



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard & Non-complying Structure)**
Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | | APPLICATION INFORMATION | |
|---|---------------------------------|-------------------------|-----------------------------|
| Project Address: | 845 Marina Blvd. | Case No.: | 2011.0225V |
| Cross Street(s): | Lyon & Baker Streets | Building Permit: | 2011.03.08.1613 |
| Block /Lot No.: | 0909/009 | Applicant/Agent: | Gary Bell |
| Zoning District(s): | RH-1 / 40-x | Telephone: | (415) 902-5400 |
| | | E-Mail: | bellgary@pacbell.net |
| PROJECT DESCRIPTION | | | |
| <p>The proposal is to construct a three-story horizontal addition approximately 12 feet deep by 13 feet wide at the rear southeast corner of the single-family dwelling. The proposal would infill the property's entire rear yard.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard depth of approximately 15 feet. The existing building was constructed within the required rear yard area except for the approximately 12 foot by 13 foot open space. Thus, the proposed rear addition would encroach entirely into the required rear yard.</p> <p>PER SECTION 188 OF THE PLANNING CODE a non-complying structure may be altered provided no new discrepancy is created. The rear portion of the existing building is a non-complying structure as it was originally constructed within the required rear yard area. The proposed horizontal addition would enlarge the non-complying structure, and thus would be contrary to Section 188.</p> | | | |
| ADDITIONAL INFORMATION | | | |
| <p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Christine Lamorena Telephone: (415) 575-9085 E-Mail: christine.lamorena@sfgov.org</p> | | | |
| <p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0225V.pdf</p> | | | |

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

WALL TYPES

- (E) WALL TO BE REMAIN
- (E) WALL TO BE REMOVED

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PHOTO 1



PHOTO 2



PHOTO 3



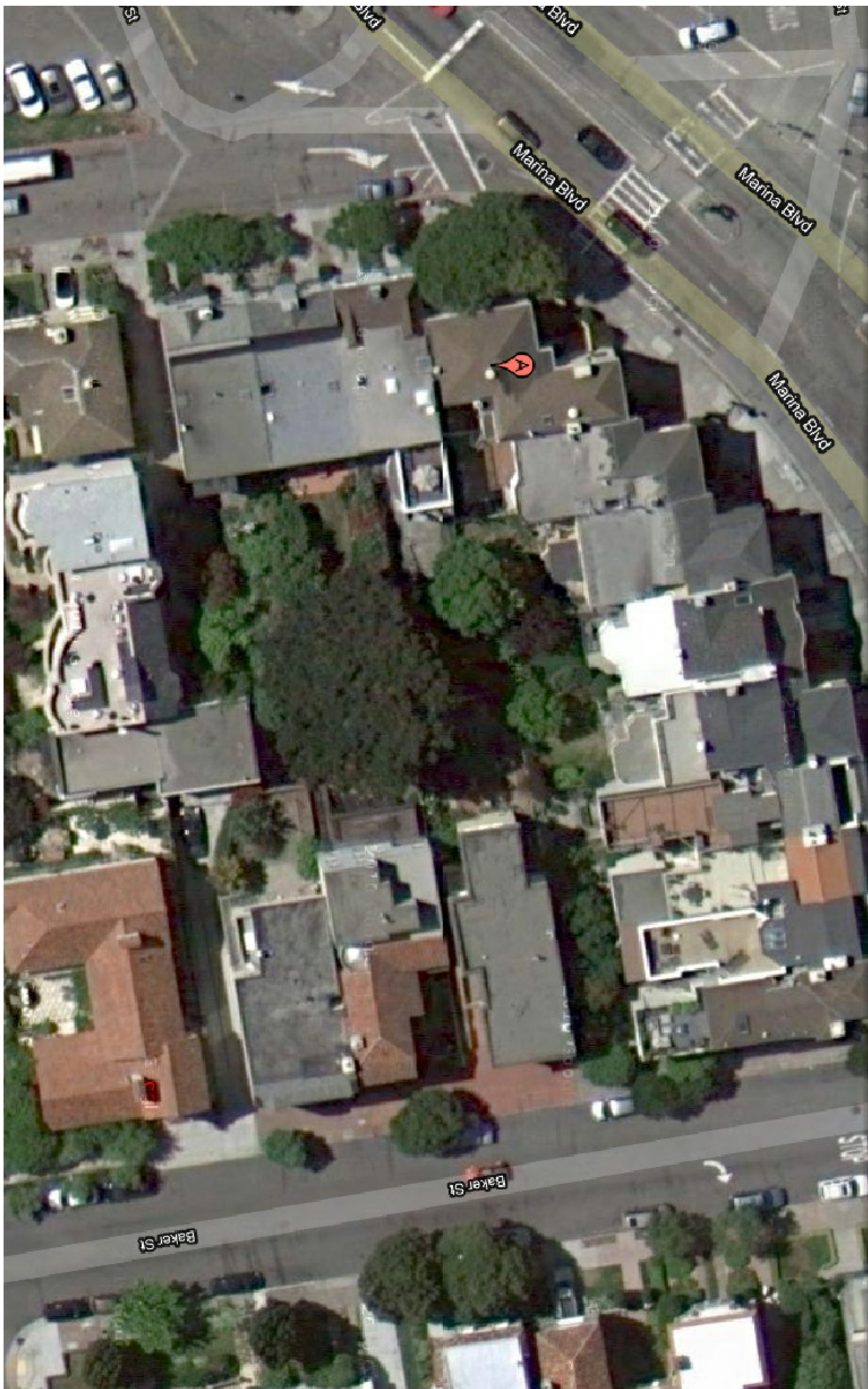
PHOTO 6



PHOTO 4



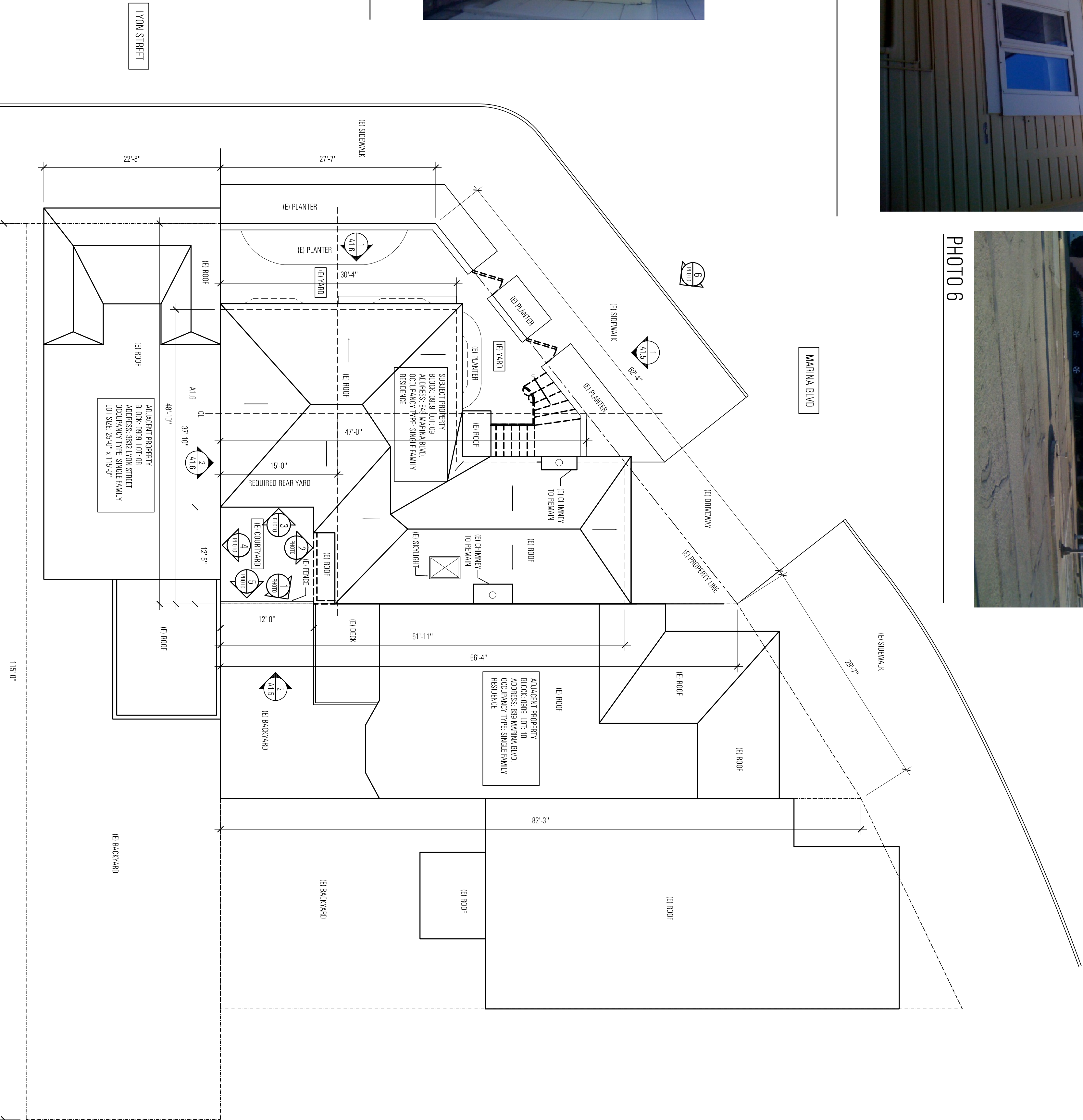
PHOTO 5



MID-BLOCK OPEN SPACE

N/S

2
A1.0



845 MARINA BLVD

845 Marina Blvd., SF, CA 94123

EXISTING/DEMO SITE PLAN

| | |
|-------|----------|
| DATE | 04.15.11 |
| SCALE | AS NOTED |
| DRAWN | AK |

A1.0




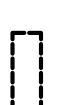
NORTH

1
A1.0

EXISTING/DEMO SITE PLAN

1/8" = 1'-0"

WALL TYPES

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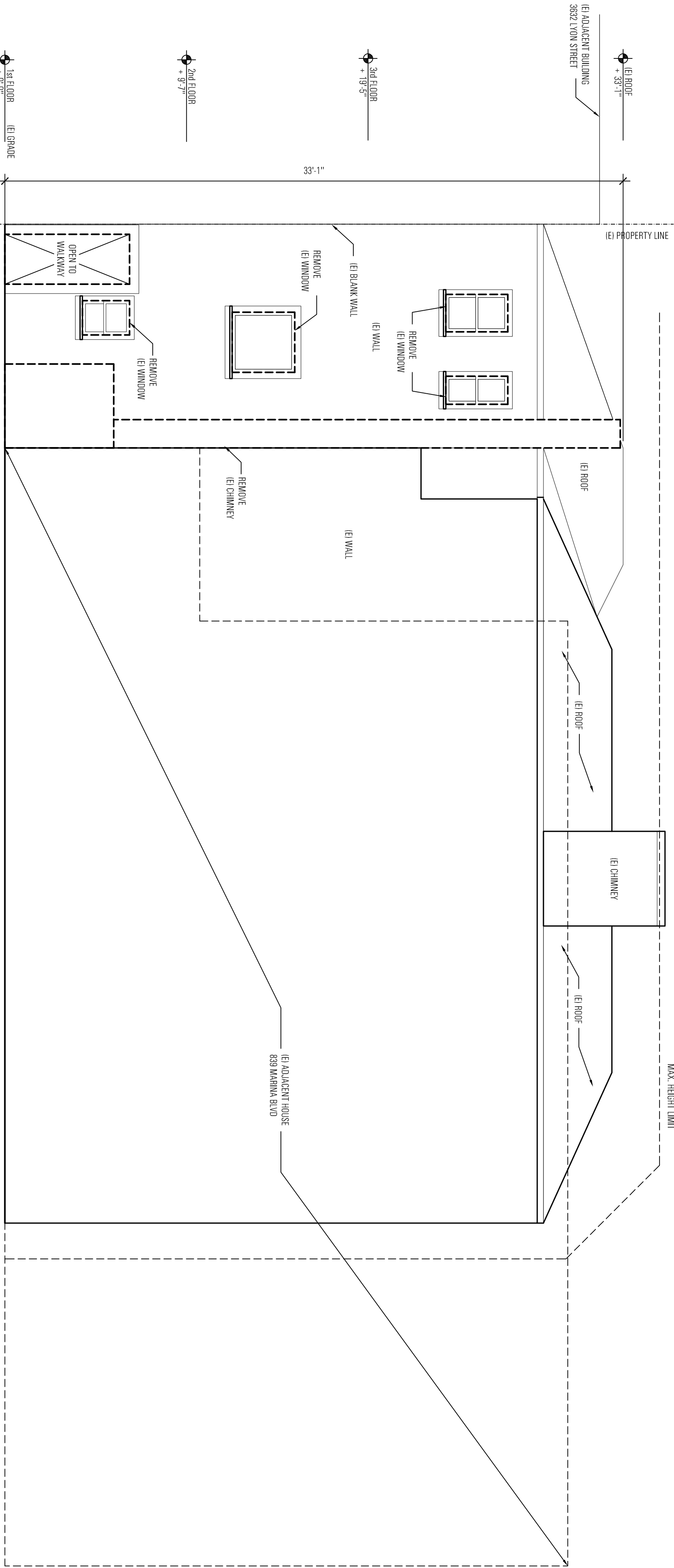
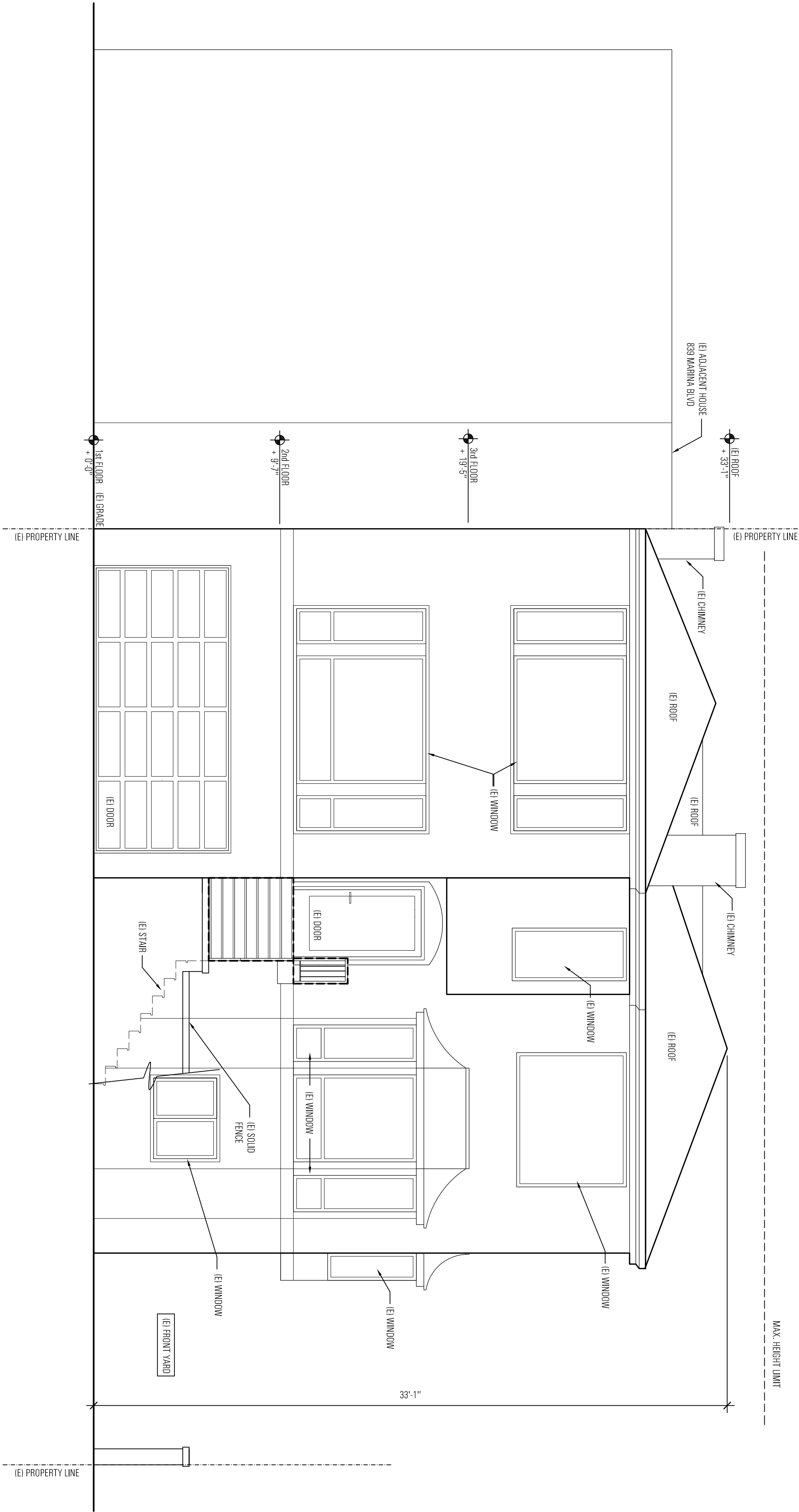
EXISTING/DEMOL ELEVATIONS

845 MARINA BLVD

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DATE 04.15.11
SCALE AS NOTED
DRAWN RK

A1.5



WALL TYPES

- ☐ (E) WALL TO BE REMAIN
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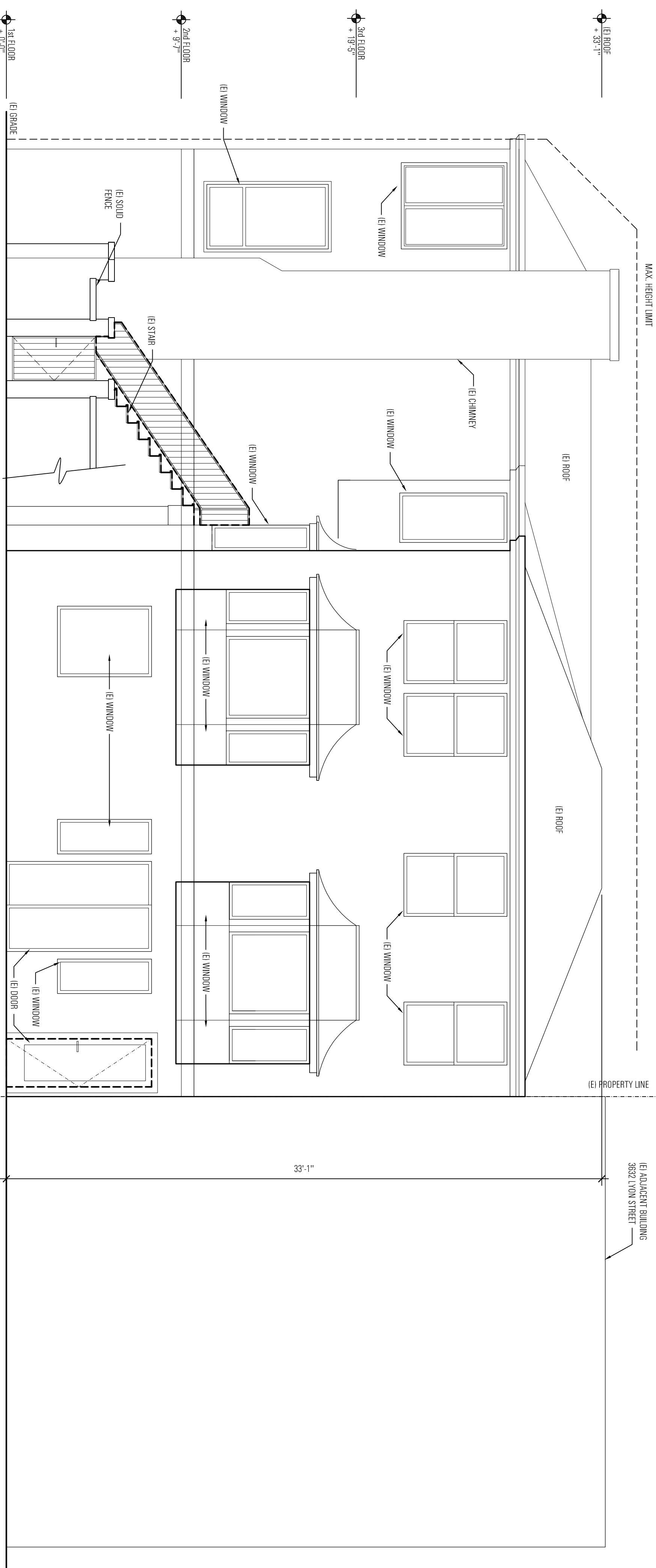
EXISTING/DEMO ELEVATIONS

A1.6

| | |
|-------|----------|
| DATE | 04.15.11 |
| SCALE | AS NOTED |
| DRAWN | ak |

Journal of Management Inquiry 18(6)

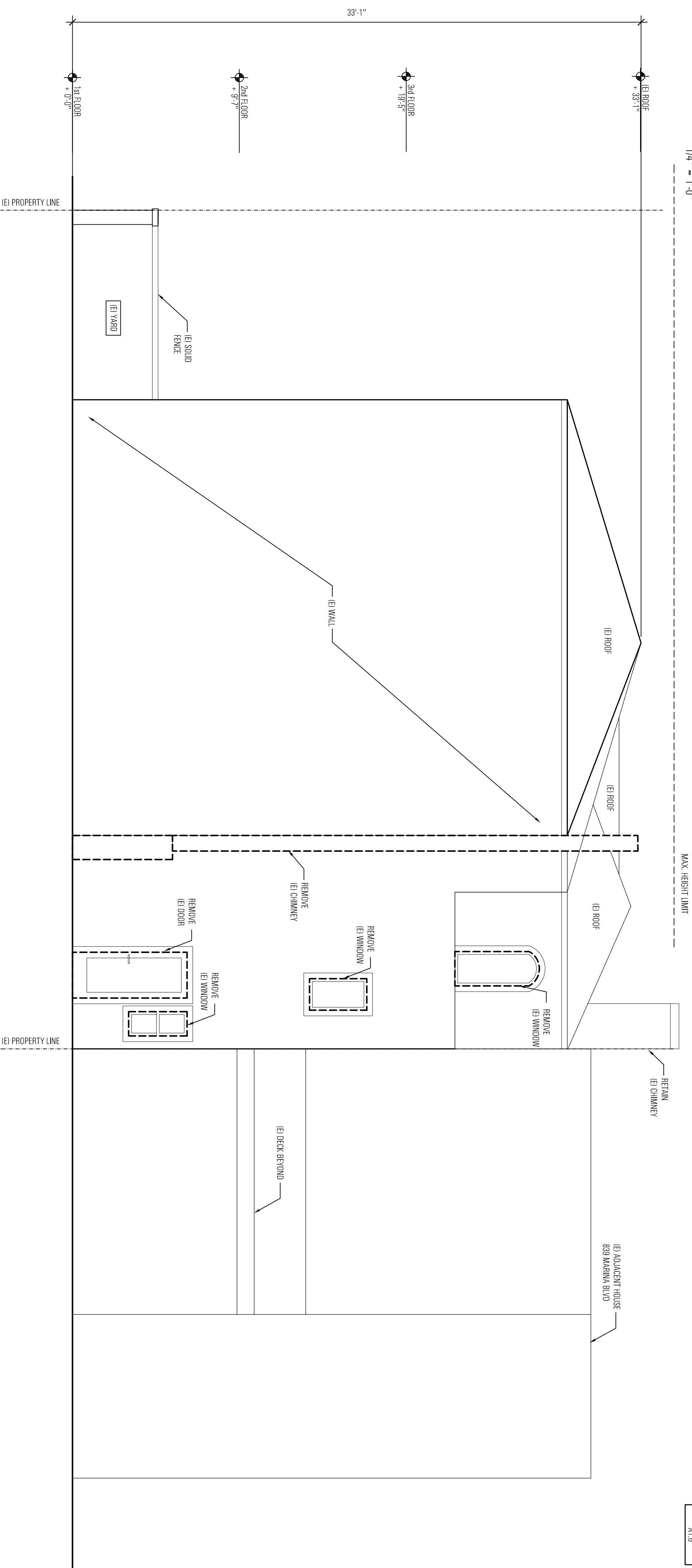
1027



EXISTING WEST ELEVATION

1/4" = 1'-0"

A1.6



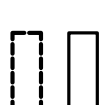
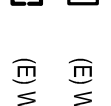
EXISTING REAR ELEVATION

1/4" = 1'-0"

2

A1.6

WALL TYPES

-  (E) WALL TO BE REMAIN
-  (E) WALL TO BE REMOVED

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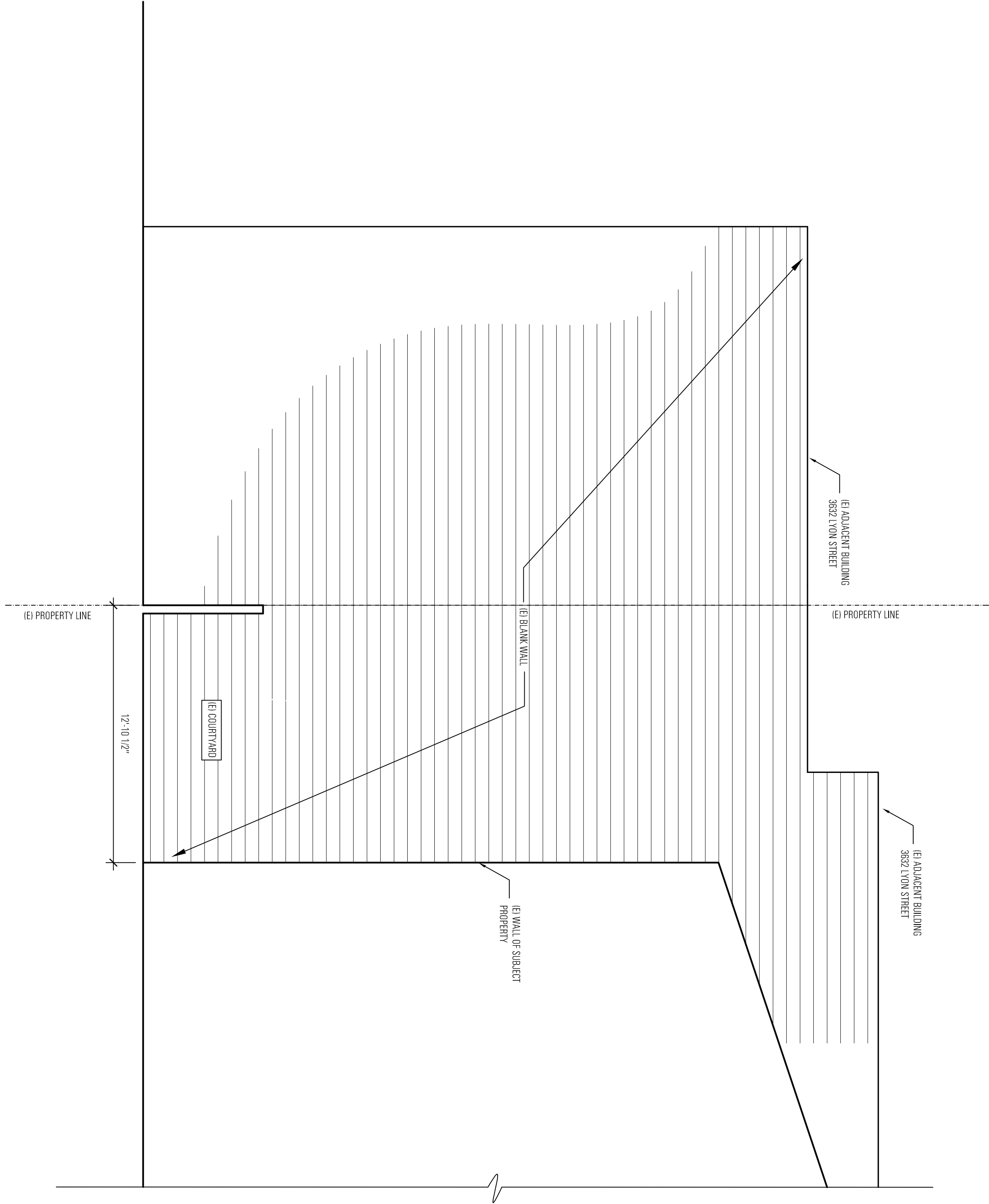
845 MARINA BLVD

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EXISTING SOUTH ELEVATION
LOOKING AT ADJACENT
PROPERTY

DATE 04.15.11
SCALE AS NOTED
DRAWN RK

A1.7



EXISTING SOUTH ELEVATION LOOKING AT ADJACENT PROPERTY AT 3632 LYON STREET

1
A1.7

845 MARINA BLVD

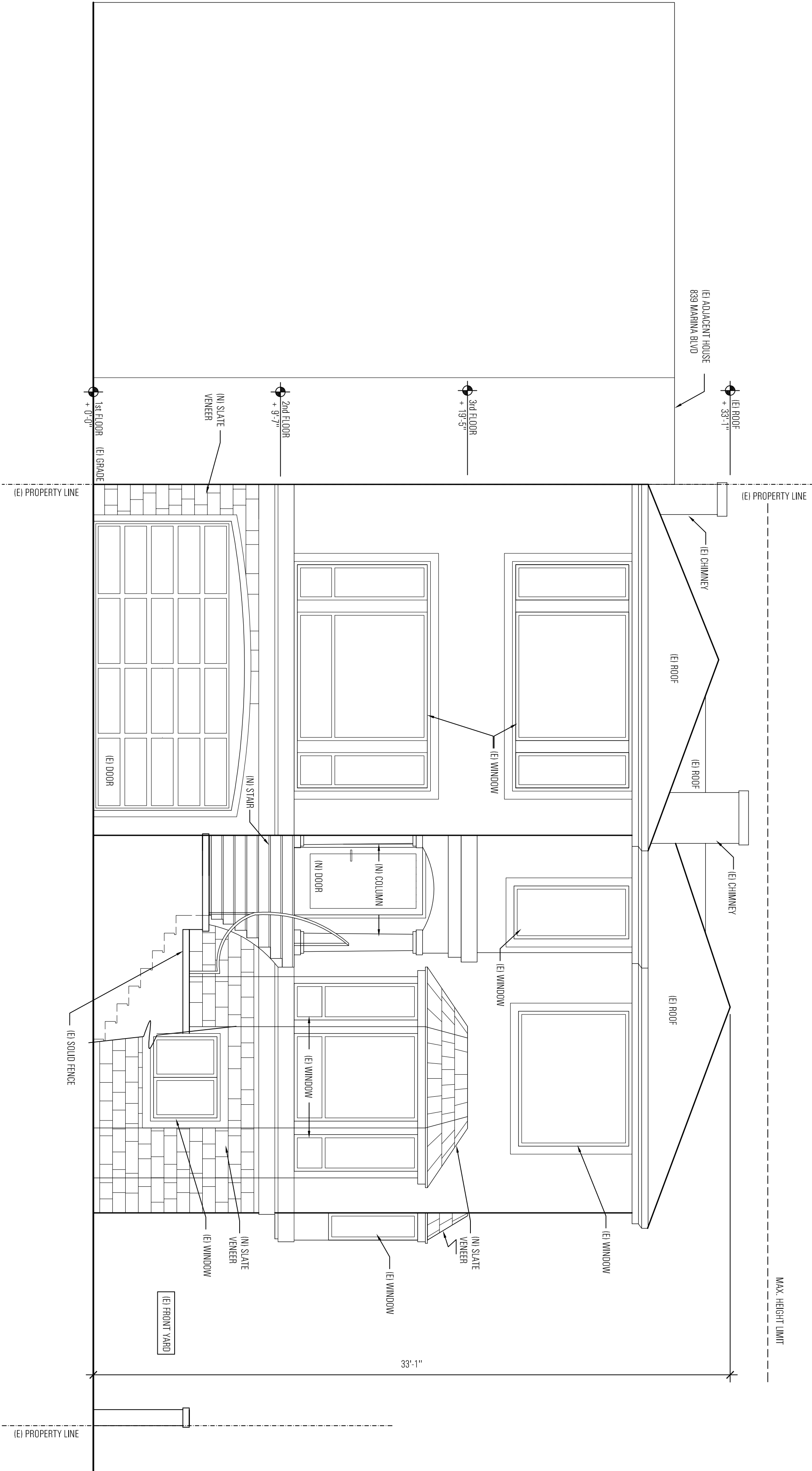
845 Marina Blvd., SF, CA 94123

PROPOSED ELEVATIONS

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A3.0

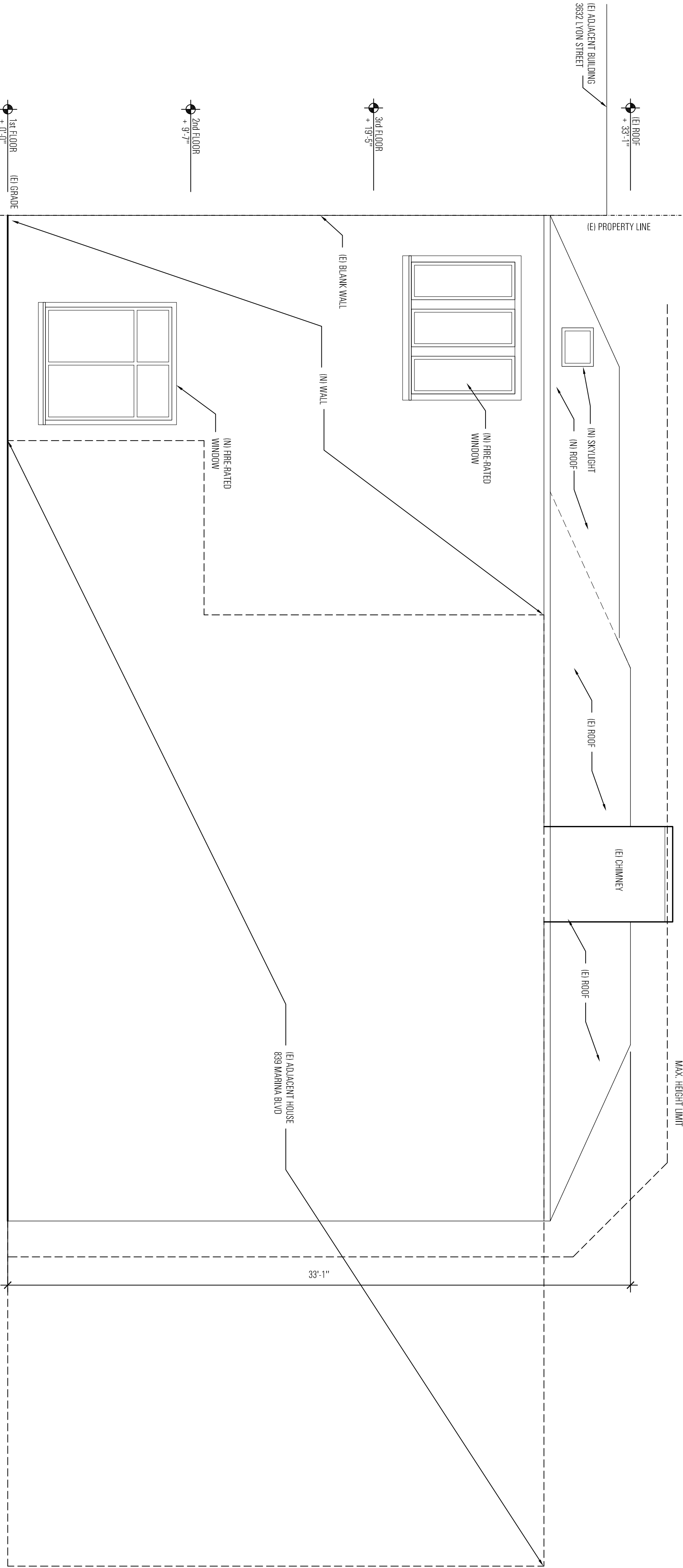
| | |
|-------|----------|
| DATE | 04.15.11 |
| SCALE | AS NOTED |
| DRAWN | AK |



PROPOSED FRONT ELEVATION

1/4" = 1'-0"

A3.0



PROPOSED EAST ELEVATION

1/4" = 1'-0"

A3.0

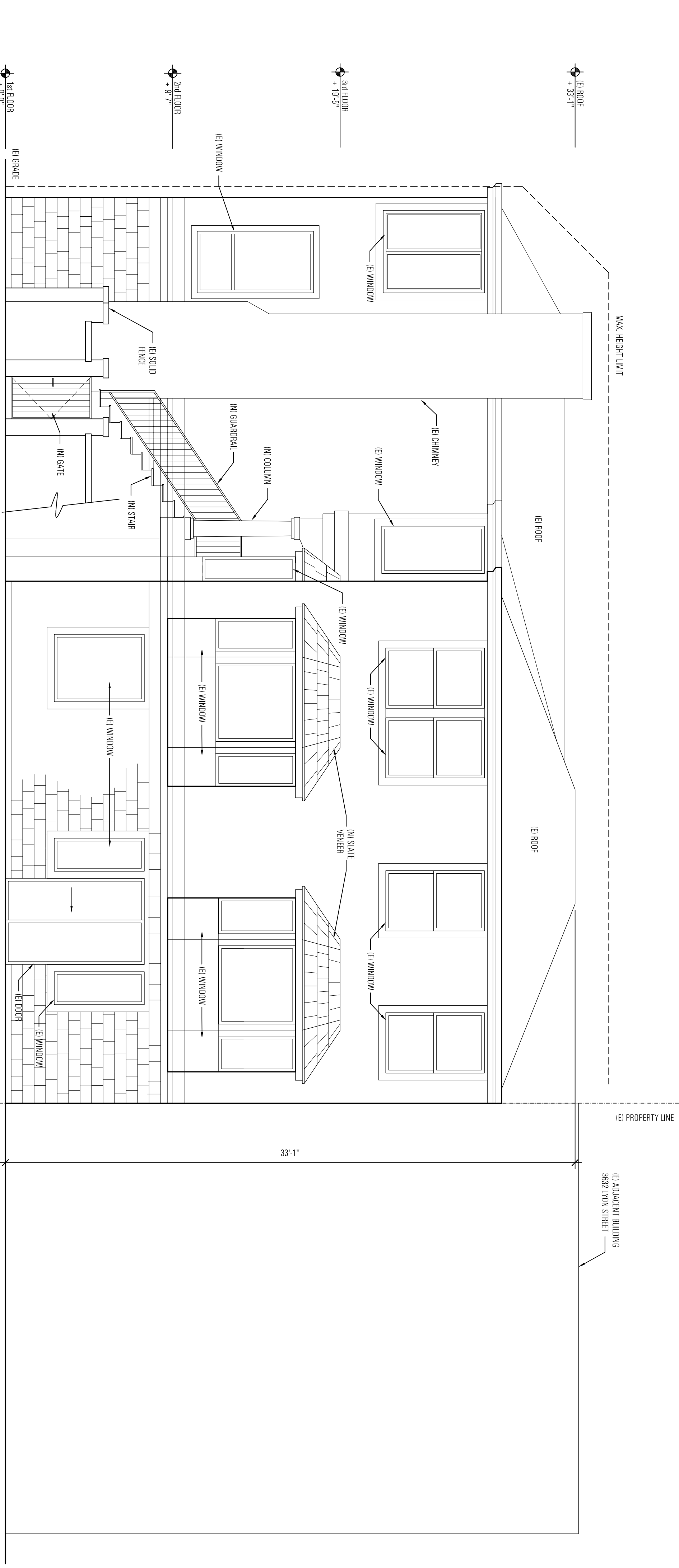
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PROPOSED ELEVATIONS

[illegible]

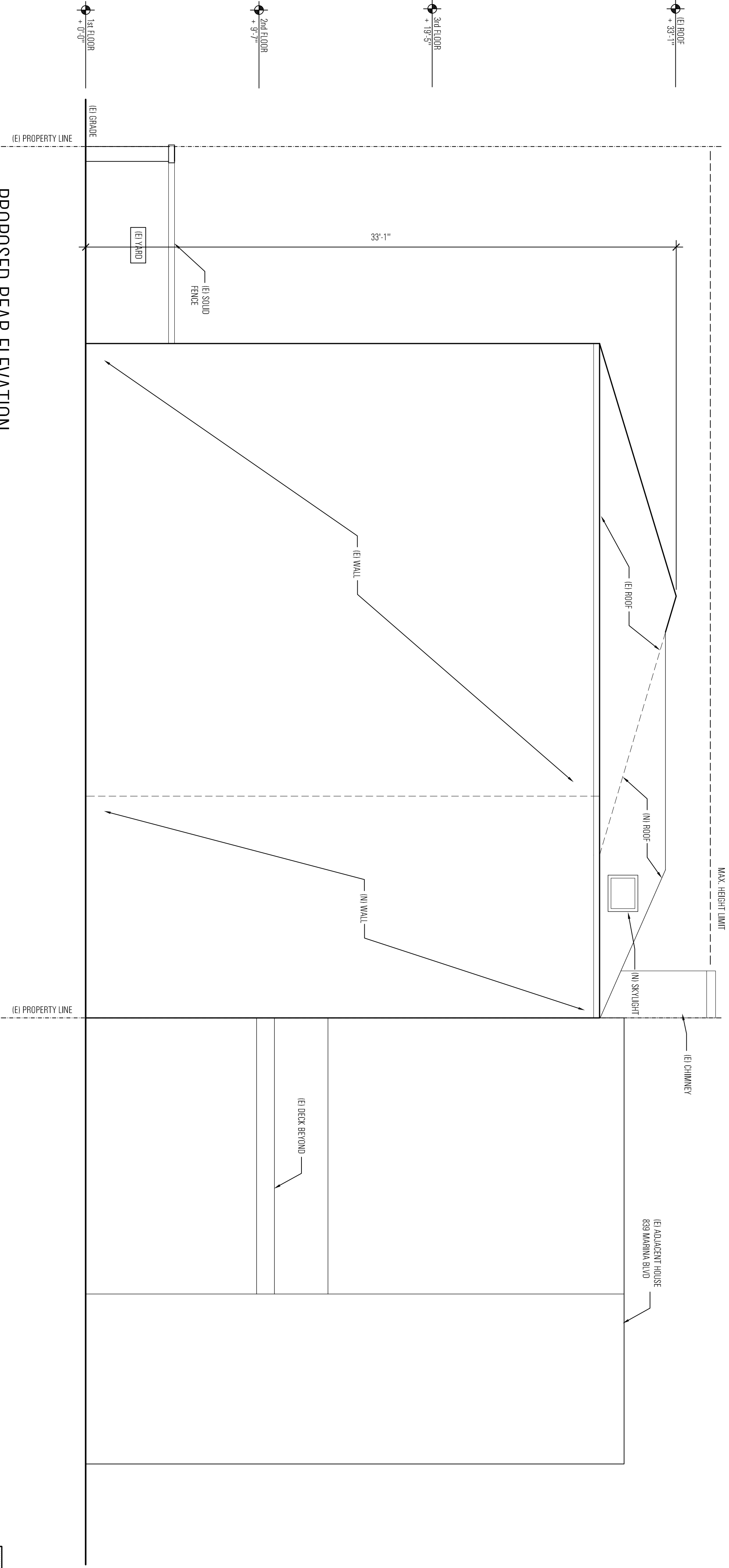
A3.1

| | |
|-------|----------|
| DATE | 04.15.11 |
| SCALE | AS NOTED |
| DRAWN | ak |



PROPOSED WEST ELEVATION

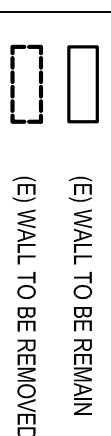
1/4" = 1'-0"



PROPOSED REAR ELEVATION

1/4" - 1'-0"

WALL TYPES



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PROPOSED SOUTH ELEVATION
LOOKING AT ADJACENT
PROPERTY

1000000

A3.2

| | |
|-------|----------|
| DATE | 04.15.11 |
| SCALE | AS NOTED |
| DRAWN | ak |

1027



PROPOSED ELEVATION LOOKING AT ADJACENT PROPERTY AT 3632 LYON STREET

1/4" = 1'-0"

1
A3.2

A3.2