



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2011**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>97 Miguel Street</b>	Case No.:	<b>2011.0236V</b>
Cross Street(s):	<b>Bosworth Street</b>	Building Permit:	<b>2010.09.14.0835</b>
Block /Lot No.:	<b>6665/024B</b>	Applicant/Agent:	<b>Beth Ross</b>
Zoning District(s):	<b>RH-1/ 40-X</b>	Telephone:	<b>(415) 641-4243</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>bross@leonardcarder.com</b>
PROJECT DESCRIPTION			
<p>The subject property at 97 Miguel Street (aka 192-196 Laidley Street) is a through lot that contains a four-family dwelling fronting Laidley Street, and a two-car garage structure that fronts Miguel Street. For Planning Code purposes, the property line adjacent to Miguel Street is considered the rear property line. The project is to rehabilitate and expand the two-car garage structure.</p> <p><b>PER SECTION 134 OF THE PLANNING CODE</b> the subject property is required to maintain a rear yard of approximately 36.5 feet. The existing garage structure is located entirely within the required rear yard; therefore the project requires a variance from the rear yard requirement of the Planning Code.</p> <p><b>PER SECTION 188 OF THE PLANNING CODE</b> a non-complying structure to be altered, providing that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. The rear garage structure constitutes a non-complying structure from the rear yard requirement with no existing rear yard setback, where approximately 36.5 feet is required.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b> Planner: <b>Adrian C. Putra</b> Telephone: <b>(415) 575-9079</b> E-Mail: <b>adrian.putra@sfgov.org</b></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2011.0236V.pdf">http://sf-planning.org/ftp/files/notice/2011.0236V.pdf</a></p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 4/21/11, the Department issued the required Section 311/312 notification for this project, which expires on 5/21/11.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.





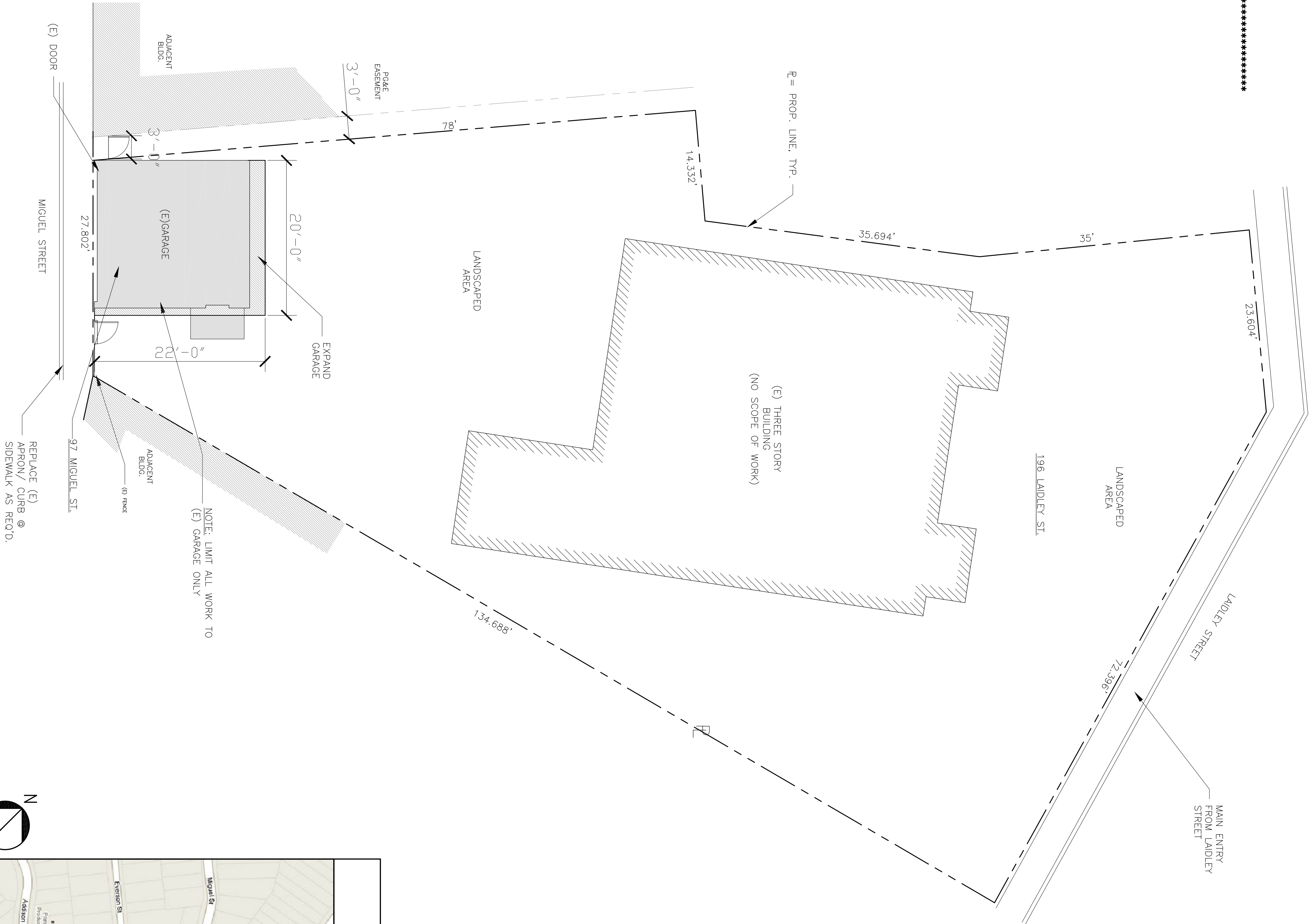


\*\*\*\*\*  
THESE DRAWINGS ARE TO CORRECT VIOLATIONS IN RESPONSE TO THE  
CITY AND COUNTY OF SAN FRANCISCO COMPLAINTS:

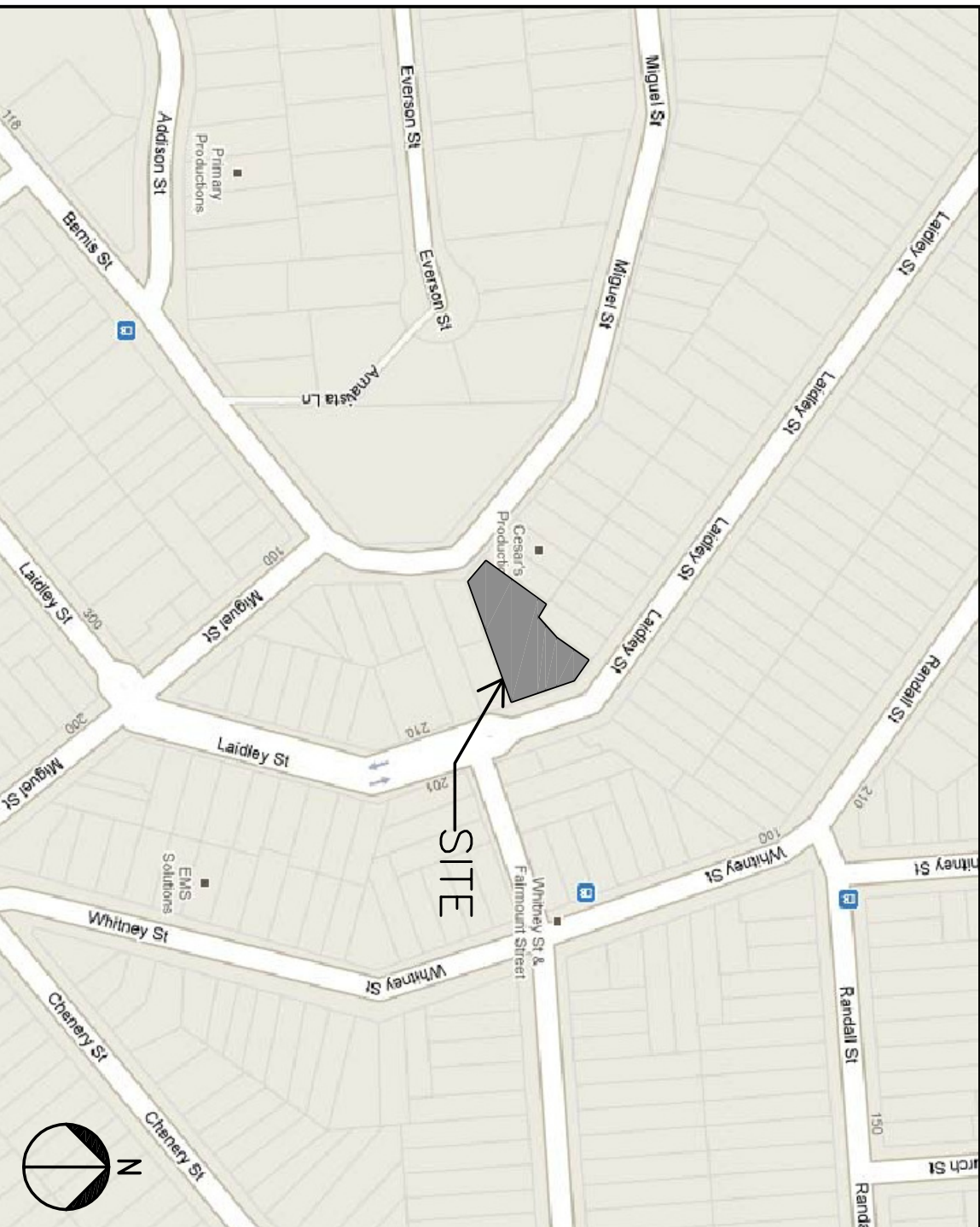
1. #200798060 DATED 04/05/2007 FOR: RENOVATING & GARAGE  
DOOR IS CRUMBING-2ND COMPLAINT BY SAME COMPLAINANT; ..."  
2. #201041485 DATED 4/13/2010 FOR GARAGE ROOF CAVING IN -  
UNSAFE STRUCTURE."

\*\*\*\*\*

1 SITE PLAN  
1/8" = 1'-0"



#### VICINITY MAP



Work at:  
**97 Miguel St.**  
Garage Rehabilitation  
San Francisco, CA  
94110  
Block 6665 Lot 24B

RICHARD RONALD BERTOLINA  
ARCHITECT C6563  
150 HARBOR DR. B-1706  
SAUSALITO, CA. 94965  
P(415)332-0909

FOR:

CONTRACTOR  
SOLSTICE CONSTRUCTION  
440 32nd AVE.  
SAN FRANCISCO, CA. 94121  
LICENSE No. 71390  
P(415)310-9303

FOR:

OWNER  
LAURA TRUPIN AND  
BETH BROSS  
97 MIGUEL STREET  
SAN FRANCISCO, CA. 94110

This is to be used in conjunction with the drawings and shall not be used for any other purpose. The use of this drawing for any other purpose without the written consent of the architect is prohibited.

DATE	DESCRIPTION
09.13.10	PERMIT APPLICATION
01.07.11	PLANNING COMMENTS
03.10.11	VARIANCE REQUEST

ENLARGED  
SITE PLAN

A0.1a



THESE DRAWINGS ARE TO CORRECT VIOLATIONS IN RESPONSE TO THE CITY AND COUNTY OF SAN FRANCISCO COMPLAINTS:

1. **#200798060 DATED 04/05/2007 FOR: RENOVATING & GARAGE DOOR IS CRUMBING** 2ND COMPLAINT BY SAME COMPLAINANT: ..."
2. **#201041485 DATED 4/13/2010 FOR: GARAGE ROOF CAVING IN - UNSAFE STRUCTURE."**

## SHEET NOTES

1. ALL DIMENSIONS TO BE FIELD VERIFIED. ALL WORK TO CONFORM TO: 2007 CBC, 2007 CPC, 2007 CMC, 2007 CEC AND RESIDENTIAL LIGHT FRAME CONSTRUCTION STANDARDS UNLESS OTHERWISE REQUIRED BY CONTROLLING AUTHORITY.
2. SEE SHEET A0.1 FOR GENERAL APPLICABLE NOTES.

## STRUCTURAL NOTES

1. ALL STRUCTURAL PLYWOOD SHALL BE GRADE CD EXTERIOR OR CD INTERIOR WITH EXTERIOR GLUE. TYP. FOR OPEN RAKES AND SOFFITS USE 2X ALL PLYWOOD SHALL CONFORM TO CBC TABLES 2304.7(1) TO 2304.7(5) AND TO U.S. PRODUCT STANDARD PST, LATEST EDITIONS, AND SHALL BE IDENTIFIED WITH THE GRADE TRADEMARK OF THE AMERICAN PLYWOOD INSTITUTE.
3. ALL STRUCTURAL PLYWOOD NOTED ON THE DRAWINGS SHALL CONFORM TO THE FOLLOWING:

USE	THICKNESS	SEAN RATING
ROOF SHEATHING	5/8"	32/16
FLOOR SHEATHING	3/4" TAG	48/24
WALL SHEATHING	1/2"	24/0

4. UNLESS OTHERWISE NOTED PLYWOOD NAILS SHALL BE COMMON, APPROVED FASTENERS TO BE SUBSTITUTED SHALL BE EQUIVALENT IN LATERAL AND WITHDRAWAL STRENGTH TO THE SIZE COMMON NAIL SPECIFIED. COMMON WIRE NAIL DIMENSIONS ARE AS FOLLOWS:

SIZE	LENGTH	MINIMUM PENETRATION	WIRE DIAMETER	HEAD DIAMETER
6d	2"	1 1/2"	.113	.239
8d	2 1/2"	1 1/2"	.131	.253
10d	3"	1 3/4"	.148	.281
12d	3 1/2"	1 3/4"	.148	.281
16d	4"	1 3/4"	.162	.310
20d		2 1/2"	.192	.365

5. ROOF SHEATHING: PLYWOOD FOR ROOF SHEATHING SHALL BE LAID WITH THE GRAIN OF THE OUTER PLYS PERPENDICULAR TO THE FRAMING MEMBERS. EDGE BLOCKING OF UNSUPPORTED EDGES OF PLYWOOD SHEATHING MAY BE OMITTED EXCEPT WHERE SHOWN ON THE DRAWINGS. PLYCLIPS OR APPROVED EQUAL CONNECTORS SHALL BE INSTALLED AT MIDSPAN BETWEEN EACH SUPPORT WHEN RAFTER SPACING EXCEEDS 16". TYPICAL NAILING SHALL BE 10d AT 6" O.C. AT ALL SUPPORTED EDGES WHERE EDGE NAILING IS NOT NOTED, AND 10d AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS.

6. FLOOR SHEATHING: PLYWOOD FLOOR SHEATHING SHALL BE LAID WITH THE GRAIN OF THE OUTER PLYS PERPENDICULAR TO THE FRAMING MEMBERS. EDGE BLOCKING OF UNSUPPORTED EDGES OF PLYWOOD SHEATHING MAY BE OMITTED EXCEPT WHERE SHOWN ON THE DRAWINGS. TYPICAL NAILING SHALL BE 10d AT 6" O.C. ALL EDGES, AND 10d AT 16" O.C. ALL INTERMEDIATE SUPPORTS, UNLESS OTHERWISE NOTED.

7. WALL SHEATHING: WALL SHEATHING MAY BE APPLIED HORIZONTALLY OR VERTICALLY. WALLS TO BE SHEATHED WITH PLYWOOD ARE DESIGNATED ON PLANS. BLOCK ALL UNSUPPORTED EDGES OF PLYWOOD SHEATHING. TYPICAL NAILING SHALL BE 10d AT 4" O.C. ALL EDGES, AND 10d AT 6" O.C. ALL INTERMEDIATE SUPPORTS, UNLESS OTHERWISE NOTED.

Work at:  
**97 Miguel St.**  
Garage Rehabilitation  
San Francisco, CA  
94110  
Block 0665 Lot 24B

RICHARD RONALD BERTOLINA  
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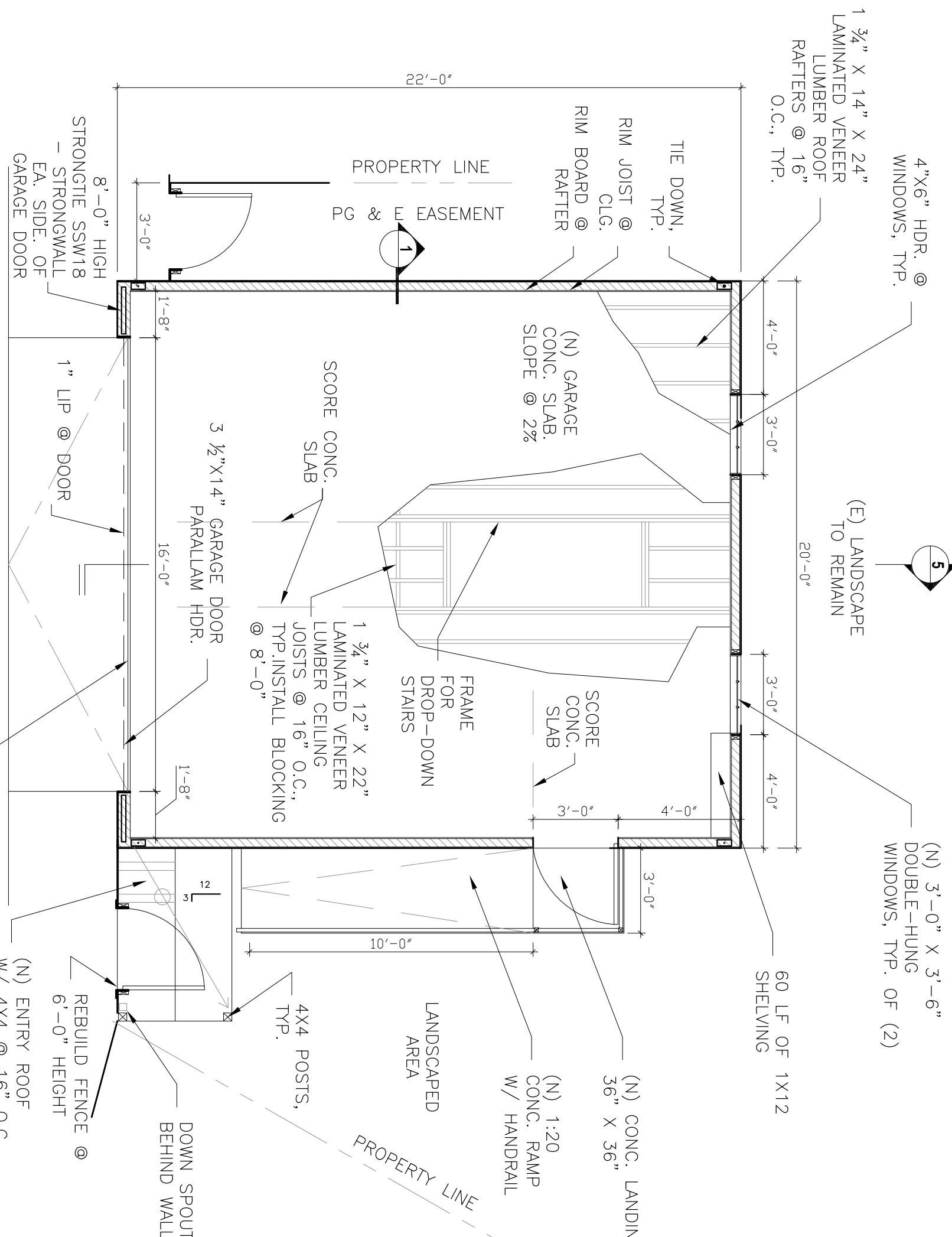
This seal is the property of  
the Architect. The use of the  
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without the written consent  
of the Architect is prohibited.

This seal is the property of  
the Engineer. The use of the  
seal for any other project  
without the written consent  
of the Engineer is prohibited.

DATE	DESCRIPTION
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01.07.11	PLANNING COMMENTS
03.10.11	VARIANCE REQUEST

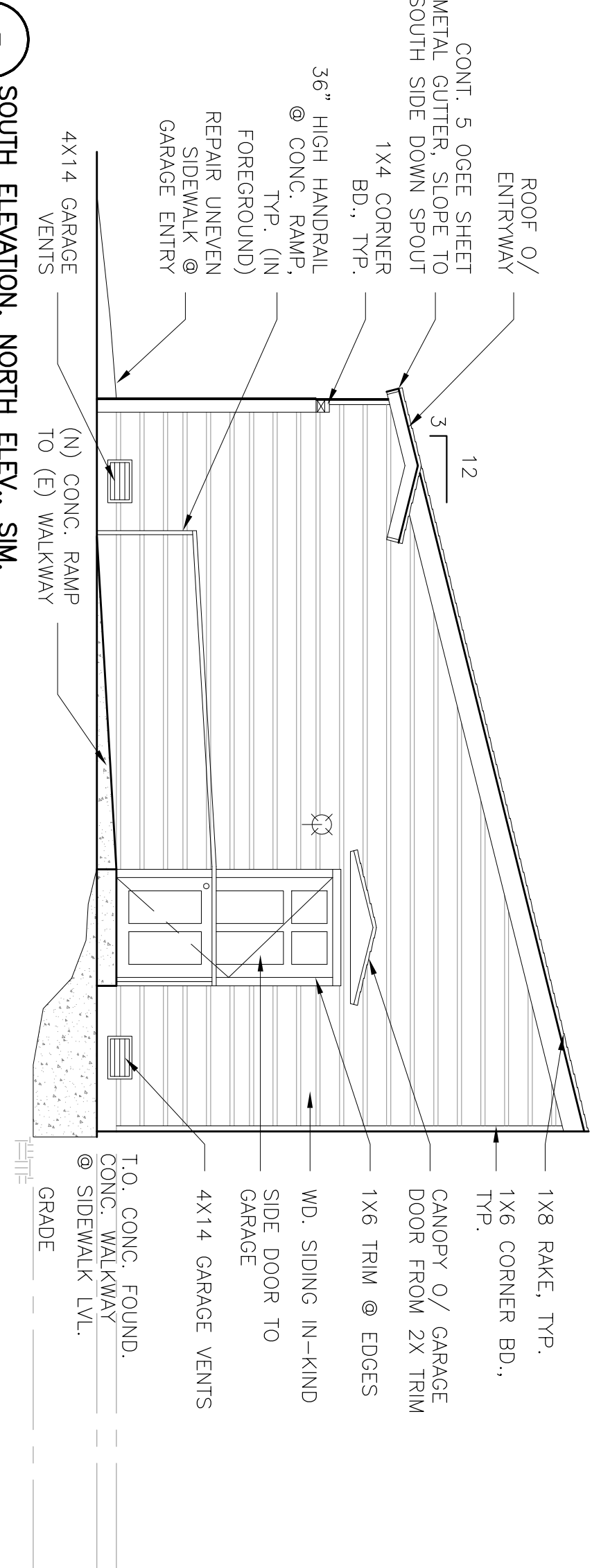
REVISED  
PLAN,  
ELEVATIONS,  
SECTION AND  
DETAILS.

# A1.1

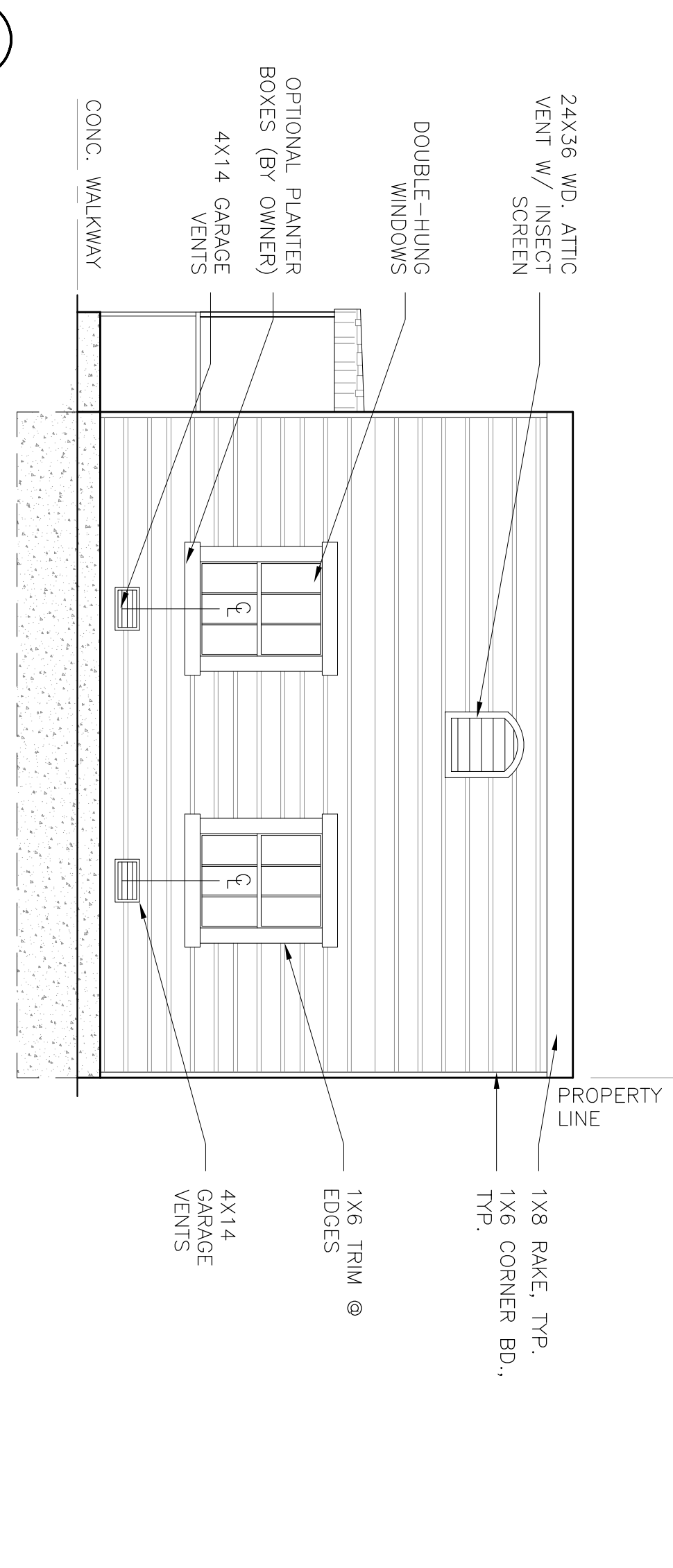


4 FLOOR AND PARTIAL CEILING/ROOF FRAMING PLAN  
1/4" = 1'-0"

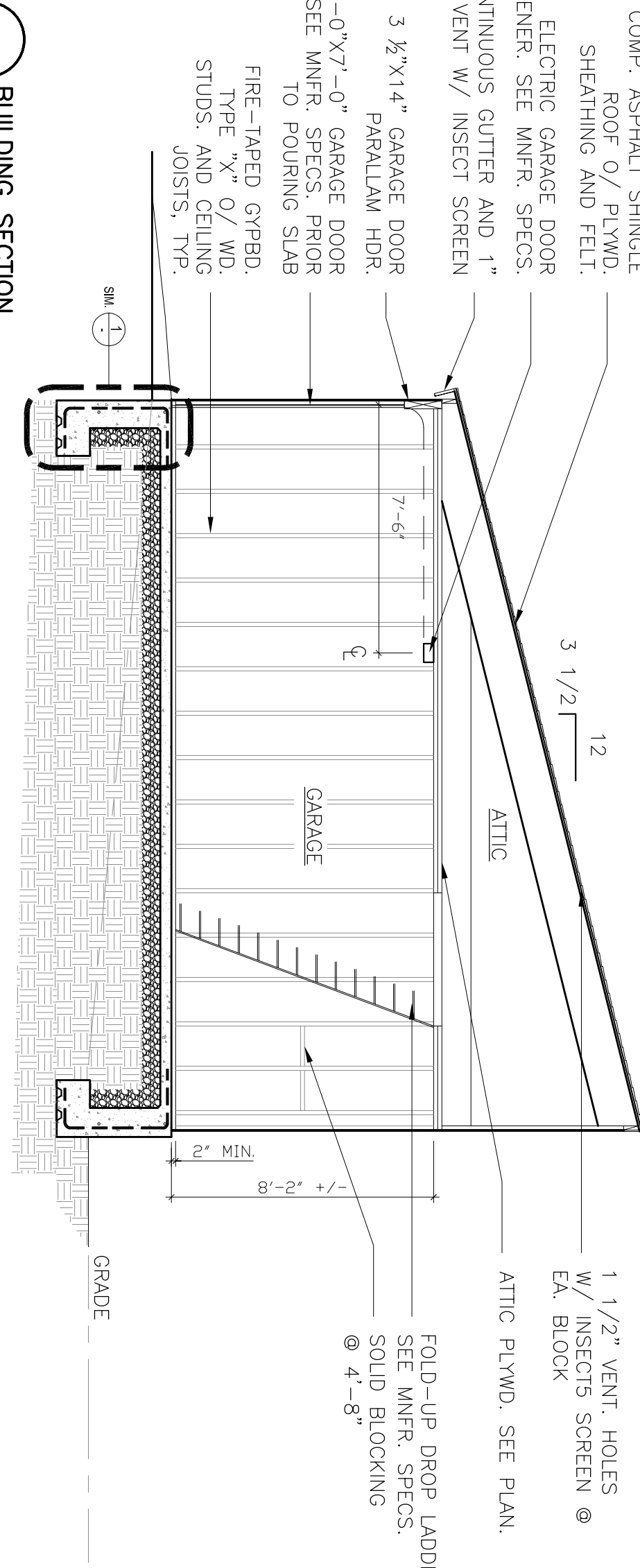
8 WEST (STREET) ELEVATION  
1/4" = 1'-0"



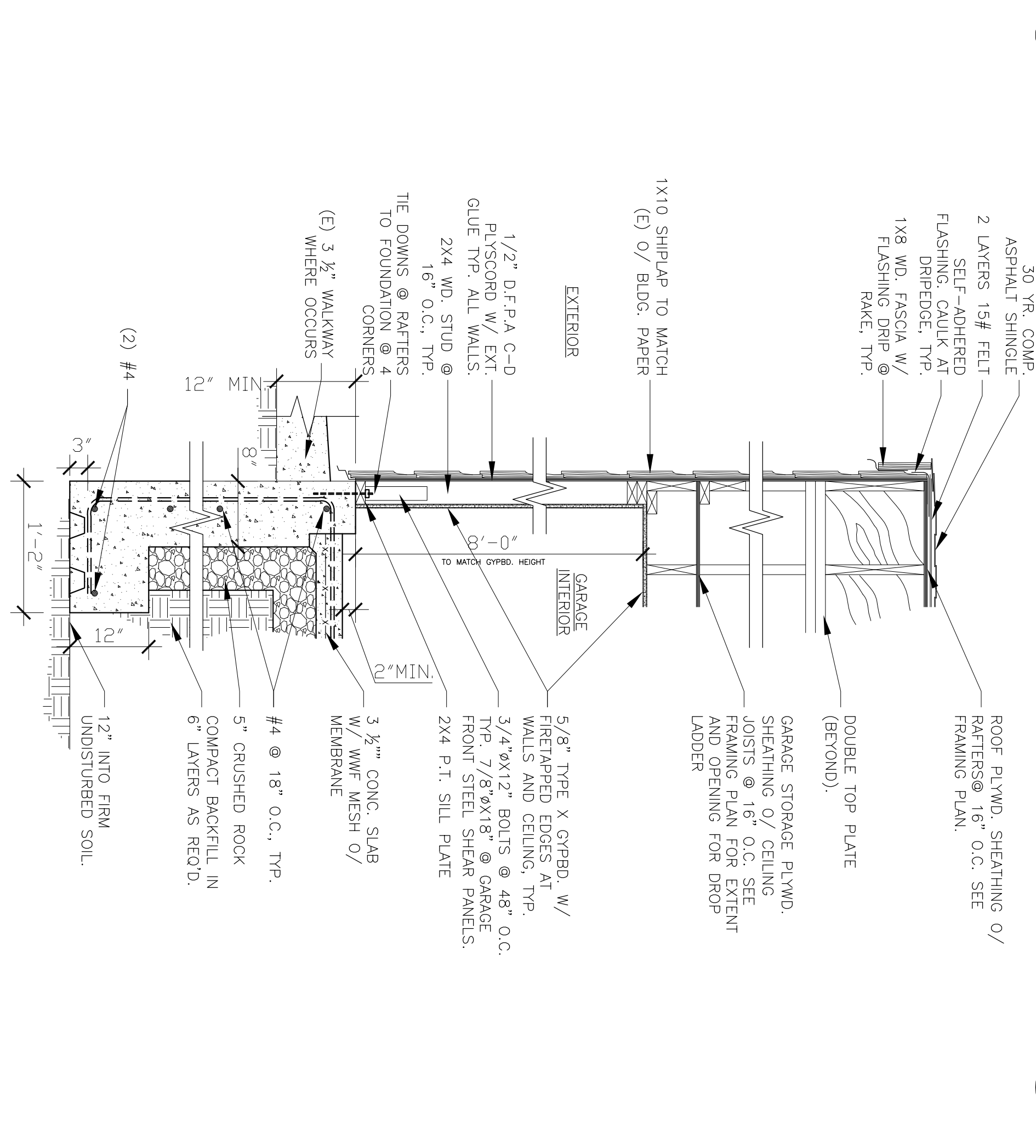
7 SOUTH ELEVATION, NORTH ELEV., SIM.  
1/4" = 1'-0"



6 EAST ELEVATION  
1/4" = 1'-0"



5 BUILDING SECTION  
1/4" = 1'-0"



1 TYPICAL GARAGE WALL SECTION @ RAKE (FRONT AND BACK WALL, SIM.)  
3/4" = 1'-0"