



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 28, 2011**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	3367-69 21st St	Case No.:	2011.0122V
Cross Street(s):	Guerrero And Valencia Street	Building Permit:	2010.11.24.5641
Block / Lot No.:	3617/069	Applicant/Agent:	Kitty Smith-Russack
Zoning District(s):	RH-3 / 40-X	Telephone:	415 821-4916
Area Plan:	Mission	E-Mail:	smith-russack@sbcglobal.net
PROJECT DESCRIPTION			
<p>The proposal includes exterior alterations, construction of an infill addition below an existing first-story addition and construction of a new deck on the rear façade at the ground, first and second floor levels. The proposed deck would not extend further into the required rear yard than the existing building.</p> <p>PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 22 feet 6 inches, which is based upon the minimum 25% rear yard requirement. Currently, the existing building projects approximately 10 feet into the required rear yard. The proposed decks and first floor infill addition would align to the depth of the existing building and would also project approximately 10 feet into the required rear yard, thus resulting in a rear yard of approximately 12 feet 6 inches. Therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Richard Sucre Telephone: 415-575-9108 Mail: Richard.Sucre@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0122V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On September 2, 2011, the Department issued the required Section 311 notification for this project (expires October 2, 2011).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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Para información en Español llamar al: 558.6378

CONTACT INFORMATION:

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GENERAL CONTRACTOR
LOGAN DESIGN & CONSTRUCTION
CA LISCECE # 751239
9 PROSPECT AVE
SAN FRANCISCO, CA 94110
415.341.4100

KITTY & VIRGINIA SMITH-RUSSACK
HOME OWNER
3367 21ST STREET
SAN FRANCISCO, CA 94110

MICHEAL HOMM
HOMM-PISANO ENGINEERING
415.713.8087

ARCHITECTURAL GENERAL NOTES:

1. CODE COMPLIANCE:

A. ALL WORK SHALL COMPLY WITH THE CALIFORNIA UNIFORM BUILDING CODE CURRENT EDITIONS, INCLUDING ALL LOCAL CODES AND COMPLIANCES

B. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE CURRENT EDITIONS, AS AMENDED BY THE LOCAL MUNICIPALITY
2. DIMENSIONING:

A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY THE DESIGNER OF ANY DISCREPANCIES. IF CONSTRUCTION IS STARTED PRIOR TO NOTIFICATION, THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) PROCEED AT THEIR OWN RISK.

B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE/MASONRY WALLS. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL, FIXTURES, AND APPLIANCES PRIOR TO COMMENCEMENT OF WORK. NOTIFY THE DESIGNER OF ANY DIMENSIONAL DISCREPANCIES RELATED TO REQUIRED TOLLERANCES.
3. DOCUMENT REVIEW/VERIFICATION:

A. CONSULT WITH DESIGNER REGARDING ANY SUSPECTED ERRORS, OMMISIONS OR CHANGES ON PLANS PRIOR TO COMMENCEMENT OF WORK
4. ROUGH OPENING/BACKINGS:

A. VERIFY SIZE AND LOCATION. PROVIDE ALL NECESSARY OPENINGS THOUGH FLOORS AND WALLS. PROVIDE FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING TO ENSURE A COMPLETE AND PROPER INSTALLATION OF SURFACE MOUNTED ITEMS.
5. FURRING:

A. PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL, STRUCTURAL, AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT NOT SHOWN ON PLANS SHALL BE APPROVED BY DESIGNER PRIOR TO CONSTRUCTION.
6. GRADING:

A. VERIFY ALL GRADING AND THE RELATIONSHIP TO BUILDING PRIOR TO COMMENSMENT OF WORK.
7. FLOOR LINES:

A. FLOOR LINE NOTED ON PLANS REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
8. REPETATIVE FEATURES:

A. OFTEN SHOWN ONLY ON TIME. SHALL BE COMPLETELY PROVIDED FOR AS IF DRAWN IN FULL.
9. WOOD MEMBERS:

A. WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR EXPOSED TO EARTH/WEATHER SHALL BE PRESSURE TREATED, TYPICAL.
10. FRAMING:

A. ALL INTERIOR FRAMING PARTITIONS SHALL BE 2"x 4" @ 16" o.c.

B. ALL EXTERIOR FRAMING SHALL BE 2"x 4" WITH SIZE AND SPACING PER STRUCTURAL DRAWINGS UNLESS OTHERWISE NOTED.
11. VENTILLATION:

A. VENT ALL BATHROOM AND KITCHEN FANS TO THE OUTSIDE ATMOSPHERE. BATHROOM AND KITCHEN FANS SHALL BE CAPABLE OF FIVE AIR EXCHANGES PER HOUR, AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE OF THE BUILDING ENVELOPE VIA SMOOTH, RIGID, NON-CORROSIVE 24 GAUGE METAL DUCTWORK.

B. FLEX DUCTWORK NOT PERMITTED.
12. SECURITY NOTES PER USB:

A. IF NEW WATER HEATER IS REQUIRED AND IS OVER 4 FEET IN HEIGHT, IT SHALL BE EQUIPPED WITH EARTHQUAKE ANCHORING AND STRAPPING AND SHALL BE ELEVATED 18 INCHES ABOVE THE GARAGE
13. OTHER DOCUMENTATION:

A. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS, NOTES, SCHEDULES AND OTHER INFORMATION PERTAINING TO THE PROJECT.

SCOPE OF WORK:

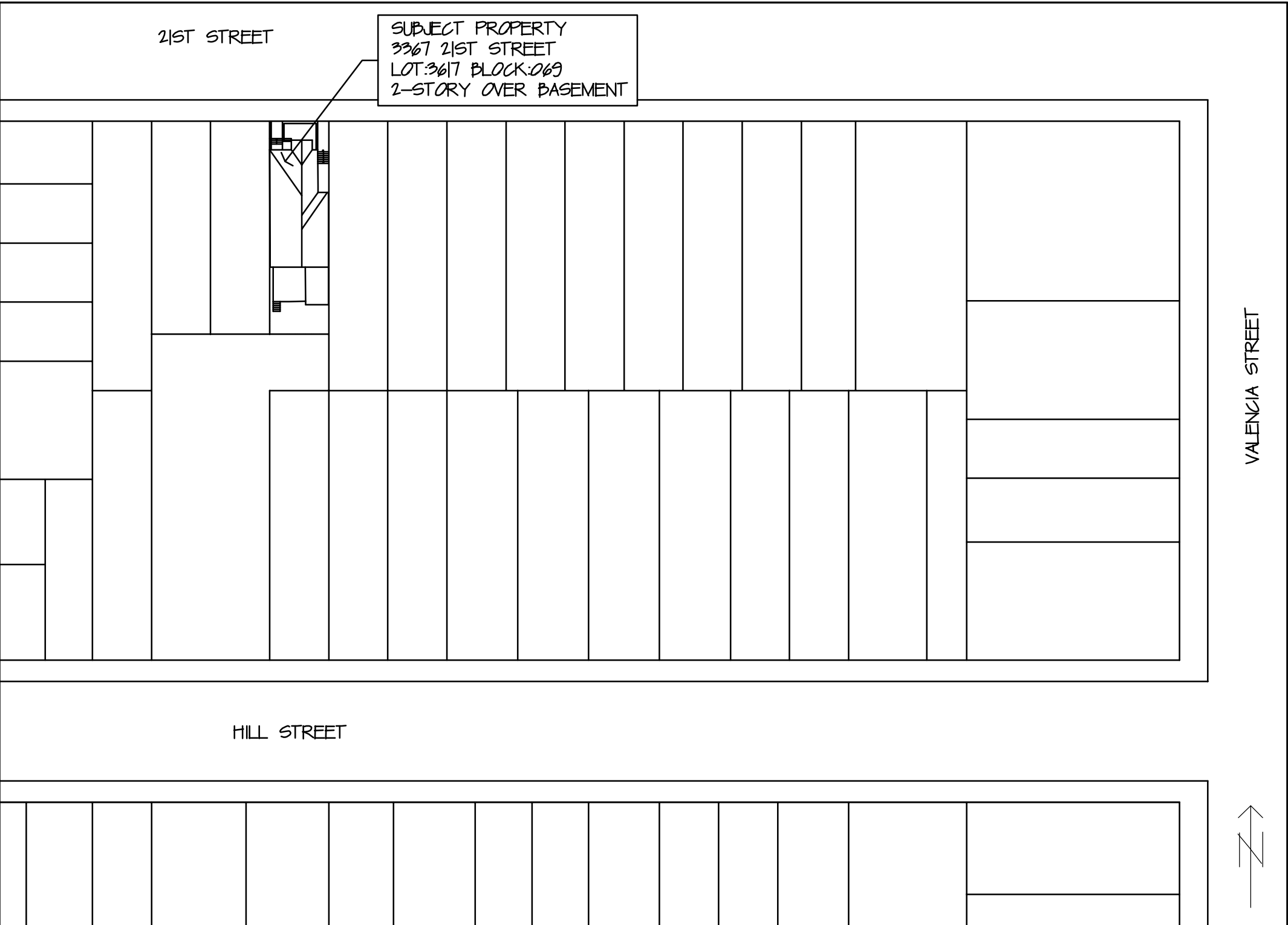
THE PROJECT IS LOCATED AT THE REAR OF THE PROPERTY AT 3367 21ST STREET. THE WORK WILL CONSIST OF IN-FILLING THE AREA BELOW THE FIRST FLOOR ENCLOSED DINING ROOM TO CREATE A NEW BEDROOM ON THE BASEMENT LEVEL. THE REAR DECKS ON THE FIRST AND SECOND FLOORS WILL BE REBUILT & REDUCED IN WIDTH AND THE DEPTH, TOWARD THE REAR PROPERTY LINE, WILL BE INCREASED BY APPROX. 2'-8". THE BASEMENT LEVEL DECKS WILL BE REMOVED AND REPLACED WITH A LOWER PATIO. ALSO INCLUDED IS THE ADDITION OF ONE WINDOW IN THE LOWER SERVICE ENTRANCE IN THE FRONT/SIDE ALLEY. ADDITIONALLY, IN-KIND REPAIR WORK WILL OCCUR AT THE STAIRS LEADING DOWN TO THE LOWER SERVICE ENTRANCE.

PROJECT INFORMATION:

BLOCK: 3617
LOT: 069
ZONING: RH-3
CONSTRUCTION TYPE: V

SHEET INDEX:

A0	GENERAL NOTES, CONTACT INFORMATION, SCOPE OF WORK, LOCATION MAP AND SHEET INDEX
A0.1	SITE PLAN
A1	EXISTING BASEMENT FLOOR PLAN, PROPOSED BASEMENT FLOOR PLAN
A2	EXISTING FIRST FLOOR PLAN, PROPOSED FIRST FLOOR PLAN
A3	EXISTING SECOND FLOOR PLAN, PROPOSED SECOND FLOOR PLAN
A4	EXISTING ROOF PLAN, PROPOSED ROOF PLAN
A5	PROPOSED ELECTRICAL PLAN
A6	PROPOSED REAR (SOUTH) ELEVATION WITH ADJACENT PROPERTIES
A7	PROPOSED WEST SIDE ELEVATION
A8	PROPOSED EAST SIDE ELEVATION
S1.0	STRUCTURAL NOTES
S2.1	STRUCTURAL FOUNDATION/FIRST FLOOR FRAMING PLAN
S3.1	STRUCTURAL SECOND FLOOR FRAMING PLAN
S4.1	STRUCTURAL DETAILS
S4.2	STRUCTURAL DETAILS



SITE MAP:

N.T.S

REVISION

BY

Logan Design & Construction

LOGAN DESIGN & CONSTRUCTION
CA LICENSE 751239
9 PROSPECT AVENUE
SAN FRANCISCO, CA 94110
415.341.4100

SMITH-RUSSACK RESIDENCE
3367 21ST STREET
SAN FRANCISCO, CA 94110

CONTACT INFO
GENERAL NOTES
LOCATION MAP

DATE:

7/5/2011

SCALE:

N.T.S

DRAWN BY:

TL

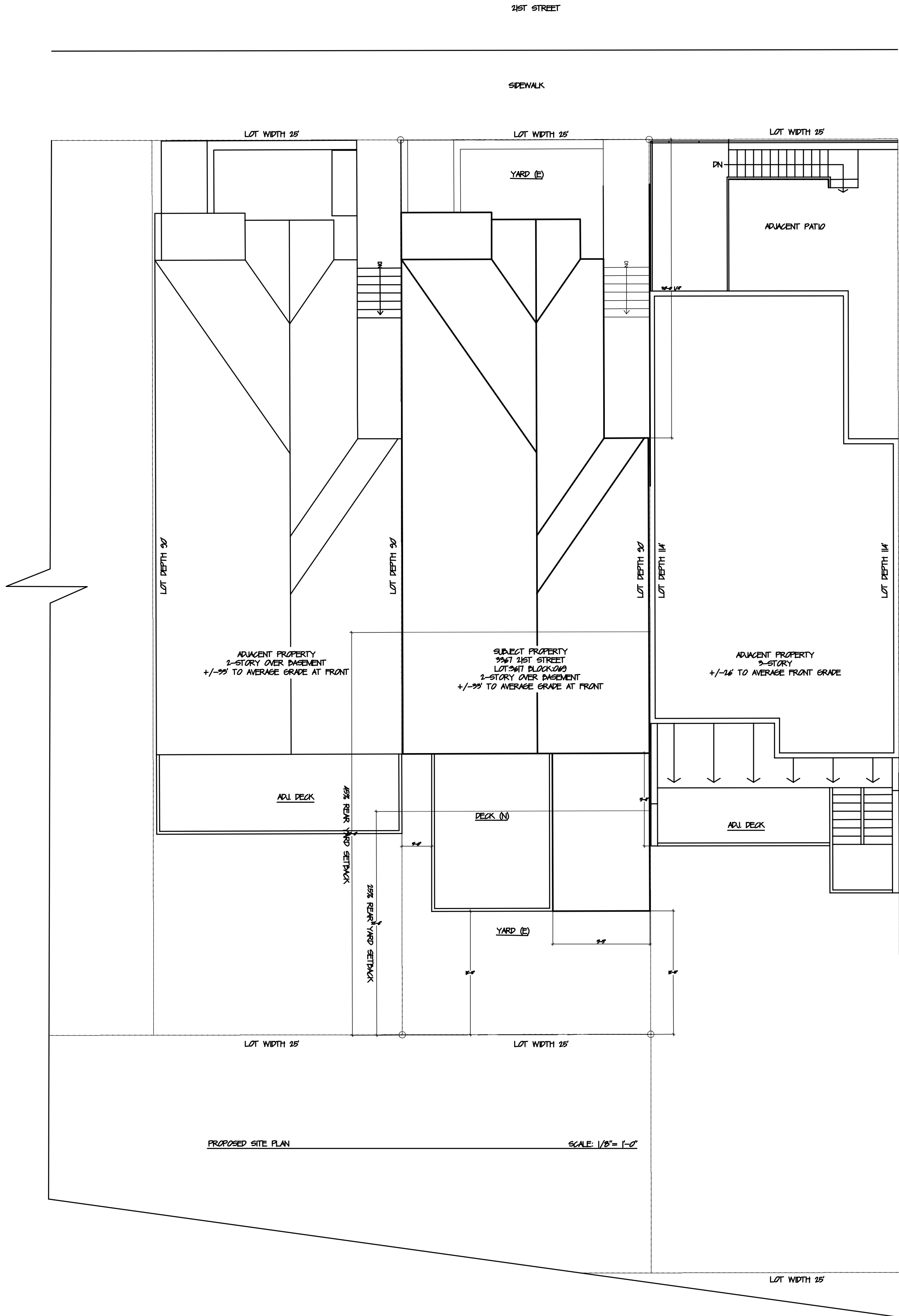
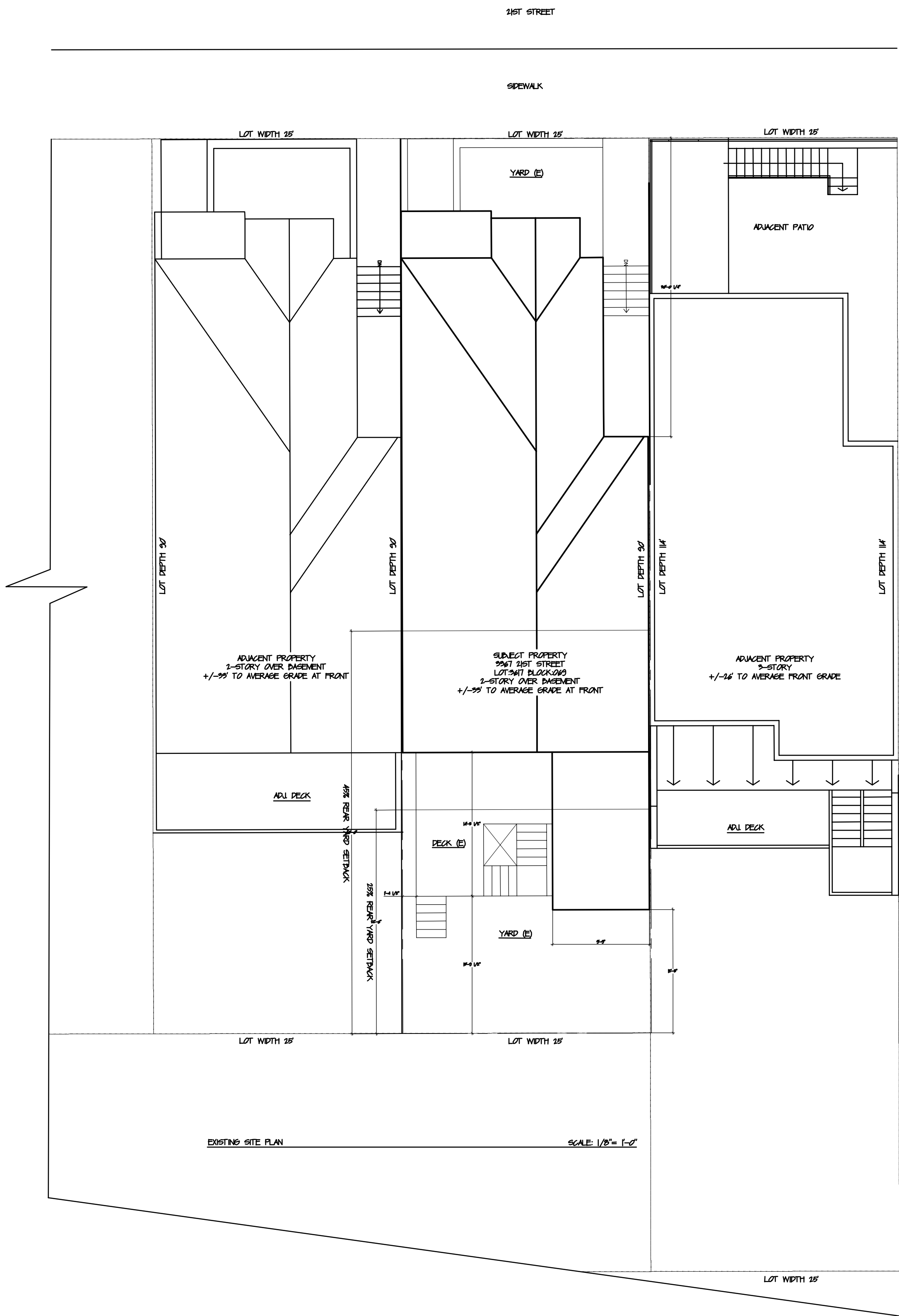
JOB:

21ST

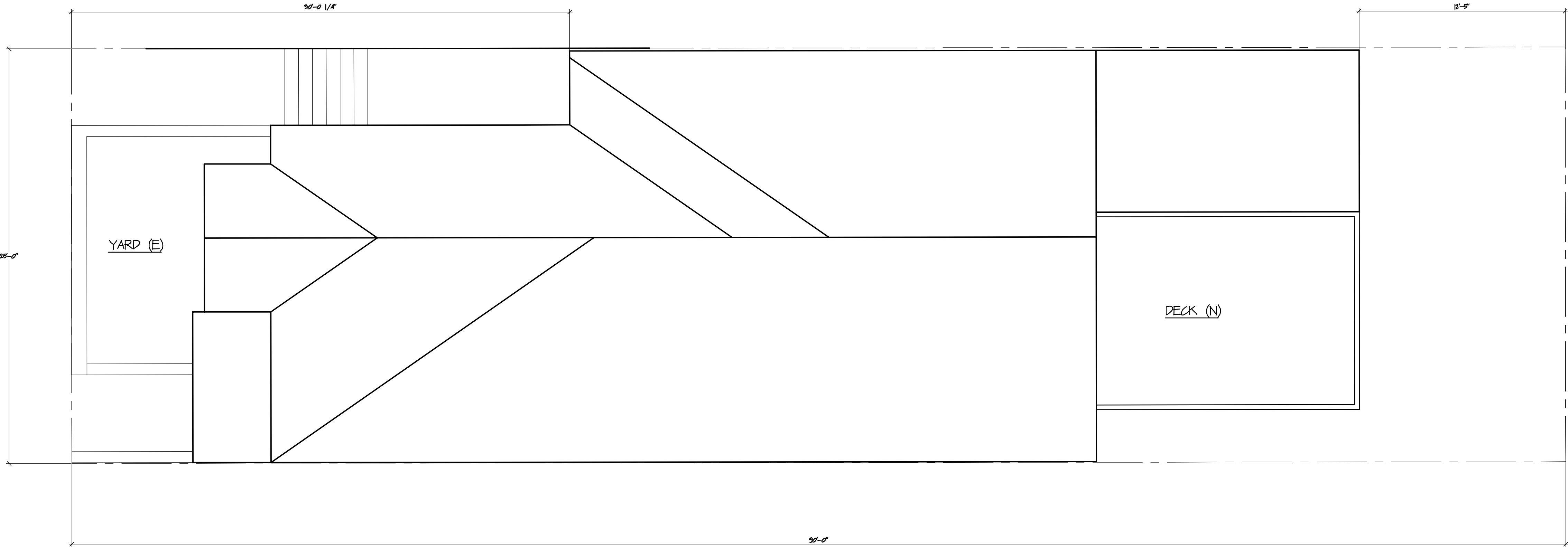
SHEET:

A.0

1 of 15

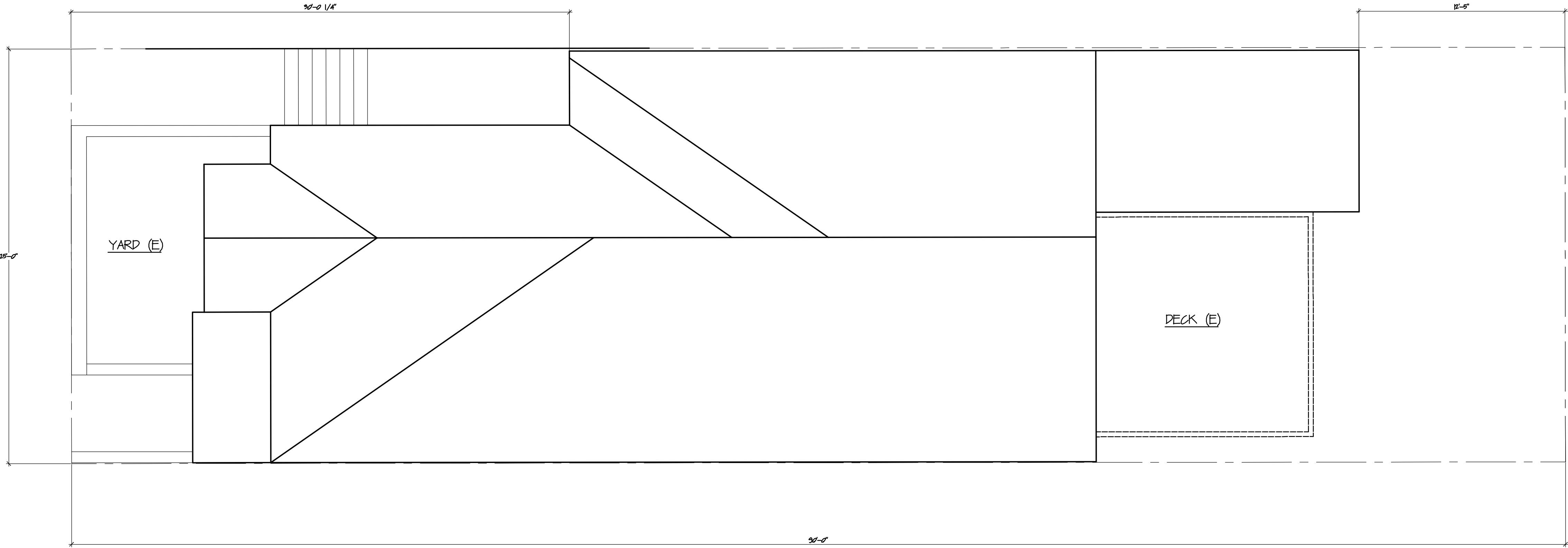


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SMITH-RUSSACK RESIDENCE 3967 21ST STREET SAN FRANCISCO, CA 94110	
SITE PLANS	
DATE: 7/5/2011	
SCALE: 1/8" = 1'-0"	
DRAWN BY: TL	
JOB: 21ST	
SHEET: A.O.1 2 of 15	



PROPOSED ROOF PLAN

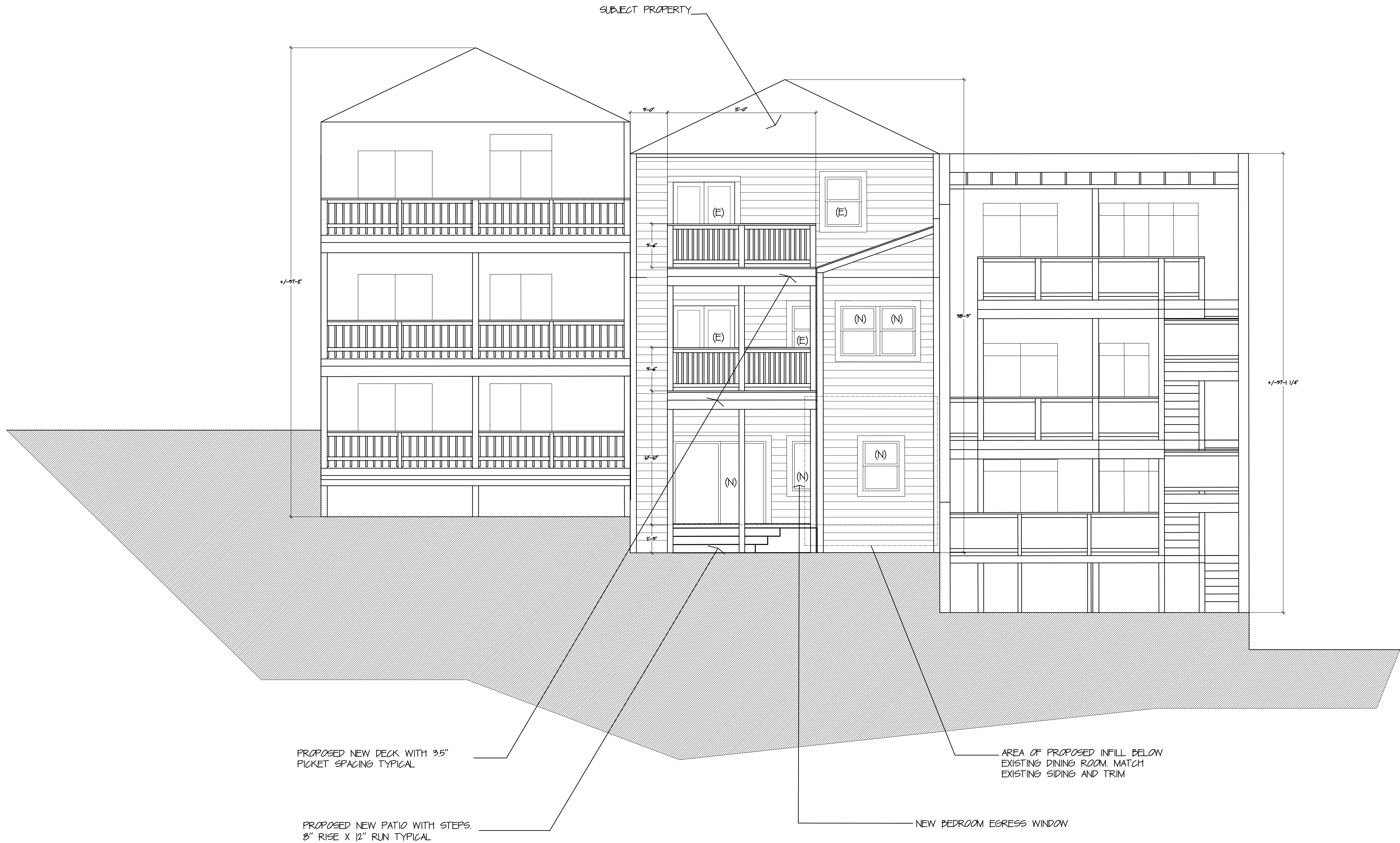
SCALE: 1/4"= 1'-0"



EXISTING ROOF PLAN

SCALE: 1/4"= 1'-0"

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SMITH-RUBGACK RESIDENCE 3367 21ST STREET SAN FRANCISCO, CA 94110	
EXISTING & PROPOSED ROOF PLANS	
DATE: 7/5/2011	
SCALE: 1/4"= 1'-0"	
DRAWN BY: TL	
JOB: 21ST	
SHEET: A4	
6 OF 15	



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SMITH-RUBACK RESIDENCE 3967 21ST STREET SAN FRANCISCO, CA 94110	
PROPOSED REAR ELEVATION WITH ADJACENT PROPERTIES	
DATE: 7/5/2011	
SCALE: 1/4" = 1'-0"	
DRAWN BY: TL	
JOB: 21ST	
SHEET: A.6 8 of 15	



PROFILE OF ADJACENT HOUSE TO THE WEST (BEHIND VIEW PLANE)

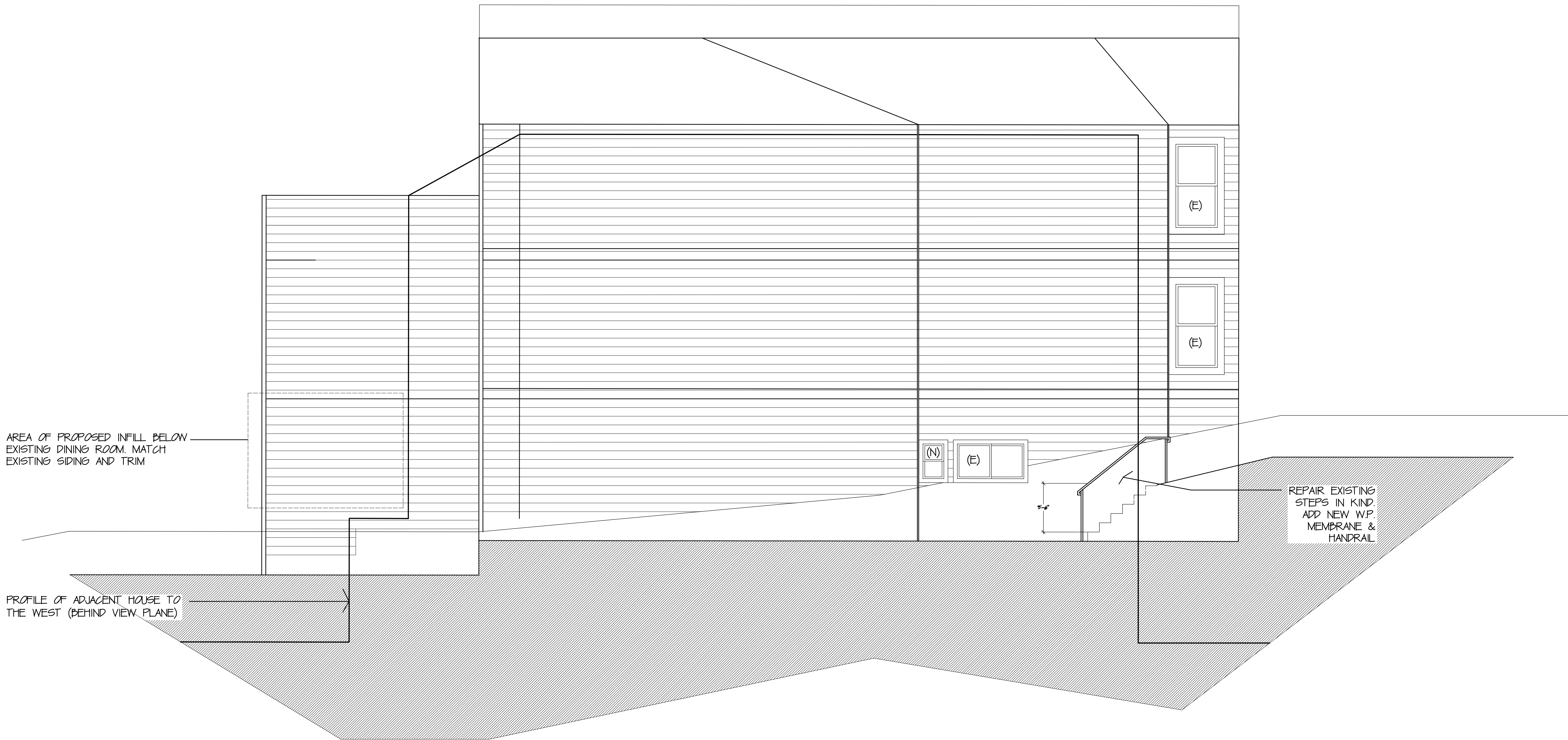
PROPOSED NEW DECK WITH 3.5" PICKET SPACING TYPICAL

AREA OF PROPOSED INFILL BELOW EXISTING DINING ROOM. MATCH EXISTING SIDING AND TRIM

PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

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SMITH-RUBGACK RESIDENCE 3967 21ST STREET SAN FRANCISCO, CA 94102	
WEST SIDE ELEVATIONS	
DATE: 7/5/2011	
SCALE: 1/4" = 1'-0"	
DRAWN BY: TL	
JOB: 21ST	
SHEET: A.7 9 OF 15	



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SMITH-RUBGACK RESIDENCE 3967 21ST STREET SAN FRANCISCO, CA 94110	
EAST SIDE ELEVATION	
DATE: 7/5/2011	
SCALE: 1/4" = 1'-0"	
DRAWN BY: TL	
JOB: 21ST	
SHEET: A.8 10 of 15	