



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Parking in Front Yard Setback)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	964 Eddy Street	Case No.:	2011.0180V
Cross Street(s):	Franklin and Gough	Building Permit:	N/A
Block /Lot No.:	0737/007	Applicant/Agent:	William Meyer
Zoning District(s):	RM-4/80-B	Telephone:	(415)559-5142
Area Plan:		E-Mail:	bill@wmeyer.com
PROJECT DESCRIPTION			
<p>The proposal is to construct an unenclosed parking space in the front yard setback of the existing 2-story, single-family residence. The subject property is designated as City Landmark #112. The Historic Preservation Commission granted a Certificate of Appropriateness for the proposed project on April 20, 2011.</p> <p>PER SECTION 132(f) OF THE PLANNING CODE the subject property is required to maintain a front yard setback of approximately 5 feet. Section 132(f) provides further that no motor vehicle may be parked or stored in such setback area. The proposed parking space, which would be approximately 20 feet deep, would be located within this required front setback area and would partially replace an existing combined retaining wall and wrought iron railing that exceeds six feet in height as allowed in Planning Code Section 136(c)(16).</p> <p>PER SECTION 142 OF THE PLANNING CODE off-street parking shall be screened from view and confined by solid building walls. The proposed parking space would be unenclosed with a partially transparent gate at the street.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Pilar LaValley Telephone: (415) 575-9084 E-Mail: pilar.lavalley@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0180V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

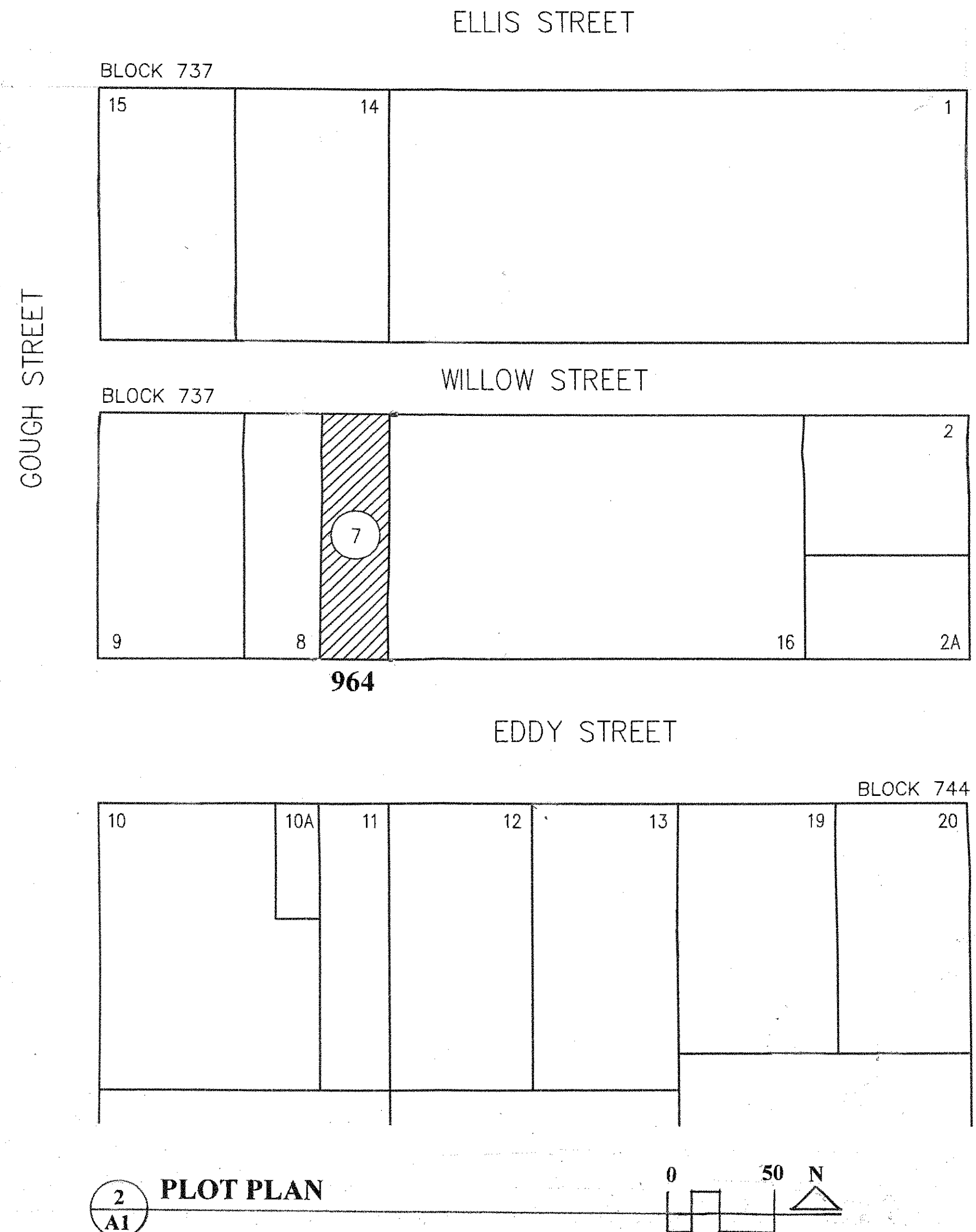
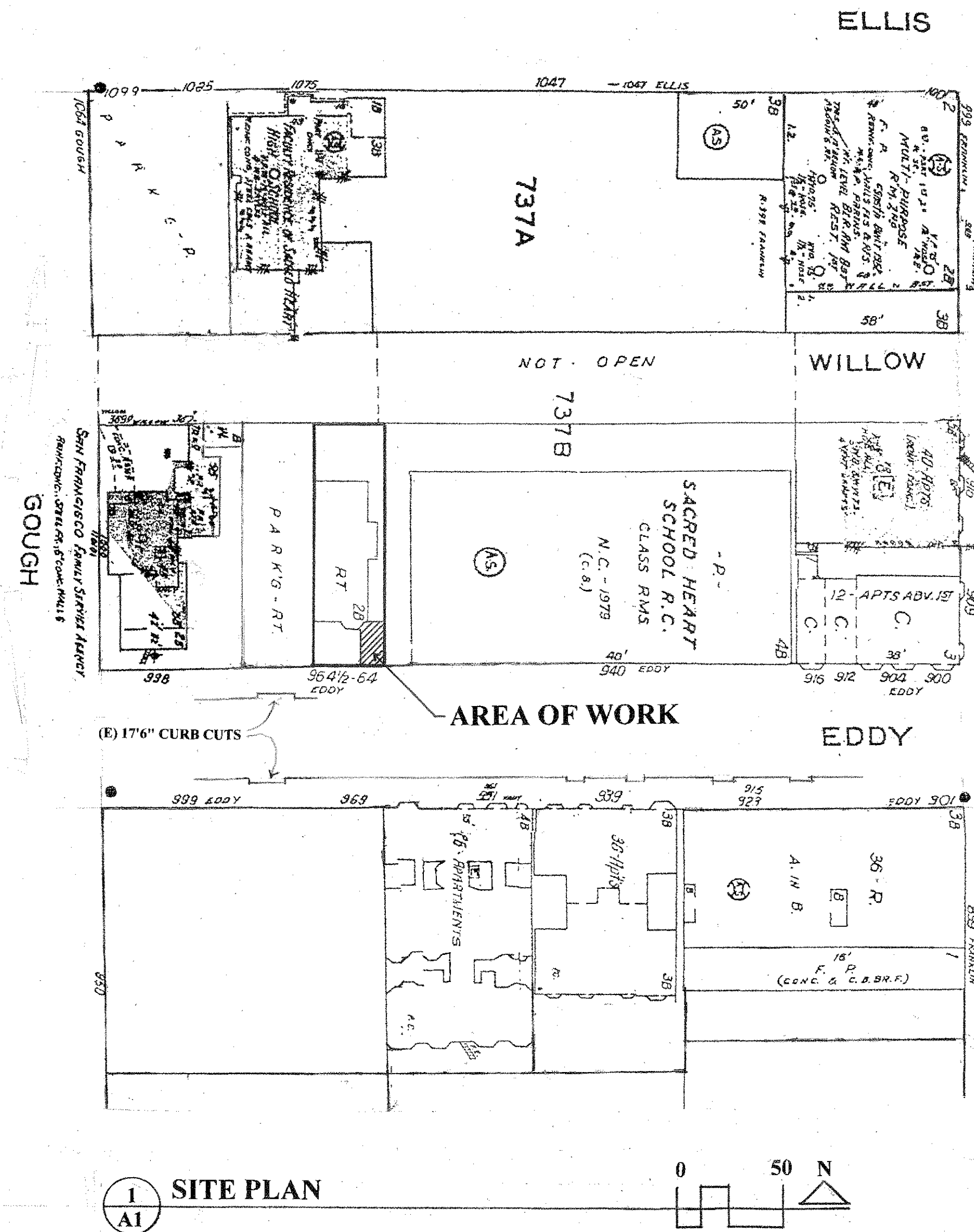
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



CODE NOTES

A. SCOPE OF PROPOSED WORK IS A GATED OFF-STREET PARKING SPACE IN THE FRONT YARD SET-BACK AREA OF TWO-STORY OVER BASEMENT WOOD FRAME RESIDENCE (LANDMARK #112)

B. PLANNING CODE NOTES

1. NO CHANGES ARE BEING PROPOSED TO:

LOT SIZE
DWELLING UNIT SIZE
HEIGHT
DENSITY
REAR YARD
SIDE YARD

ZONING	ALLOWED EXISTING	PROPOSED	/REQUIRED
CLASS	RH-4	RH-4	RH-4
HEIGHT	39 FT	39 FT	80 FT

3. SITE AREA 3,840 SF 3,840 SF 2,500 SQ FT MIN

4. SAN FRANCISCO LANDMARK #112, ROTHCHILD HOUSE, DESIGNATED FEB. 7, 1980

C. BUILDING CODE NOTES

1. AREAS AND OCCUPANCY -

FLOOR LEVEL	OCCUPANCY	Existing	Proposed	FLOOR AREA	Existing	Proposed	Allowed	OCCUPANT LOAD	Existing	Proposed
2	R-3	R-3	R-3	1,770 S.F.	1,770 S.F.	1,770 S.F.	N.A.	8.9	8.9	8.9
1	R-3	R-3	R-3	1,770 S.F.	1,770 S.F.	1,770 S.F.	N.A.	8.9	8.9	8.9
BASEMENT	S	S	S	1,770 S.F.	1,770 S.F.	1,770 S.F.	N.A.	5.9	5.9	5.9

2. HEIGHT AND CONSTRUCTION TYPE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
STORIES	2	2	3
CONSTRUCTION TYPE	V-B	V-B	V-B

3. WORK SUBJECT TO SEPARATE PERMITS:

- ELECTRICAL
- PLUMBING

4. APPROVABLE UNDER UBC, UPC, UMC, NEC, 2010 EDITION, 2010 CALIFORNIA BUILDING CODE, AND SAN FRANCISCO BUILDING CODE

964 EDDY OFF-STREET PARKING SPACE

Owner:

V. Mezhibovsky
Y. Rathman

Architect:

William Meyer & Co.
423 Washington St., 2nd Floor
San Francisco, CA 94111

(415) 433-8480, x202

Fax: 415-398-4660

wmeyer.com

Drawing Title:

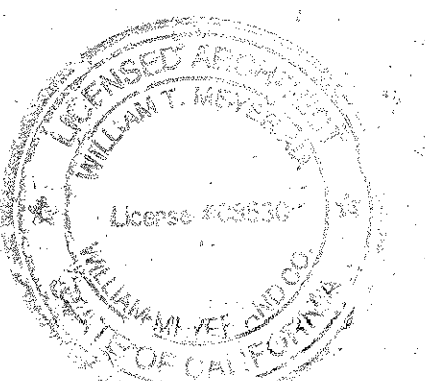
A1 SITE PLANS/CODE NOTES

A2 FIRST FLOOR PLANS

A3 SOUTH ELEVATIONS

A4 EAST ELEVATIONS/SECTIONS

A5 GATE/FENCE ELEVATIONS



JANUARY 24, 2011

REVISIONS
1 4-10-11

A1

Owner:
V. Mezhibovsky
Y. Rathman

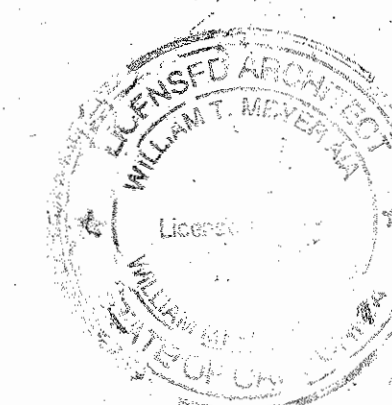
(415) 433-8480, x202

Fax: 415-398-4660

wmeyer.com

Drawing Title:

A2 FIRST FLOOR PLANS

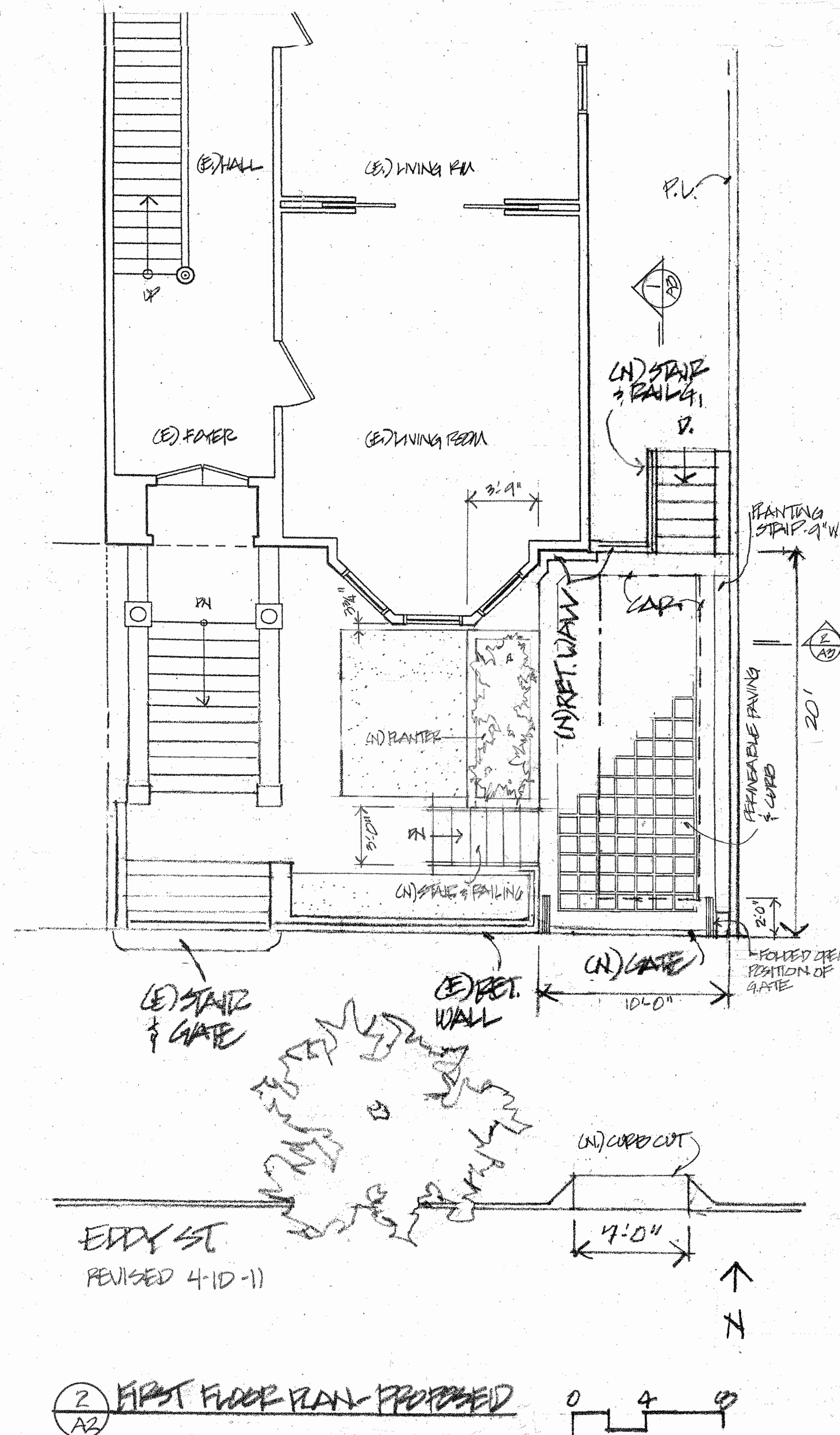
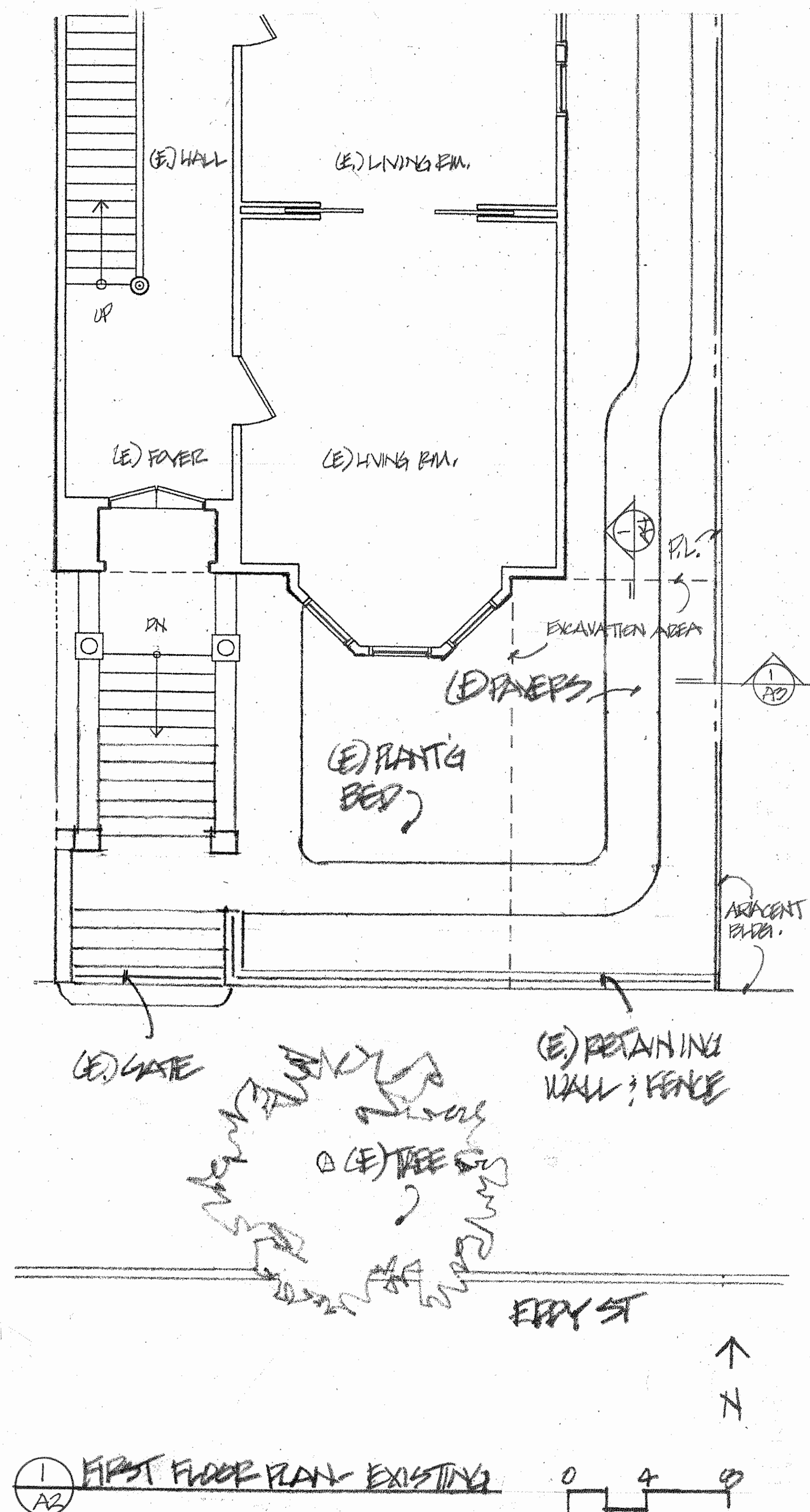


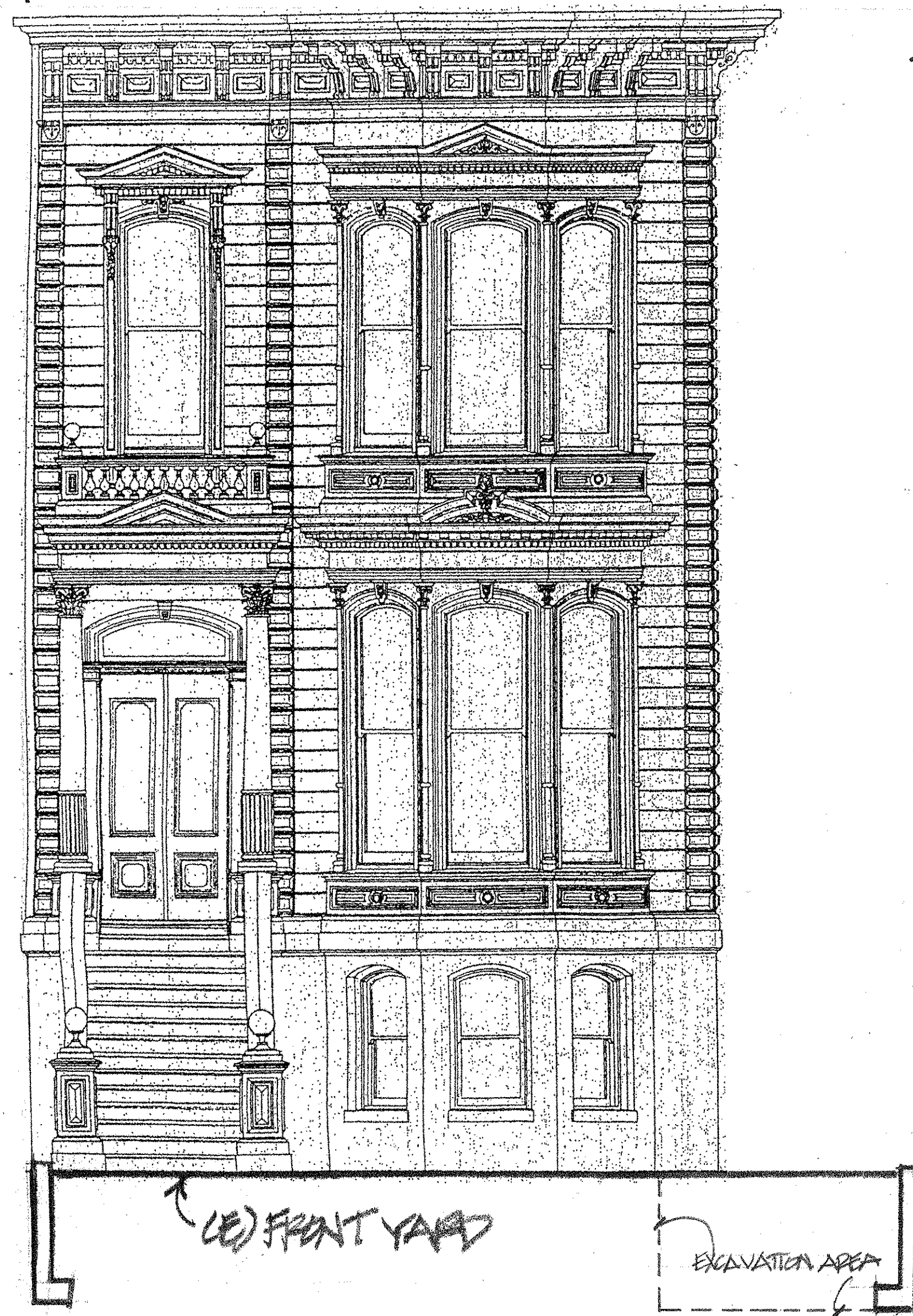
JANUARY 24, 2011

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A2

few





1
A3
EXISTING SOUTH ELEV./SECTION
0 4 8



2
A3
PROPOSED SOUTH ELEV./SECTION
0 4 8
REVISED 4-10-11

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SPACE

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Y. Rathman

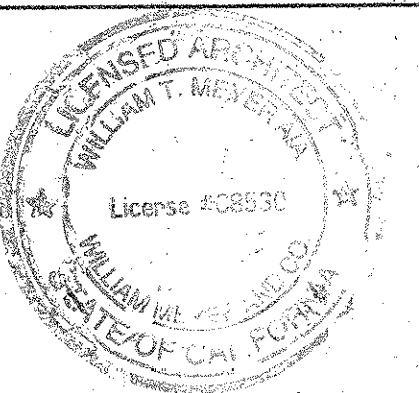
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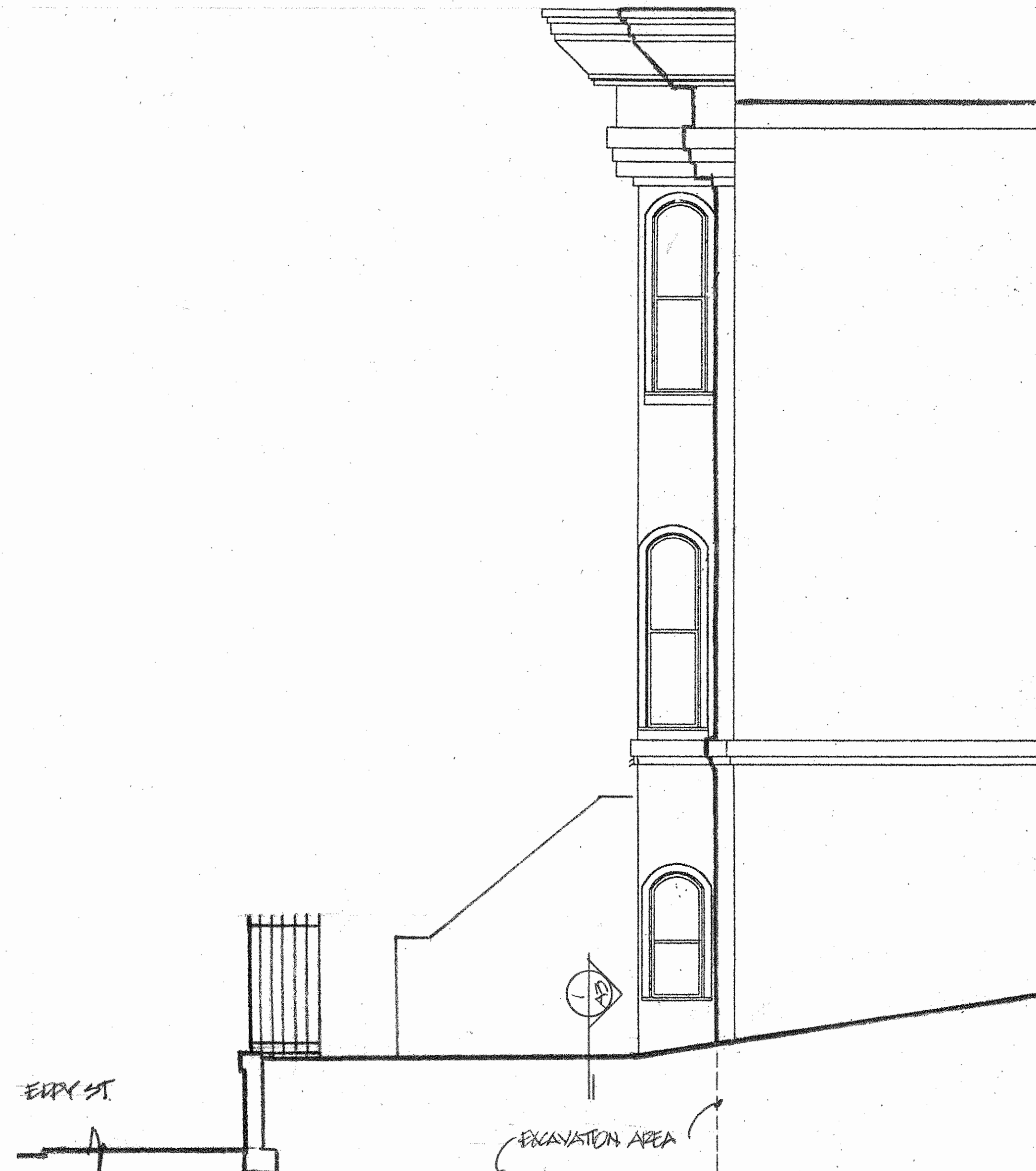
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A3 SOUTH ELEVATIONS



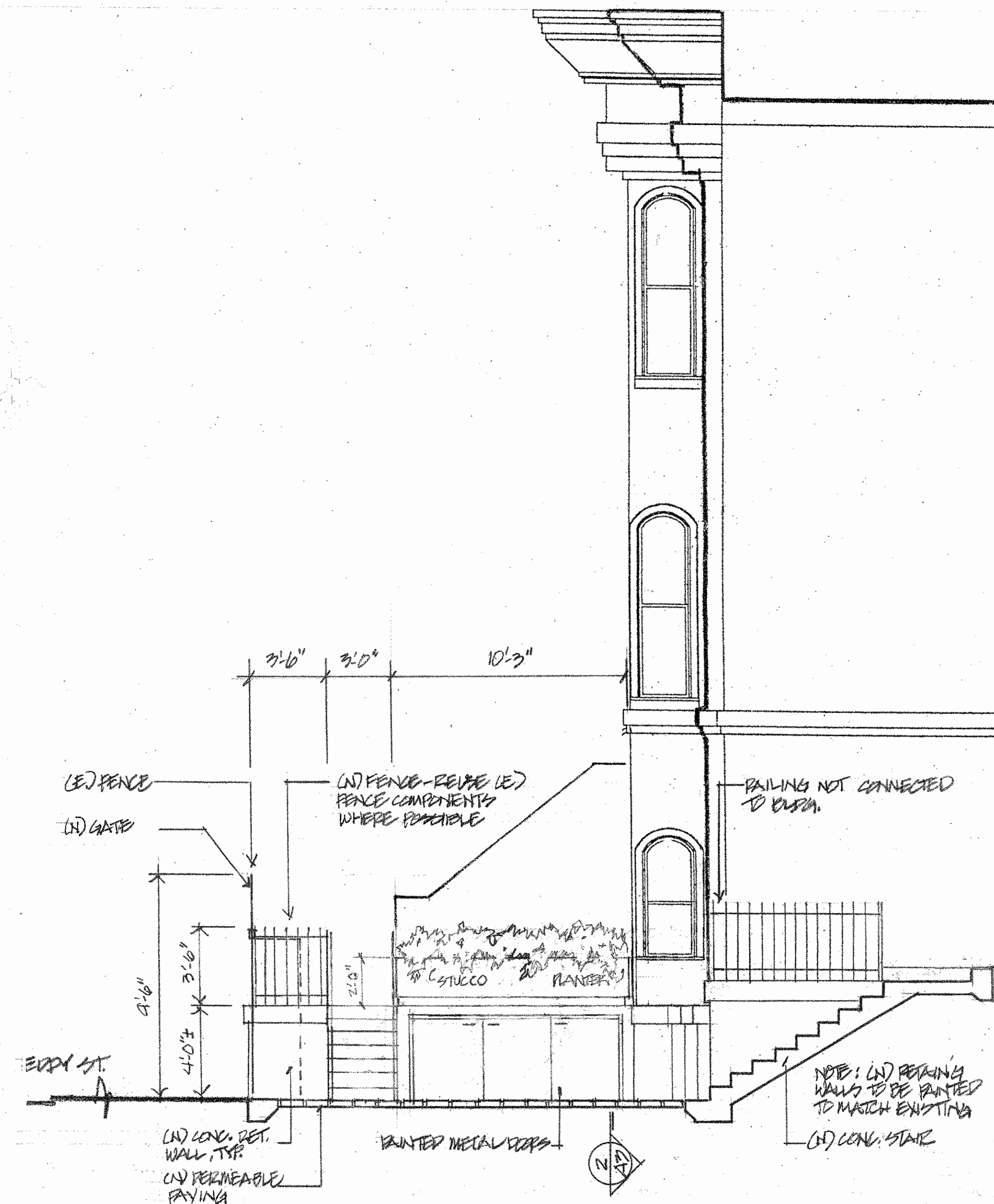
JANUARY 24, 2011

REVISIONS
1 4-10-11

A3



1
A4
EXISTING EAST ELEV./SECTION
0 4 8



2
A4
PROPOSED EAST ELEV./SECTION
0 4 8
REVISED 4-10-11

**964 EDDY
OFF-STREET PARKING
SPACE**

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Y. Rathman**

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Drawing Title:

A4 EAST ELEVATIONS/SECTIONS

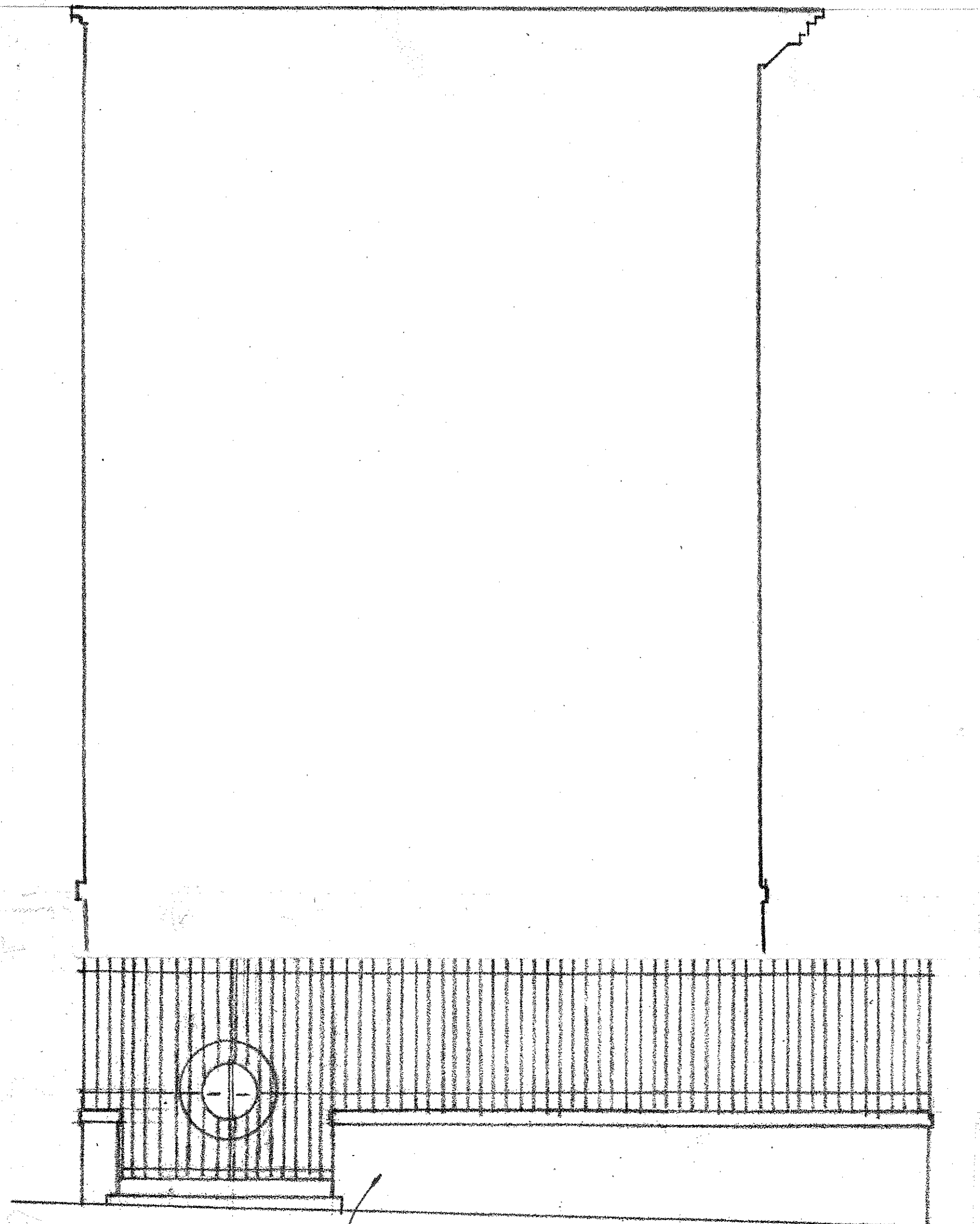


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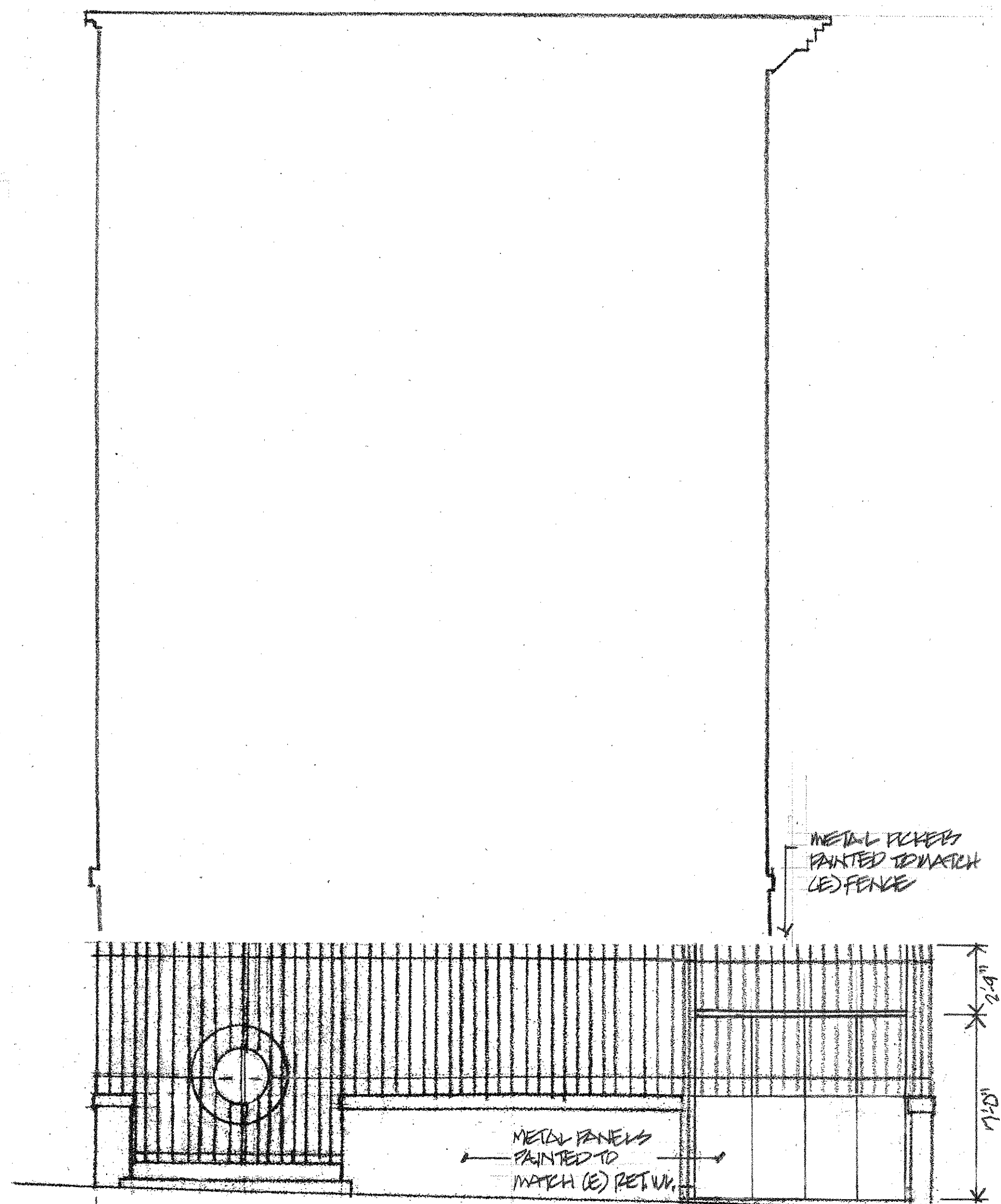
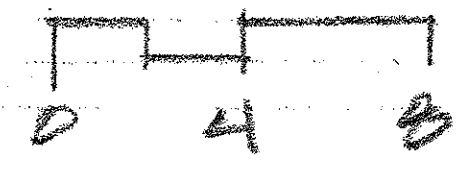
REVISIONS

1 4-10-11

A4



1
A5
EXISTING GATE & FENCE
SOUTH ELEVATION



2
A5
PROPOSED GATE & FENCE
VARIANCE REQ'D FROM P.G. SEC. 142 FOR SCREENING
REVISED 4-10-11



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OFF-STREET PARKING
SPACE**

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A5 GATE/FENCE ELEVATIONS



JANUARY 24, 2011

REVISIONS	
1	4-10-11

A5