALE  /4"= '-0"
JOB NO. 1023
SHEET
A-1.0



Planning comments 4-5-2011 pgs

Peter
G.
Shutts AIA

Architecture Planning

4133 Mohr Avenue Pleasanton California 94566 (925) 484-0903

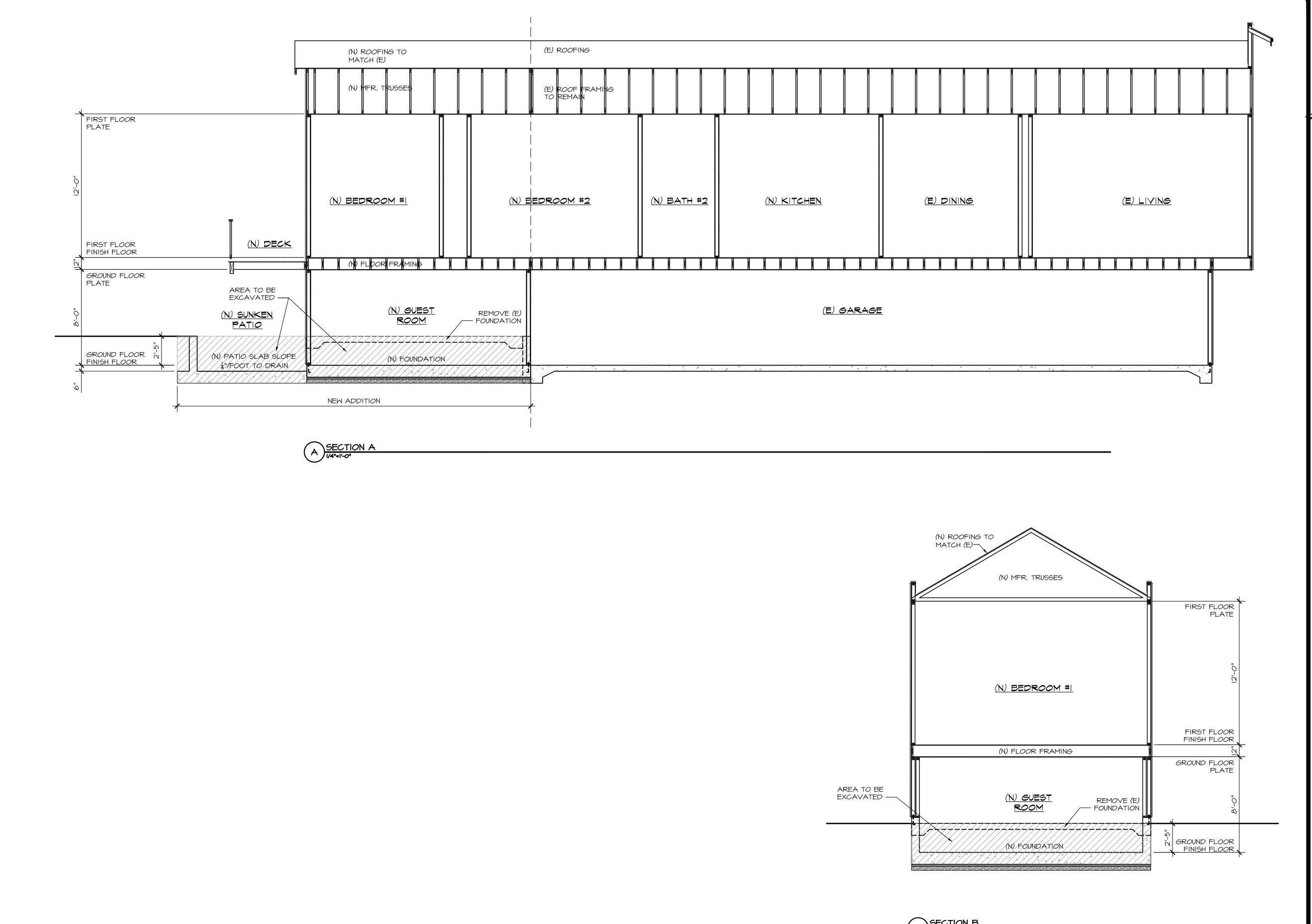


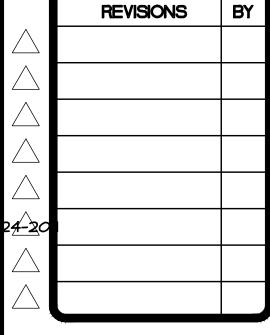
REMODEL AND ADDITION

DRAWN
PGS
CHECKED
PGS
DATE

|/4"=|-0"
JOB NO.
|023
SHEET

|A = |

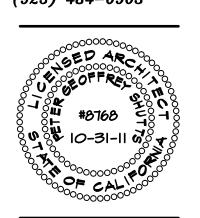




Peter G. Shutts AIA

Architecture Planning

4133 Mohr Avenue Pleasanton California 94566 (925) 484-0903



DEL AND ADDITION

DRAWN PGS
<del>аежер</del> Р <i>6</i> 5
3-24-2011
<b>SCALE</b>  /4"= '-0"
JOB NO. 1023
SHEET
A-4.0

