



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 26, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 250 Urbano Drive	Case No.: 2011.0161V
Cross Street(s): Moncada Way And Corona Court	Building Permit: 201012307655
Block / Lot No.: 6913/013	Applicant/Agent: John Lau
Zoning District(s): RH-1(D) / 40-X	Telephone: 415 831-7180
Area Plan: N/A	E-Mail: N/A

PROJECT DESCRIPTION

The project is to construct a detached two-car garage structure (19' wide by 19' deep) at the rear of the lot to serve as off-street parking to an existing single-family dwelling located at the front of the property.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 30'-0". The proposed detached two-car garage structure would be located approximately 5' from the rear property line and 5' from the west side property line. Therefore, the proposed two-car garage structure requires a variance from the rear yard requirement.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **415-575-9079** Mail: adrian.putra@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0161V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On May 10, 2013, the Department issued the required Section 311 notification for this project (expires June 9, 2013).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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GENERAL NOTES

Verify all dimensions of the lot, easement, and soil conditions including excavation, underpinning, drainage and utility lines at this property, as well as, at adjacent properties. All construction work shall conform to local building code.

The drawings are intended to describe and provide for a finished piece of work. The contractor shall understand that the work herein described shall be completed in every detail although every necessary item involved is not particularly mentioned. The contractor will be held responsible to provide all the materials and labor necessary for the entire completion of the work intended to be described and shall not avail himself manifestly of any unintentional error or omission should such exist.

Should any error or inconsistency appears or occurs in the drawing, the contractor shall notify the owner and Architect/Engineer for proper adjustment before proceeding with the work, and in no case, shall proceed with the work in uncertainty.

Work included: Except as otherwise specifically stated, the contractor shall provide and pay all materials, labor, tools, equipment, and building permits including encroachment and hauling permits.

Alterations: If alterations of design or plan are made without the written consent of the Architect/Engineer, the Architect/Engineer shall not be responsible for such alterations made by or agreed upon between owner and contractor.

Information confidential: All plans, drawings, specifications and/or information furnished herewith are and shall remain the property of the Architect/Engineer & be held confidential and not be used for any purposes other than those for which they have been supplied and prepared. These drawings are not to be copied or duplicated without the Architect's/Engineer's written permission.

Note 1:

- Roofing (Typical)
- Mission clay tile over 1-ply fiber glass base sheet over 1/2" w.p. plywood sheathing. Install R-30 insulation with vapor barrier between roof joists.
 - Roofing installation shall be as per approved practice and MFR's spec. and recommendations. Roofing contractor shall submit a notarized affidavit of installation to Building Inspector.
 - All roof penetrations, such as roof drains, skyline, chimneys, exhaust fans, vent stacks, etc.. shall be properly flashed to assure water tightness.
 - Provide roof overflow drainage as per sect. 3207C of UBC. Roofing Material to be Class "B" fire rated roof assembly or better

Note 2:

- Built-Up roofing (Typical)
- Modified bitumen w/granule app 180 by firestone company or equivalent over fiberglass base over 3/4" CDX plywood sheathing.
 - Install R-30 insulation with vapor barrier between roof joists.
 - Slope roof 1/4" per foot to drain (draining to sewer line).
 - All roof penetrations, such as roof drains, skyline, chimneys, exhaust fans, vent stacks, etc.. shall be properly flashed to assure water tightness.
 - Provide roof overflow drainage as per sect. 3207C of UBC. Roofing Material to be Class "B" fire rated roof assembly or better

PROJECT DATA

JOB ADDRESS: 250 URBANO DR
SAN FRANCISCO, CA
BLOCK: 6913;
LOT: 013
ZONING: RH-1D
TYPE OF CONSTRUCTION: V-B.
OCCUPANCY: R-3, S-1

DRAWING INDEX:

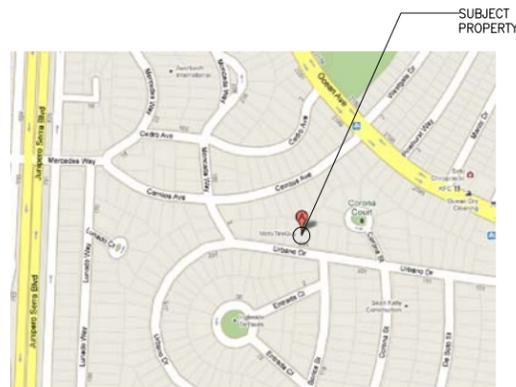
- A-1: GENERAL NOTES & VICINITY MAP EXISTING SITE & ROOF PLANS
- A-2: PROPOSED SITE & ROOF PLAN, PROPOSED 2ND FLOOR PLAN
- A-3: PROPOSED GRADE FLOOR PLANS, ELEVATIONS AND SECTIONS

SCOPE OF WORK

**THIS PERMIT IS ONLY FOR DETACHED GARAGE:
CONSTRUCT A NEW DETACHED GARAGE FOR SINGLE FAMILY DWELLING.**

LEGEND:

SYMBOLS		SYMBOLS	
Ⓜ 110V	Smoke detector	Ⓜ SECTION NO. SHEET NO.	
Ⓜ SPKR.	Sprinkler head	Ⓜ DETAIL SHEET NO.	
Ⓜ OR Ⓜ	Fluorescent light	Ⓜ REVISION NO.	
Ⓜ	Fluorescent light		
Ⓜ	Three way switch		
Ⓜ	Switch w/ dimmer		
Ⓜ	Switch w/ sensor		
Ⓜ	Ceiling outlet		
Ⓜ	Wall outlet		
Ⓜ	Wall outlet 110V		
Ⓜ	Wall outlet 220V		
Ⓜ	Exhaust fan		

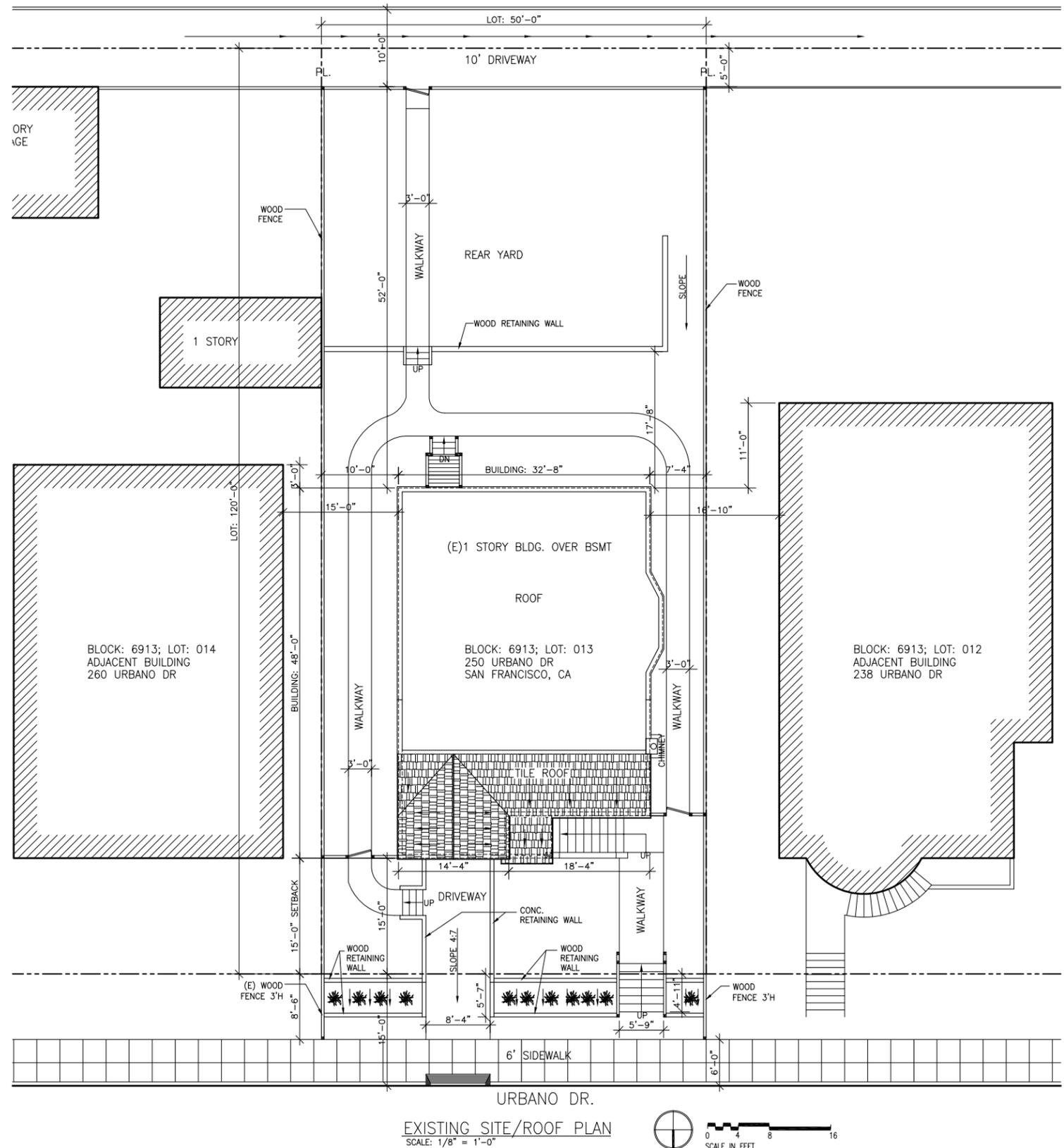


VICINITY MAP

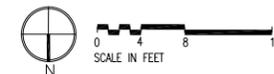
FLOOR AREA CALCULATION			
FLOOR LEVEL	EXISTING GROSS/SQ.FT	PROPOSED ADDITION GROSS/SQ.FT	TOTAL GROSS/SQ.FT
GARAGE	0	361 DETACHED GARAGE	361

APPLICABLE CODES:

CURRENT SAN FRANCISCO ZONING ORDINATES
CALIFORNIA BUILDING CODE, 2007 EDITION
CALIFORNIA MECHANICAL CODE, 2007 EDITION
CALIFORNIA PLUMBING CODE, 2007 EDITION
CALIFORNIA ELECTRIC CODE, 2007 EDITION
THE SAN FRANCISCO HOUSING CODE, 2007 EDITION
CALIFORNIA ENERGY CODE, 2008 EDITION
CURRENT SAN FRANCISCO AMENDMENTS FOR ALL CODES



EXISTING SITE/ROOF PLAN
SCALE: 1/8" = 1'-0"



REVISIONS	BY
PLNG 4/12/13	JH

DESIGN CONSULTANTS GROUP
3900 GEARY BLVD., SUITE #201
San Francisco, Ca. 94118
Phone: (415) 831-7180
Fax: (415) 831-7181

**GENERAL NOTES & VICINITY MAP
EXISTING SITE & ROOF PLAN**
App.#:

BLOCK: 6913; LOT: 013
250 URBANO DR.
SAN FRANCISCO, CA

DATE	12/23/10
SCALE	AS SHOWN
DRAWN	PL
JOB	

REVISIONS	BY
PLNG/4/12/13	JH
PLNG/4/25/13	JH

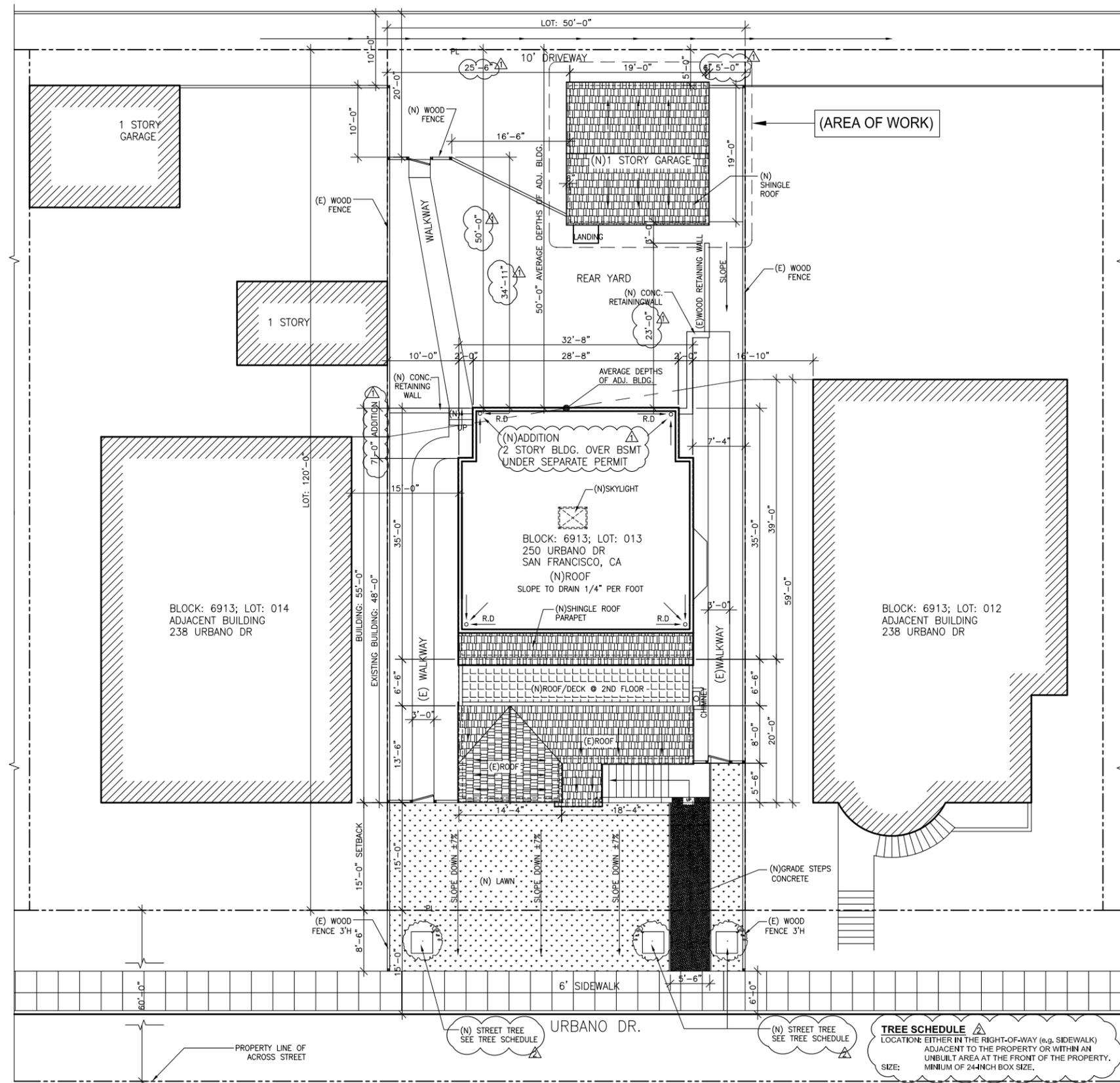
DESIGN CONSULTANTS GROUP
 3900 GEARY BLVD., SUITE #201
 San Francisco, Ca. 94118
 Phone: (415) 831-7180
 Fax: (415) 831-7181

PROPOSED SITE & ROOF PLAN
NEW 2ND FLOOR PLAN
 App.#:

BLOCK: 6913; LOT: 013
 250 URBANO DR.
 SAN FRANCISCO, CA

DATE	12/23/10
SCALE	AS SHOWN
DRAWN	PL
JOB	

A-2
 OF SHEETS



PROPOSED SITE/ROOF PLAN
 SCALE: 1/8" = 1'-0"
 N
 0 4 8 16
 SCALE IN FEET

