



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2012**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Lot Area and Open Space)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 141 Albion St	Case No.: 2011.0137V
Cross Street(s): 16th and 17th Streets	Building Permit: N/A
Block / Lot No.: 3568/068	Applicant/Agent: Sarina Bowen Kennerly
Zoning District(s): RTO-Mission / 45-X	Telephone: 415-285-2880
Area Plan: Mission	E-Mail: sarina@kennerlyarchitectur e.com

PROJECT DESCRIPTION

The proposal is to subdivide Lot 068 into two separate lots. The subdivision will result in two lots of irregular shape.

PER SECTION 121(d) and (e) OF THE PLANNING CODE the proposed new lots must have a minimum width of 25 feet and a minimum area of 2,500 square feet. The irregular nature of the proposed new property line will cause portions of the new southern lot to have a width of less than 25 feet and an area of less than 2,500 square feet; therefore, a variance is required.

PER SECTION 135 OF THE PLANNING CODE each dwelling unit must have a minimum amount of private and/or common open space. The proposed subdivision will separate 141 Albion Street in the existing building from its useable common open space on the southern portion of the existing lot; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Corey Teague** Telephone: **415-575-9081** Mail: corey.teague@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0137V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

There is no associated Building Permit Application with this Variance request.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ALBION RESIDENCES
 VARIANCE APPLICATION

141 ALBION STREET
 SAN FRANCISCO, CA 94110
 BLOCK / LOT : 3568 / 068

Stamp & Signature
 All drawings and
 written material
 appearing herein
 constitute the original
 and unaltered work
 of Kennerly
 Architecture &
 Planning and may not
 be duplicated, used
 or disclosed without
 the written permission
 of this office.

Consultants

Revisions & Submittals

REVISION PERMIT	04/07/09
VARIANCE SUBMITTAL	10/13/11

Drawn By
 BS/SBK

Checked By

Scale
 AS NOTED

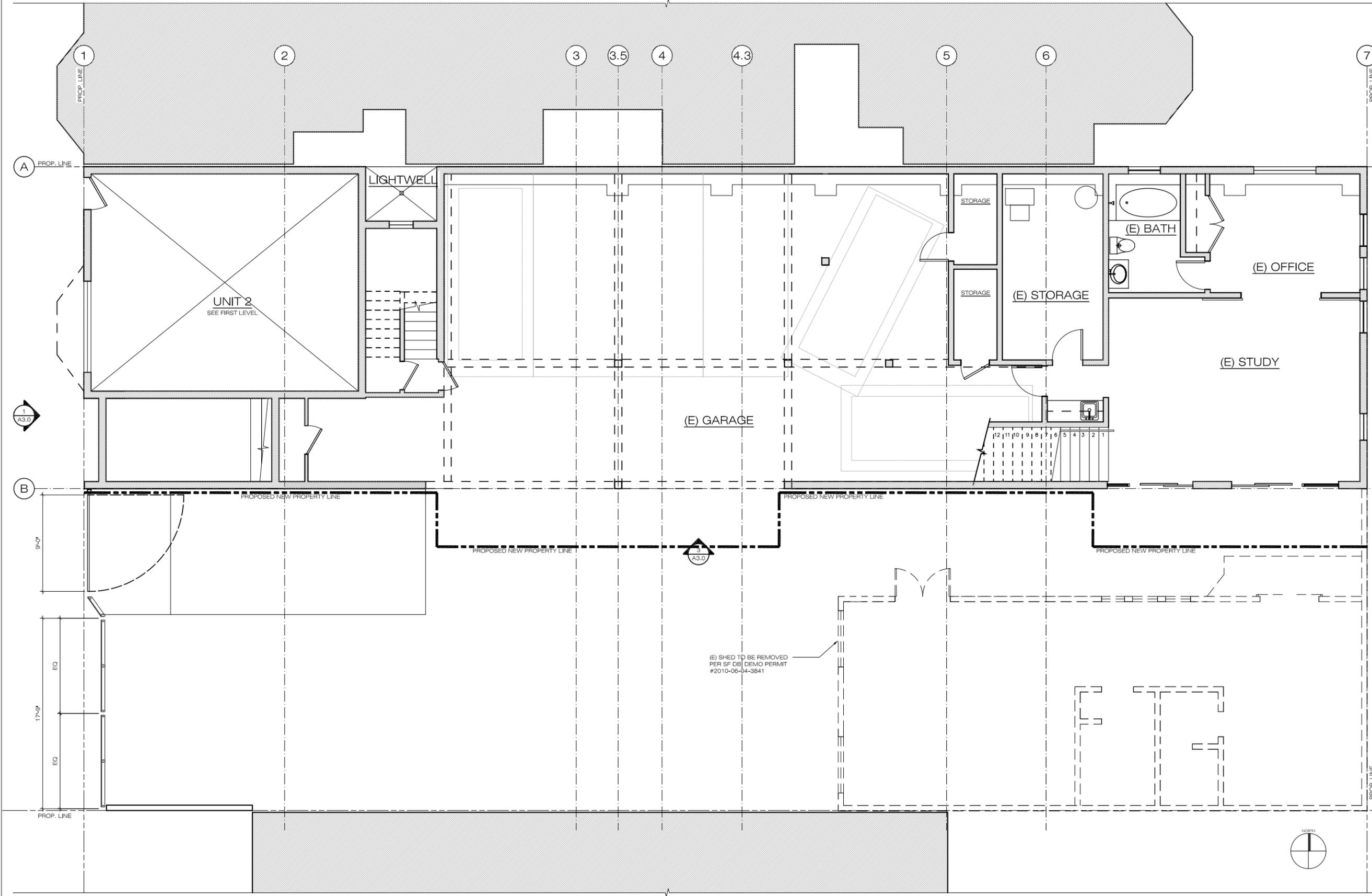
Project Number

Date
 13 OCTOBER 2011

Title
FLOOR PLANS

Sheet
A2.4

Preliminary
 Not for Construction



BASEMENT LEVEL
 1/4" = 1'-0"

ALBION RESIDENCES
 VARIANCE APPLICATION

141 ALBION STREET
 SAN FRANCISCO, CA 94110
 BLOCK / LOT : 3568 / 068

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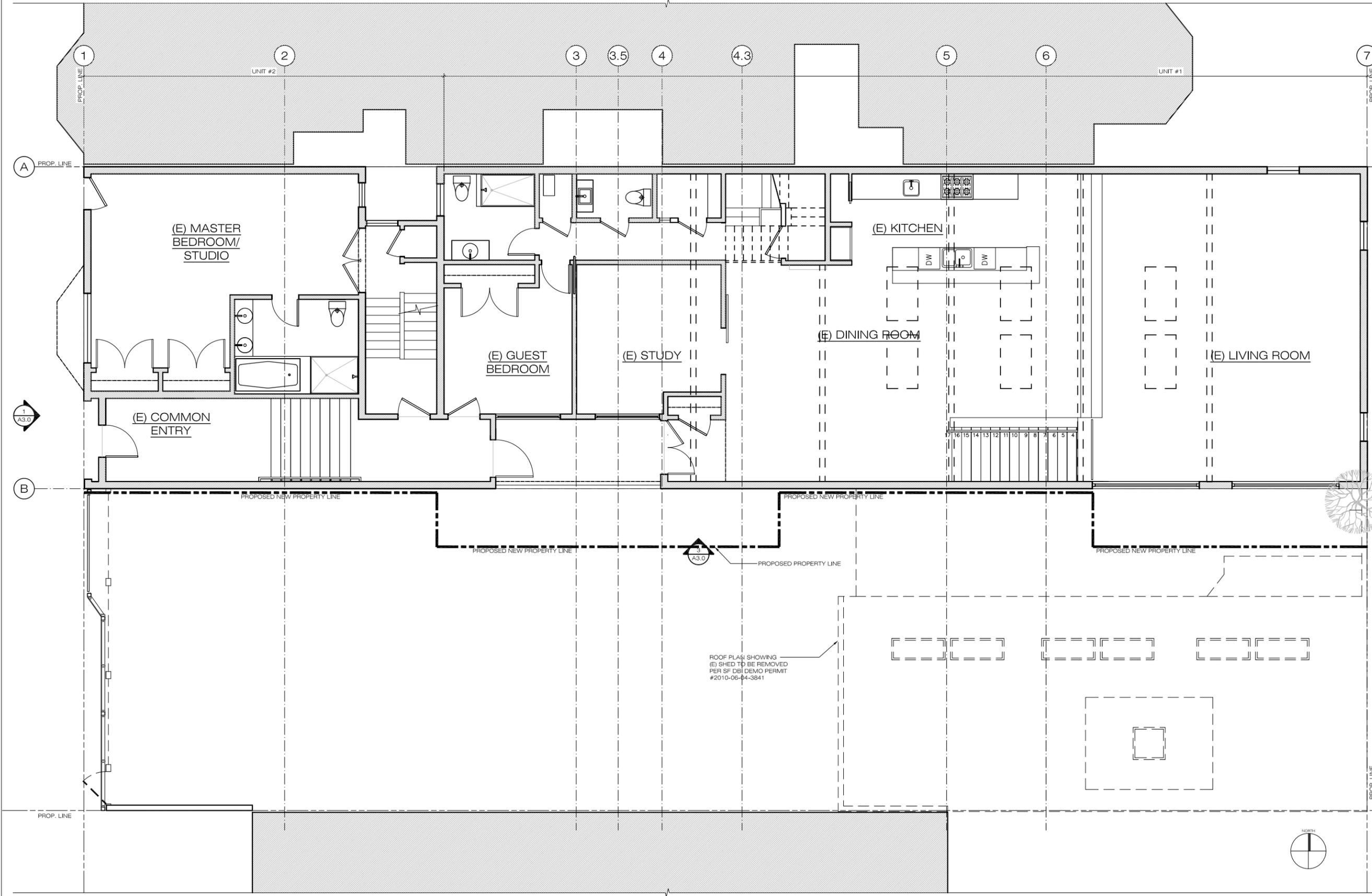
Project Number

Date
 13 OCTOBER 2011

Title
FLOOR PLANS

Sheet
A2.5

Preliminary
 Not for Construction



FIRST LEVEL
 1/4"=1'-0"

ALBION RESIDENCES
 VARIANCE APPLICATION

141 ALBION STREET
 SAN FRANCISCO, CA 94110
 BLOCK / LOT : 3568 / 068

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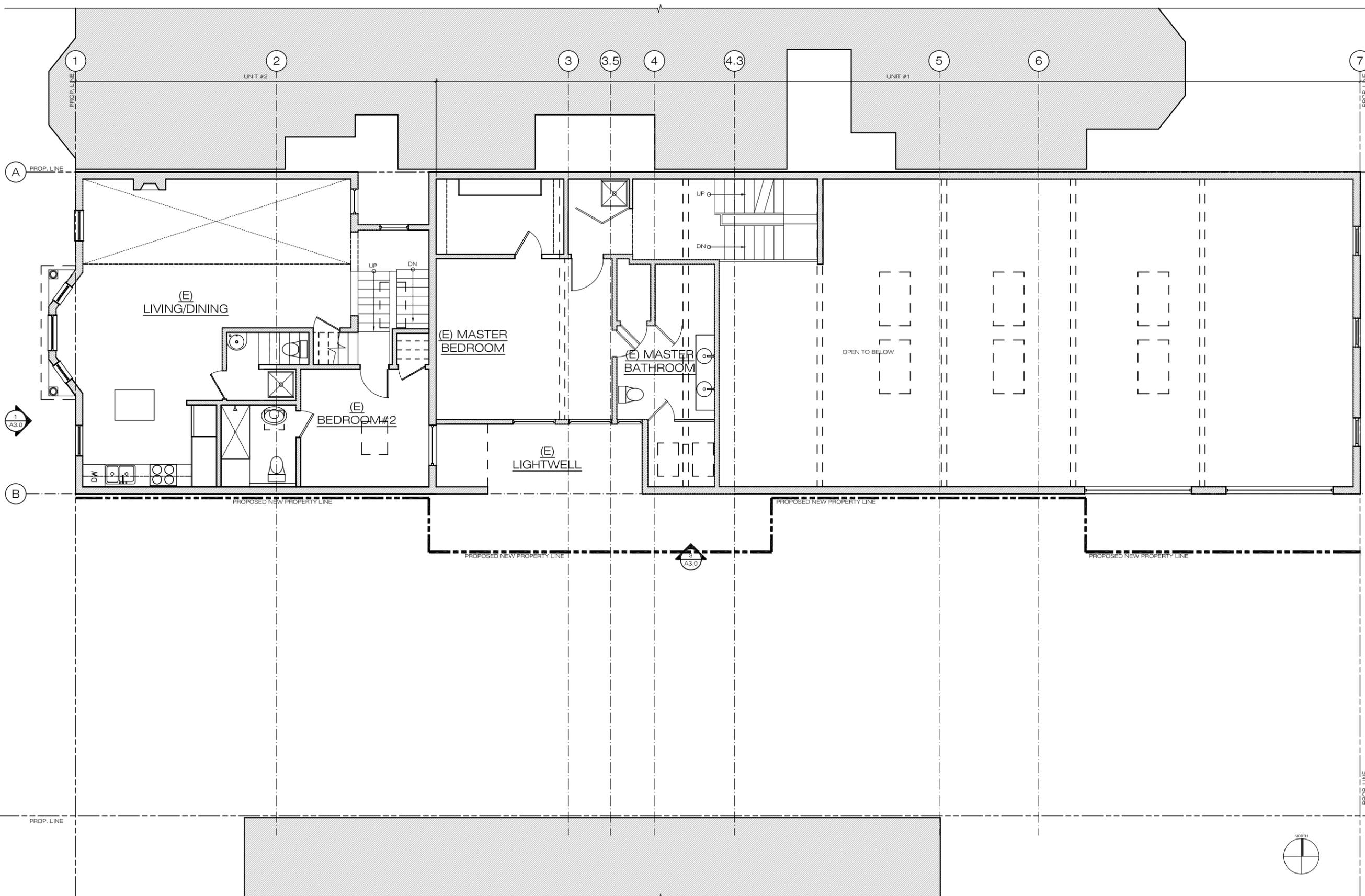
REVISION PERMIT	04/07/09
VARIANCE SUBMITTAL	10/13/11

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 Scale AS NOTED
 Date 13 OCTOBER 2011
 Title FLOOR PLANS

Checked By
 Project Number

Sheet
A2.6

Preliminary
 Not for Construction



SECOND LEVEL
 1/4"=1'-0"

ALBION RESIDENCES
 VARIANCE APPLICATION

141 ALBION STREET
 SAN FRANCISCO, CA 94110
 BLOCK / LOT : 3568/068

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VARIANCE SUBMITTAL 10/13/11

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Scale AS NOTED Project Number

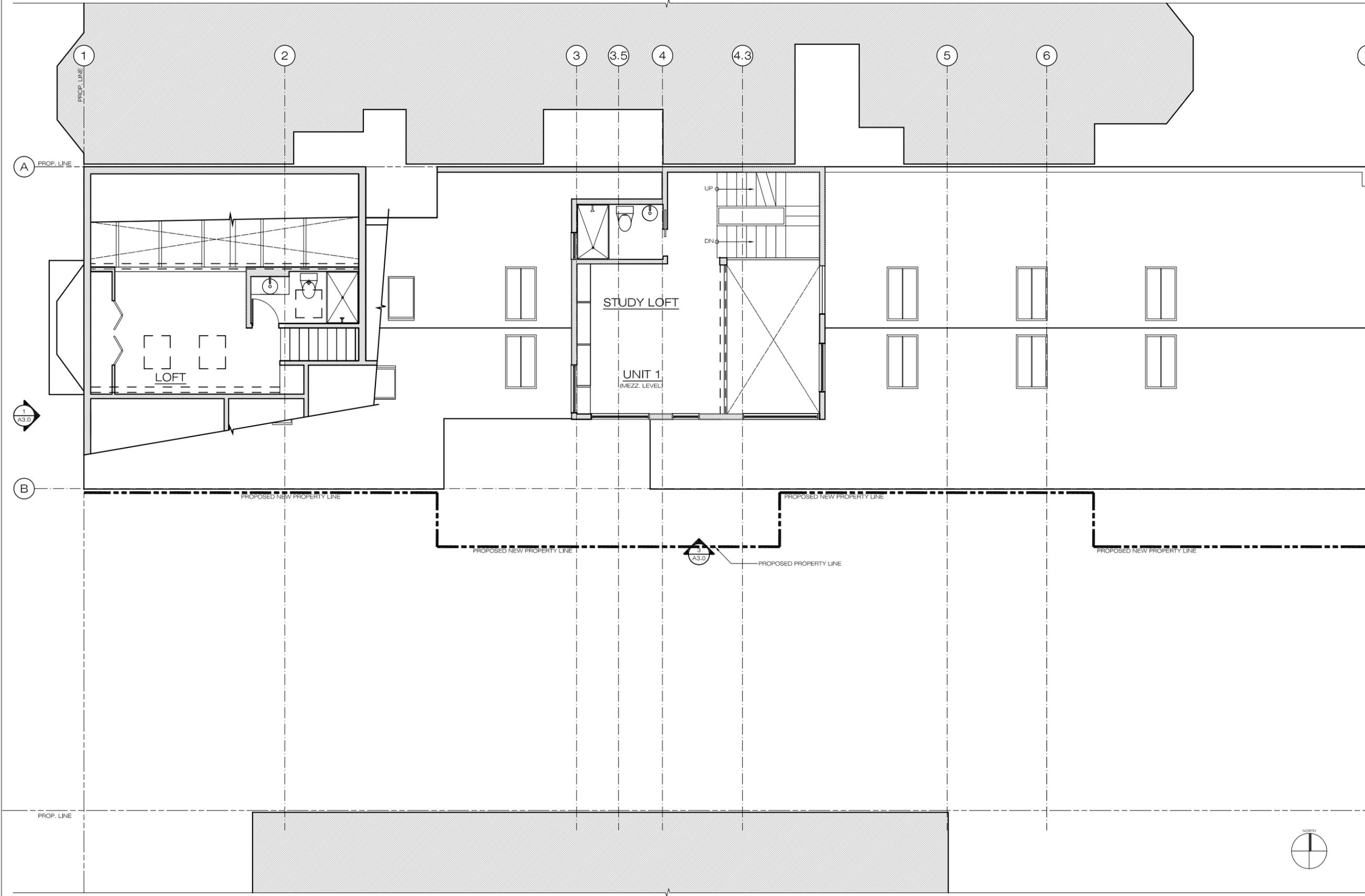
Date 13 OCTOBER 2011

Title
**FLOOR PLANS -
 THIRD LEVEL**

Sheet

A2.7

Preliminary
 Not for Construction



THIRD LEVEL
 1/4"=1'-0"

ALBION RESIDENCES
 VARIANCE APPLICATION

141 ALBION STREET
 SAN FRANCISCO, CA 94110
 BLOCK / LOT : 3568/068

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REVISION PERMIT 04/07/09

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Scale AS NOTED Project Number

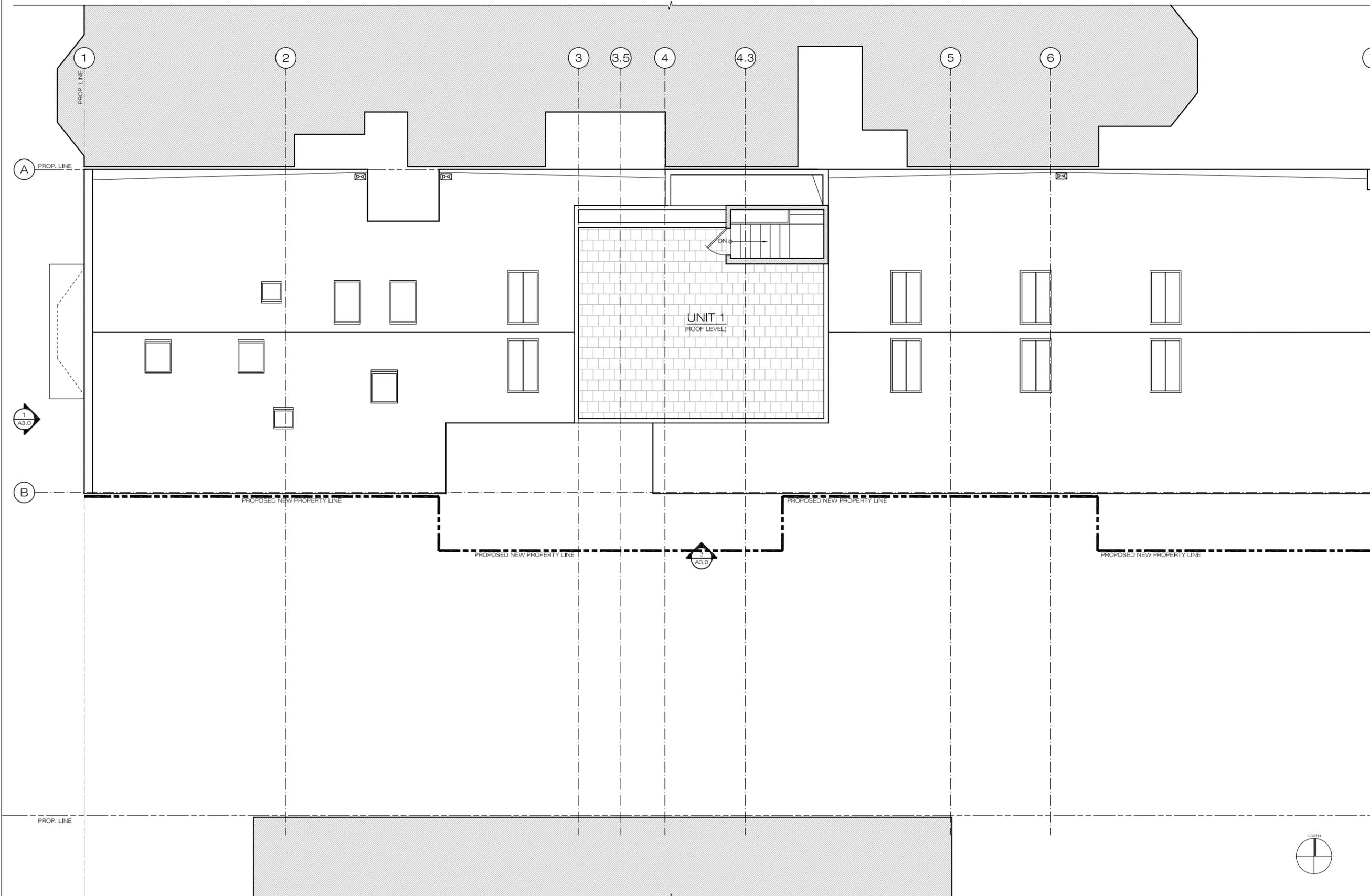
Date 13 OCTOBER 2011

Title
**FLOOR PLANS -
 ROOF LEVEL**

Sheet

A2.8

Preliminary
 Not for Construction



THIRD LEVEL
 1/4"=1'-0"

ALBION RESIDENCES
 VARIANCE APPLICATION

141 ALBION STREET
 SAN FRANCISCO, CA 94110
 BLOCK / LOT : 3568/068

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VARIANCE SUBMITTAL 10/13/11

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Scale AS NOTED Project Number

Date 13 OCTOBER 2011

Title
BUILDING ELEVATIONS -

Sheet

A3.0

Preliminary
 Not for Construction



SOUTH (SIDE) ELEVATION: EXISTING BUILDING
 3/16"=1'-0"



WEST (STREET) ELEVATION: EXISTING
 3/16"=1'-0"

3

1

ALBION RESIDENCES
 VARIANCE APPLICATION

141 ALBION STREET
 SAN FRANCISCO, CA 94110
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REVISION PERMIT 04/07/09

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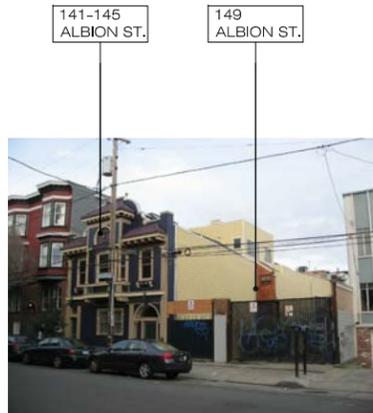
Scale Project Number

Date
 13 OCTOBER 2011

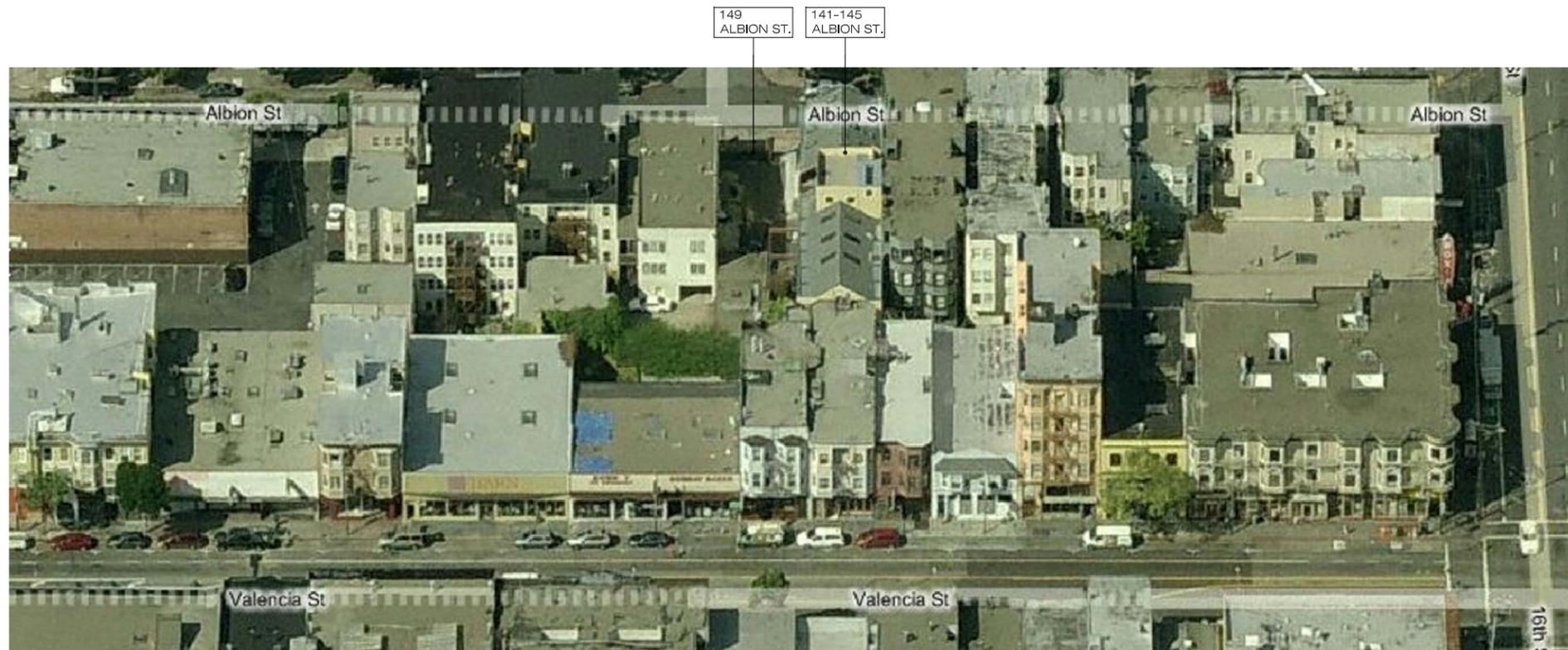
Title
 SITE PHOTOS

Sheet

Preliminary
 Not for Construction



141-49 ALBION STREET
 STREET VIEW



ARIAL AXON REAR VIEW

3



EAST SIDE VIEW

2



WEST SIDE VIEW

1