



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 26, 2011**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Lot Size, Rear Yard, Open Space)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 995 De Haro Street	Case No.: 2011.0159V
Cross Street(s): NE corner of 22nd st	Building Permit: TBD
Block /Lot No.: 4096/033	Applicant/Agent: Suheil Shatara
Zoning District(s): RH-3 / 40-X	Telephone: (415) 512-7566
Area Plan: Eastern Neighborhoods	E-Mail: N/A

PROJECT DESCRIPTION

The proposal is to split a Code-conforming standard lot into two lots. One lot (Lot A) will measure approximately 38 feet 6 inches wide and 25 feet deep; the other lot (Lot B) will measure approximately 25 feet wide and 61 feet 6 inches deep. The proposal will result in 2 dwelling units on each lot.

PER SECTION 121 OF THE PLANNING CODE each lot must have a minimum area of 1,750 square feet. The proposal would create one lot of approximately 960 square feet (Lot A) and one of approximately 1,535 square feet (Lot B). The project requires a variance from the lot size requirement (Section 121) of the Planning Code for each proposed lot.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of no less than 15 feet on each lot. Lot A will have a rear yard of 13 feet 6 inches and Lot B will have a rear yard of 12 feet 8 inches. The project requires a variance from the rear yard requirement (Section 134) of the Planning Code for each proposed lot.

PER SECTION 135 OF THE PLANNING CODE each lot is required to provide 100 square feet of private open space or 133 square feet of common open space for each dwelling unit. The proposal does not provide the minimum open space requirement for 1 unit on Lot A or 1 unit on Lot B. The project requires a variance from the open space requirement (Section 135) of the Planning Code for each proposed lot.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0159V.pdf>

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Diego R Sánchez** Telephone: **(415) 575-9082** E-Mail: diego.sanchez@sfgov.org

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C. ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO REVIEW ALL WORK ON SITE AND RESOLVE ANY UNCLEAR ITEMS
- THE CONTRACTOR SHALL CONTACT THE BUILDING MANAGEMENT TO BE ADVISED OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION, WHEN AND HOW DELIVERIES AND/OR REMOVALS CAN BE DONE ON REGULAR OR OVERTIME AND IN GENERAL, ANY BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE.
- THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS AND WATER THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.
- THE CONTRACTOR SHALL REMOVE FROM THE BUILDING ALL RUBBISH AND WASTE MATERIALS, FOR HIS OWN SUBCONSTRUCTION. IF REQUIRED.
- NO WORK DEPENDING ON PARTITION LOCATIONS SHALL BE DONE UNTIL THE CONTRACTOR HAS MARKED PARTITION LOCATIONS ON THE FLOOR SLAB IN THE FIELD AND THE ARCHITECT HAS APPROVED THEM.
- THE CONTRACTOR SHALL LEAVE THE PREMISES IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR'S PRICE IS TO BE COMPLETE IN ALL WAYS INCLUDING TAXES, OVER-TIME, SHIPPING, ETC.
- ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
- THE WORK INCLUDED UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, 1991 EDITION.
- CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS SHALL GUARANTEE THAT THE WORK IS FREE FROM ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND BE RESPONSIBLE FOR REPAIR OR REPLACEMENT AT NO ADDITIONAL CHARGE.
- CONTRACTORS TO CARRY EMPLOYER'S LIABILITY INSURANCE OF NOT LESS THAN \$1,000,000 PER OCCURRENCE, AND COMPREHENSIVE GENERAL LIABILITY OF AT LEAST \$2,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY, DEATH, OR PROPERTY DAMAGE THE POLICIES TO ALSO COVER LANDLORD AND TENANT AS ADDITIONAL INSURED.

SYMBOLS

	SECTION DRAWING SHEET NUMBER		EQUIPMENT SYMBOL (EQUIPMENT TYPE, EQUIPMENT GROUP)
	ELEVATION DRAWING SHEET NUMBER		REVISION
	DETAIL DRAWING SHEET NUMBER		WALL TYPE
	INTERIOR ELEVATION SHEET NUMBER DRAWING NUMBER		FINISH SYMBOL
	ROOM IDENTIFICATION ROOM NAME ROOM NUMBER		MATCH LINE SHADED PORTION IS SIDE CONSIDERED
	DOOR NUMBER		DATUM POINT
	WINDOW NUMBER		COLUMN GRID
			TOP OF WALL

DRAWING INDEX

A0.0 COVER SHEET & SITE PLANS
A1.0 EXISTING SITE PLAN / DEMO PLAN & PROPOSED SITE

PLANNING INFORMATION

ZONING: RH 3
HEIGHT LIMIT: 40'-X
EXISTING NUMBER OF UNITS: 4 UNITS (TWO BLDG.'S)
PROPOSED NUMBER OF UNITS: 2 UNITS PER LOT

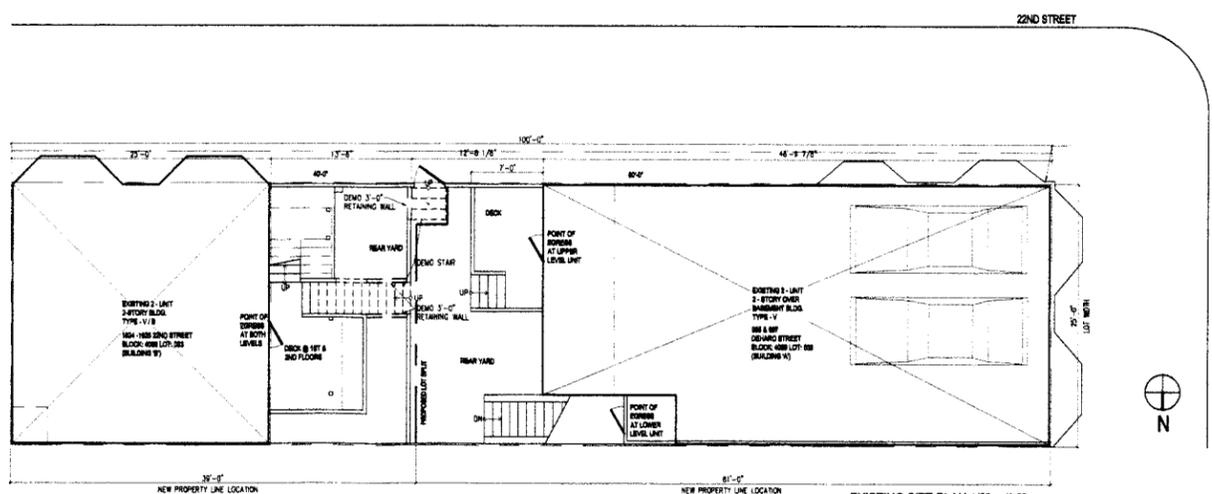
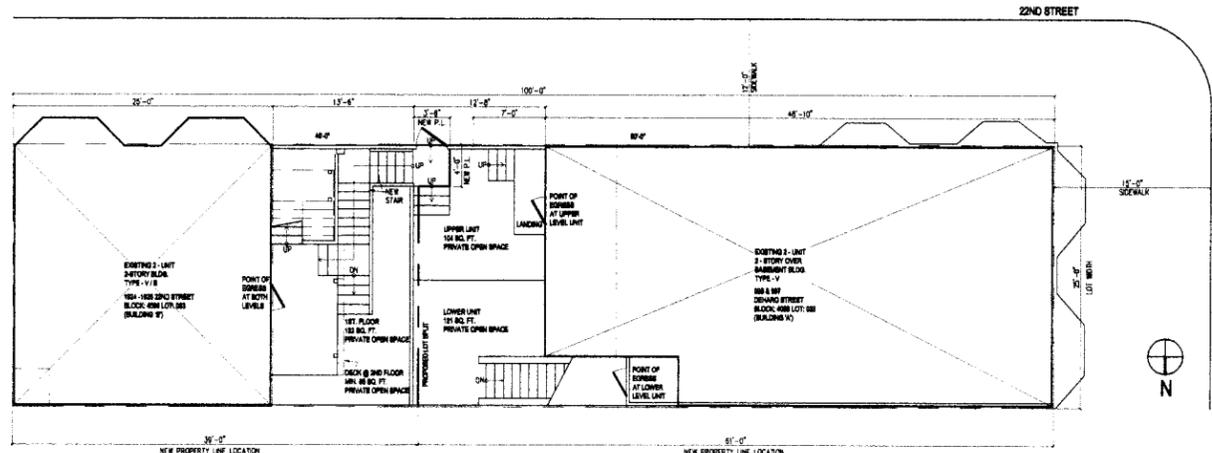
PROJECT DATA

SCOPE OF WORK:
LOT SPLIT - BETWEEN TWO BUILDINGS ON ONE LOT

BUILDING INFORMATION

BUILDING DESCRIPTION: EXISTING: TWO BUILDINGS ON PROPERTY 995-997 DE HARO IS A THREE STORY TWO UNIT & 1290 20TH STREET IS A TWO STORY TWO UNIT WOOD FRAME TYPE V-B BUILDING NON-SPRINKLED BLDG. PROPOSED: LOT SPLIT BETWEEN THE TWO BUILDINGS NO CHANGE TO THE EXTERIOR ENVELOPE OF THE BLDG.'S
(E) OCCUPANCY CLASS: R-2 (E) # OF DWELLING UNITS: 4- UNITS
PROPOSED OCCUP. CLASS: R-3 (N) # OF DWELLING UNITS: 2-UNITS PER BUILDING

SITE PLAN 1/8" = 1'-0"



SHATARA ARCHITECTURE INC.

522 SECOND ST.
SAN FRANCISCO CALIF. 94107

TEL (415) 512-7566
FAX (415) 546-6415

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY PROJECTS OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF SHATARA ARCHITECTURE INC.

PROJECT
LOT SPLIT BETWEEN TWO BLDG.'S ONE SITE

ADDRESS
995 -997 DE HARO ST. SAN FRANCISCO, CA BLOCK: 4096 LOT: 033

PROJECT DIRECTORY

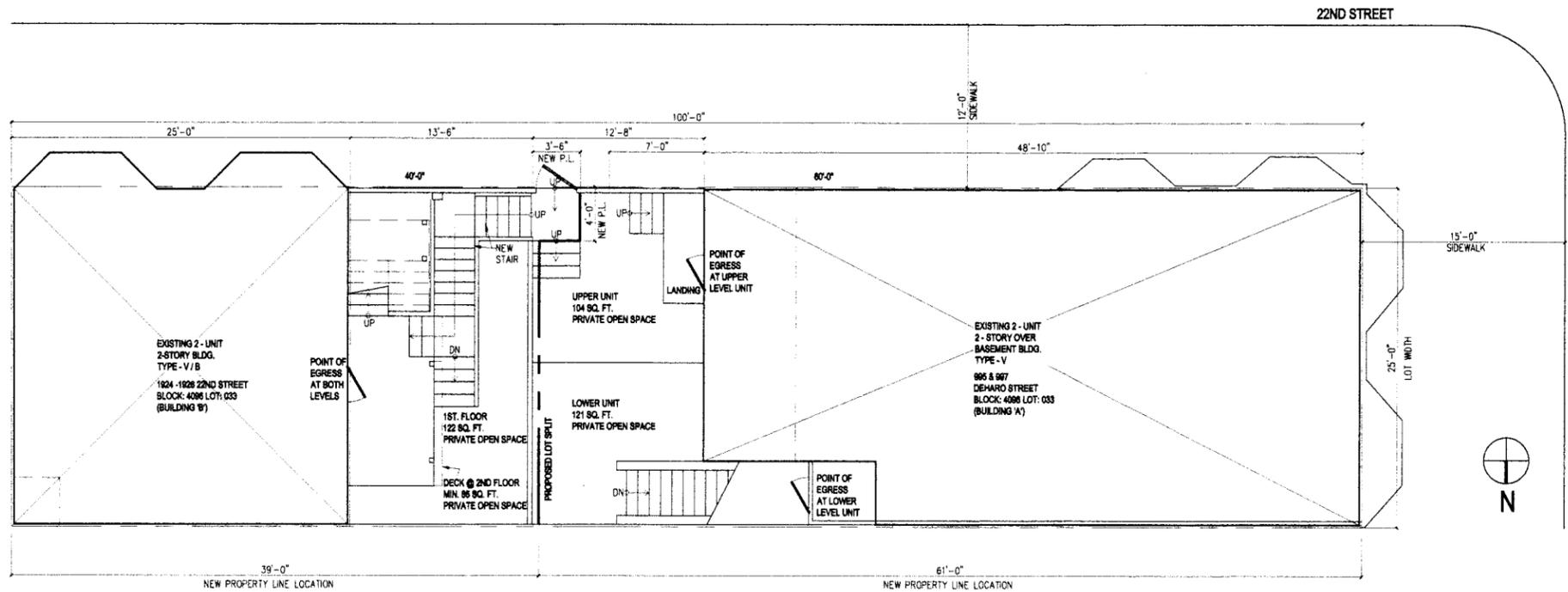
ARCHITECT
SHATARA ARCHITECTURE INC.
522 SECOND ST.
SAN FRANCISCO, CA 94103
TEL: 415-512-7566
FAX: 415-546-6415
CONTACT: MR. SUHEIL SHATARA

OWNER
CONTACT ARCHITECT

ISSUED	DATE	NO.
PLANNING	03.10.2011	
PLANNING	08.01.2011	

SHEET DESCRIPTION
COVER SHEET AND SITE PLAN

A0.0

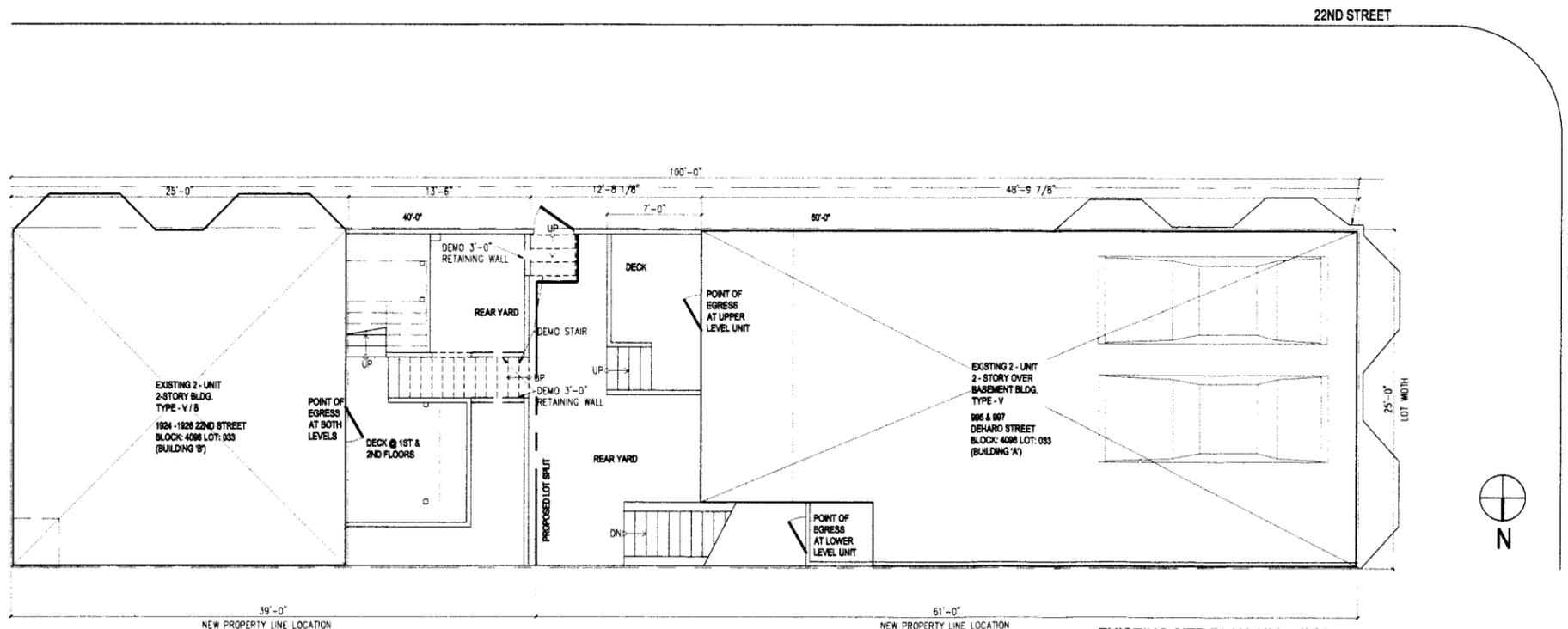


PROPOSED SITE PLAN (LOT SPLIT)
3/16" = 1'-0"

PROPOSED SITE PLAN 1/8" = 1'-0"

BUILDING DESCRIPTION: EXISTING: TWO BUILDINGS ON PROPERTY
995-997 DE HARO IS A THREE STORY TWO UNIT &
1290 20TH STREET IS A TWO STORY TO UNIT
WOOD FRAME TYPE V-B BUILDING NON-SPRINKLED BLDG.
PROPOSED: LOT SPLIT BETWEEN THE TWO BUILDINGS
NO CHANGE TO THE EXTERIOR ENVELOPE OF THE BLDG.'S

(E) OCCUPANCY CLASS: R-2 (E) # OF DWELLING UNITS: 4- UNITS
PROPOSED OCCUP. CLASS: R-3 (N) # OF DWELLING UNITS: 2-UNITS PER BUILDING



EXISTING SITE PLAN
3/16" = 1'-0"

EXISTING SITE PLAN 1/8" = 1'-0"

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**PROJECT
LOT SPLIT BETWEEN
TWO BLDG.'S-ONE SITE**

ADDRESS
**995-997 DE HARO ST.
SAN FRANCISCO, CA
BLOCK: 4096
LOT: 033**

PROJECT DIRECTORY

ARCHITECT
SHATARA ARCHITECTURE INC.
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ISSUED	DATE	NO.
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SHEET DESCRIPTION

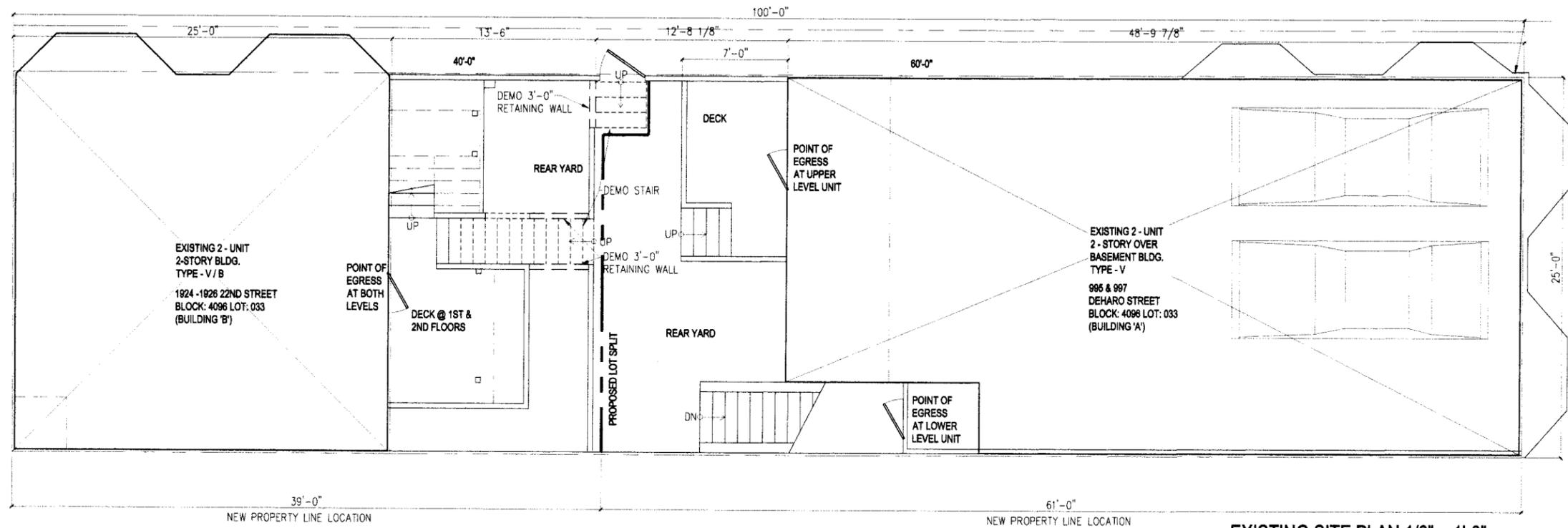
SITE PLAN

A1.0

BUILDING DESCRIPTION:
 PROPOSED OCCUP. CLASS:
 (E) OCCUPANCY CLASS:
 R-2 (E) # OF DWELLING UNITS: 4- UNITS
 R-3 (N) # OF DWELLING UNITS: 2-UNITS PER BUILDING

EXISTING: TWO BUILDINGS ON PROPERTY
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 NO CHANGE TO THE EXTERIOR ENVELOPE OF THE BLDG.'S

22ND STREET



EXISTING SITE PLAN 1/8" = 1'-0"
 LOT SPLIT AT 995 DE HARO STREET
 1/8" = 1'-0"

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**PROJECT
 LOT SPLIT BETWEEN
 TWO BLDG.'S-ONE SITE**

ADDRESS
**995 -997 DE HARO ST.
 SAN FRANCISCO, CA
 BLOCK: 4096
 LOT: 033**

PROJECT DIRECTORY

ARCHITECT
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 SAN FRANCISCO, CA 94103
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SHEET DESCRIPTION
**EXISTING
 SITE PLAN**

A2.0

**SHATARA
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**PROJECT
LOT SPLIT BETWEEN
TWO BLDG.'S-ONE SITE**

ADDRESS
**995 -997 DE HARO ST.
SAN FRANCISCO, CA
BLOCK: 4096
LOT: 033**

PROJECT DIRECTORY

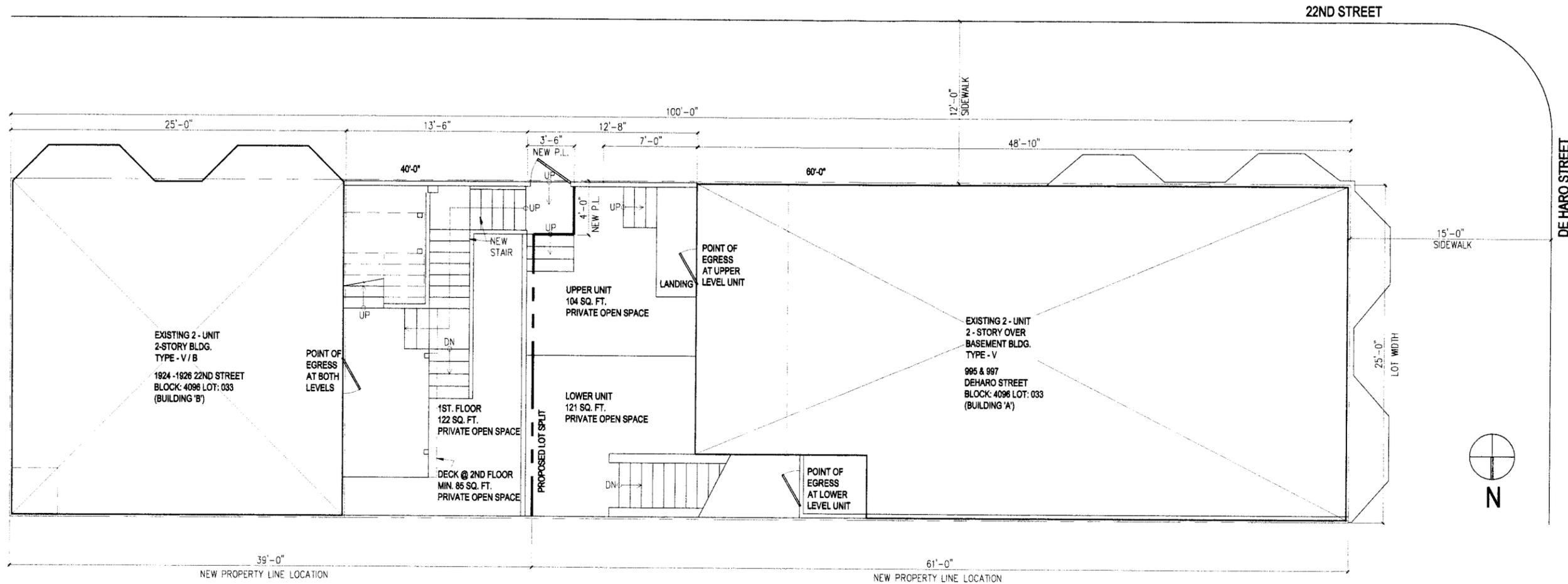
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PLANNING	08.01.2011	

SHEET DESCRIPTION
**PROPOSED
SITE PLAN**

A2.2



PROPOSED SITE PLAN 1/8" = 1'-0"
LOT SPLIT AT 995 DE HARO STREET
1/8" = 1'-0"

BUILDING DESCRIPTION:
PROPOSED OCCUP. CLASS:
(E) OCCUPANCY CLASS:
R-2 (E) # OF DWELLING UNITS: 4- UNITS
R-3 (N) # OF DWELLING UNITS: 2-UNITS PER BUILDING

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