



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 23, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 197-199 Chattanooga St. Cross Street(s): 22nd and 23rd Sts. Block /Lot No.: 3630/018 Zoning District(s): RH-2 / 40-X Area Plan: N/A	Case No.: 2011.0080V Building Permit: 2010.12.29.7546 Applicant/Agent: James Stavoy Telephone: (415) 553.8696 E-Mail: jgstavoy@pacbell.net
PROJECT DESCRIPTION	
<p>The proposal is to replace the existing wood egress stairs at the rear of the building with spiral stairs and enlarge the existing decks. The new spiral stairs would extend to the roof for access to a new roof deck at the northeast corner of the building. The roof deck railing would extend approximately 20-inches above the existing roof parapet.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 15 feet. The proposed deck and stairs would extend to the rear property line, encroaching approximately 15 feet into the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.</p> <p>PER SECTION 188 OF THE PLANNING CODE a noncomplying structure cannot be replaced once it is voluntarily removed or enlarged in a manner that would increase the degree of noncompliance. The existing rear portion of the building and existing rear stair to be replaced are legal noncomplying because they already extend to the rear property line, encroaching approximately 15 feet into the required rear yard; therefore, the project requires a variance from Section 188 of the Planning Code.</p>	
ADDITIONAL INFORMATION	
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Michael Smith Telephone: (415) 558-6322 E-Mail: michael.e.smith@sfgov.org</p> <p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0080V.pdf</p>	

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The required Section 311 notification for this project was mailed on March 8, 2011 and will expire on April 7, 2011.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

STALP RESIDENCE REMODEL
197/199 CHATTANOOGA STREET
SAN FRANCISCO, CALIFORNIA 94114

SHEET INDEX

- A-1 EXISTING & PROPOSED SITE PLAN
A-2 GROUND LEVEL & SECOND FLOOR PLAN
A-3 THIRD AND ROOF LEVEL FLOOR PLAN
A-4 SOUTH AND EAST ELEVATION
A-5 TRANSVERSE & LONGITUDINAL BUILDING SECTIONS

- D-1 (E) GROUND & SECOND FLOOR PLAN
D-2 (E) THIRD & ROOF PLAN
D-3 (E) SOUTH & EAST ELEVATION
D-4 (E) BUILDING SECTIONS

PROJECT INFORMATION

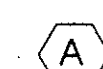
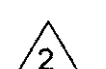


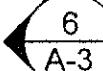

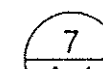
Block: 2000 EXISTING 2 FLATS OVER GARAGE
Lot: 010 TYPE V.B. WOOD FRAME CONSTRUCTION
Zoning: RH-2
Building Code: 2007 California Building Code with Mechanical, Electrical, Plumbing and San Francisco Building Code Amendments.

Scope of Work: REPLACE NON-CODE COMPLIANT WOOD STAIR @ REARYARD
WITH NON-CURVED REQUIRED MFD METAL 5'-0" WIPAL STAIR
NEW WOOD DECKS AT 2ND, 3RD & ROOF FOR USABLE OUTDOOR
OPEN SPACE. WIDEN (E) GARAGE DOOR TO 12'-0" W/ NEW
10'-0" CURB CUT

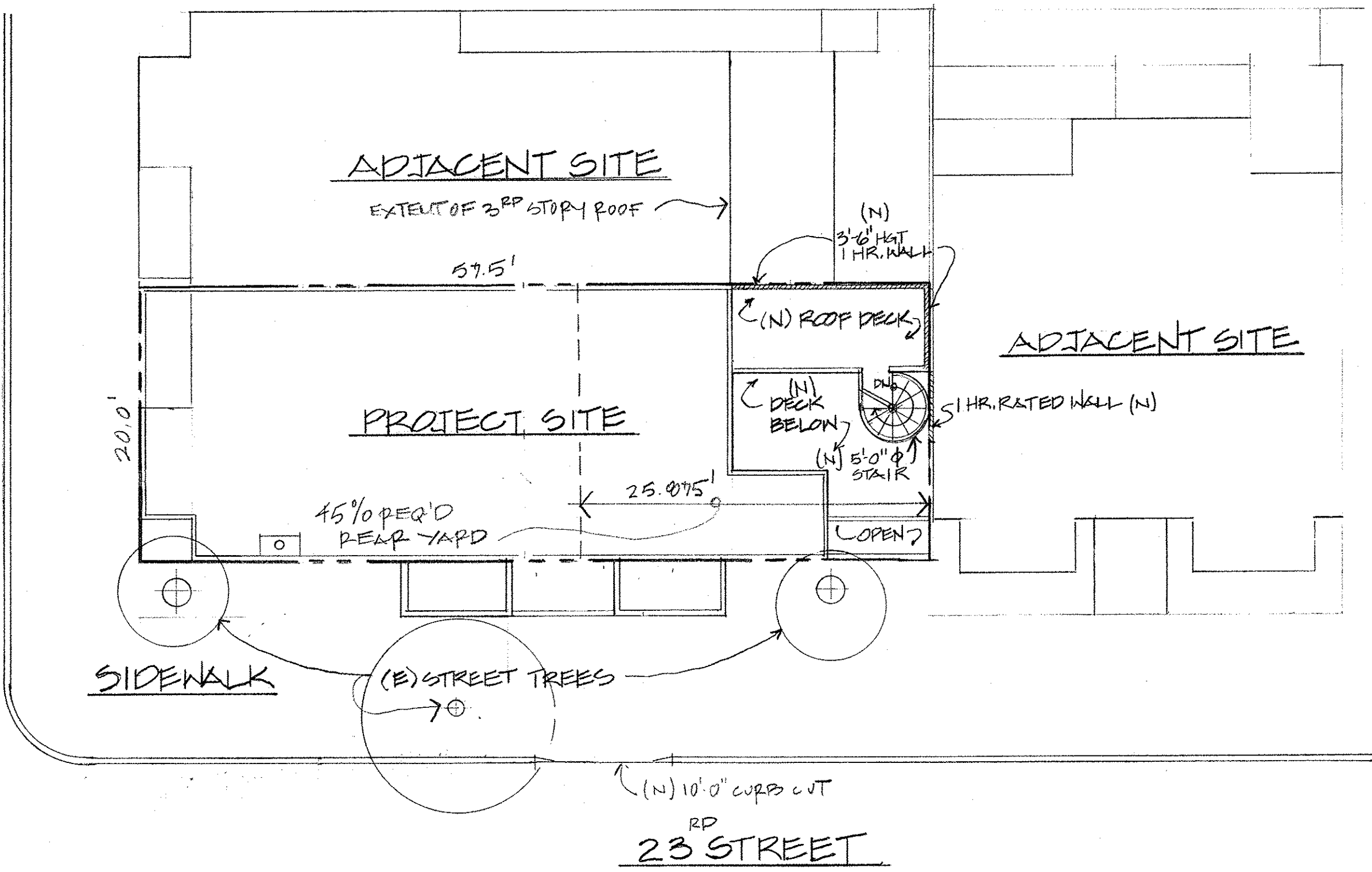
GENERAL NOTES

- All work shall be done in conformance with the California Building Code currently adopted, as well as all applicable code and pertinent federal, state, county and municipal ordinances.
- The Contractor shall verify all dimensions and coordinate the scope of all work with the contract documents and existing conditions before starting construction. Discrepancies between Architect's, Engineer's or Manufacturer's construction details shall be resolved to satisfy the most stringent requirement. Notify the Architect or Engineer of special or unusual conditions before proceeding with the work.
- All dimensions take precedent over scale. The Contractor shall not scale the drawings with the intent of determining exact placement or location of particular assemblies. All plan dimensions indicated are to column centerline, to face of concrete, to finished face of gypsum board, or to face of masonry U.O.N.
- Details as shown are typical. All conditions not specifically detailed on the drawings shall be similar to those shown or implied or shall match existing conditions.
- The Contractor shall complete and perform all work in a good, professional manner at a level, quality and tolerance consistent with the standards of the construction industry. The Construction Documents are provided to illustrate the design and general intent of construction desired and imply the finest quality of construction, material and workmanship throughout.
- The Contractor shall maintain the integrity of all scaffolding, shoring and bracing systems as required for the installation of new work and shall provide permanent stability for existing and new facilities.
- Contractor shall provide all necessary blocking, backing, framing, hangers and/or other supports for all fixtures, equipment, casework, furnishing and all other items requiring same.
- When penetrating existing soil substrate, verify depths and locations of adjacent piping and foundation systems. All stumps, roots and vegetation shall be removed from the soil to a depth of at least 12" below grade in an area to be occupied by the building. All wood concrete forms shall be removed from the site. Before completion, loose or casual wood shall be removed from direct ground contact under the building.
- Contractor shall take suitable measures to prevent interaction between dissimilar metals.
- Mechanical, Plumbing and Electrical sectors of the work shall comply with the CBC, as well as all applicable reference codes (CMC, CEC and CPC) and ordinances appertaining. Gauges and sizes, construction methods, and specifications of materials and equipment shown, noted or detailed shall be in accordance with all applicable standards. All fixtures and fittings shall be properly plumbed and vented. The Contractor shall trace all new and existing electrical circuitry falling within the scope of work detailed herein back to the breaker box to ensure proper loading and convenient grouping per leg of service. Where applicable, the Contractor shall coordinate with local utility agencies all work entailing additional service and connection, off- and on-site, and do so in a manner that will neither delay nor encumber the orderly execution of dependent work. Energy Conservation methods and materials shall comply with California administrative code, Title 24.
- All revisions, addenda and Change Orders must be reviewed by the Architect and approved by the Owner. Submittals for such review shall be scheduled and coordinated by the Contractor so as not to delay or encumber the orderly execution of all work falling within the scope of the project herein documented.
- The Contractor shall be solely responsible for safety on the Project Site and shall adhere to, all Federal, State, County, Municipal and O.S.H.A. safety regulations.
- The Contractor shall maintain all proper Worker's Compensation and Liability Insurance throughout the duration of construction.

SYMBOLS

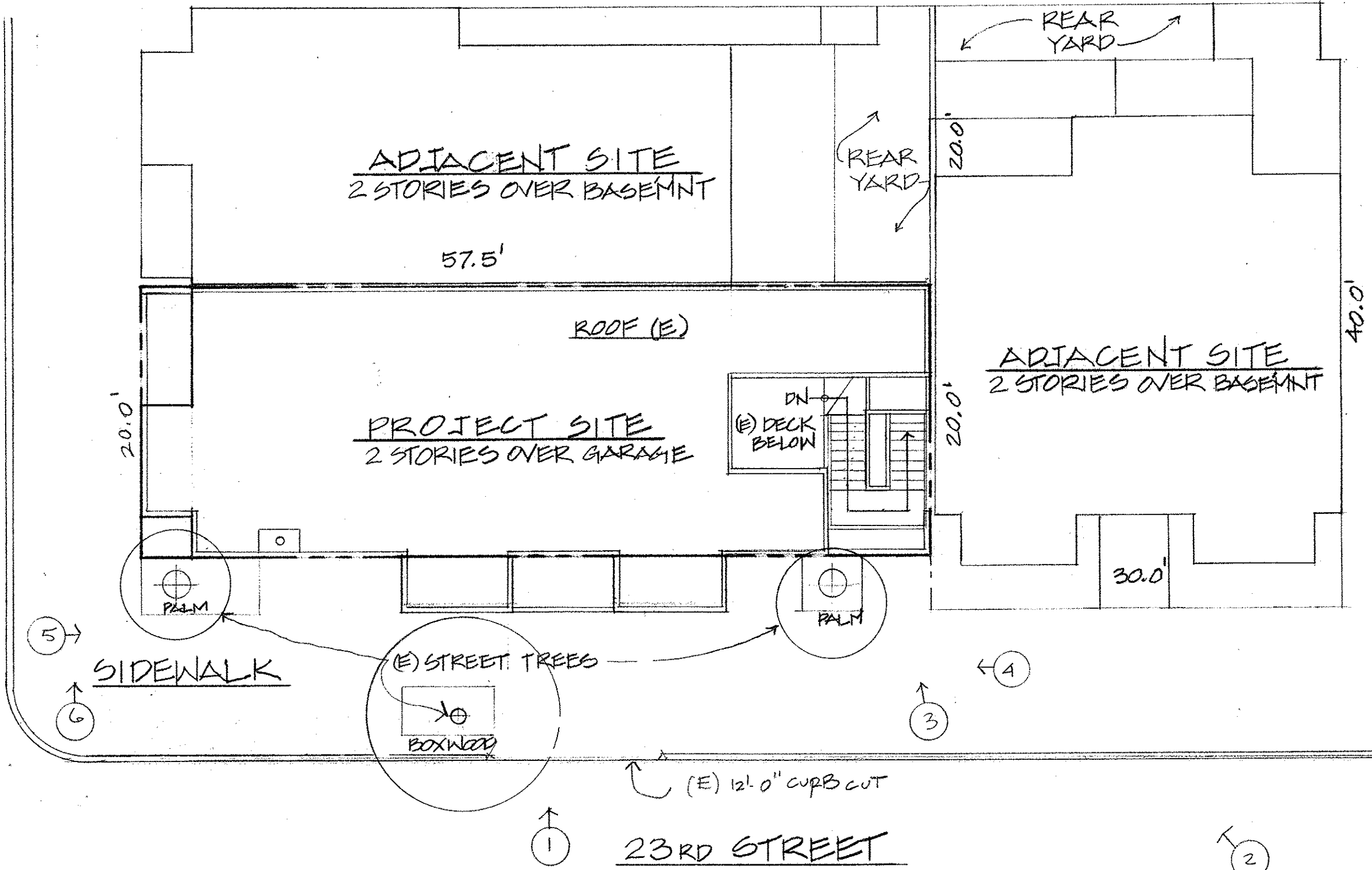
- | | | | |
|---|------------------------------|---|------------------|
|  | Window Symbol |  | Revision Marker |
|  | Door Symbol |  | Datum Point |
|  | drawing sheet Section Marker |  | Elevation Marker |
|  | drawing sheet Detail Marker | | |

CHATTANOOGA STREET

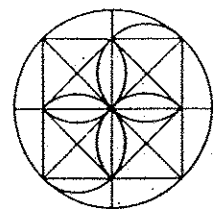


SITE PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

CHATTANOOGA STREET



SITE PLAN - EXISTING
SCALE: 1/8" = 1'-0"



JAMES C STAVOY
ARCHITECT
AIA

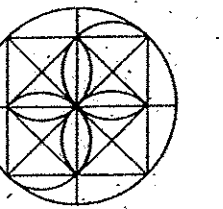
679 Sanchez Street
San Francisco, California
94114
415-553-8696

STALP RESIDENCE REMODEL
197/199 CHATTANOOGA STREET
SAN FRANCISCO, CALIFORNIA 94114

SITE PLAN - EXISTING
AND PROPOSED

NO. 10016
DATE 12-29-10
SITE PERMIT 12-29-10
REVISIONS INTO 1-27-11
VAPORANCE

A-1



JAMES G STAVOY
ARCHITECT
AIA

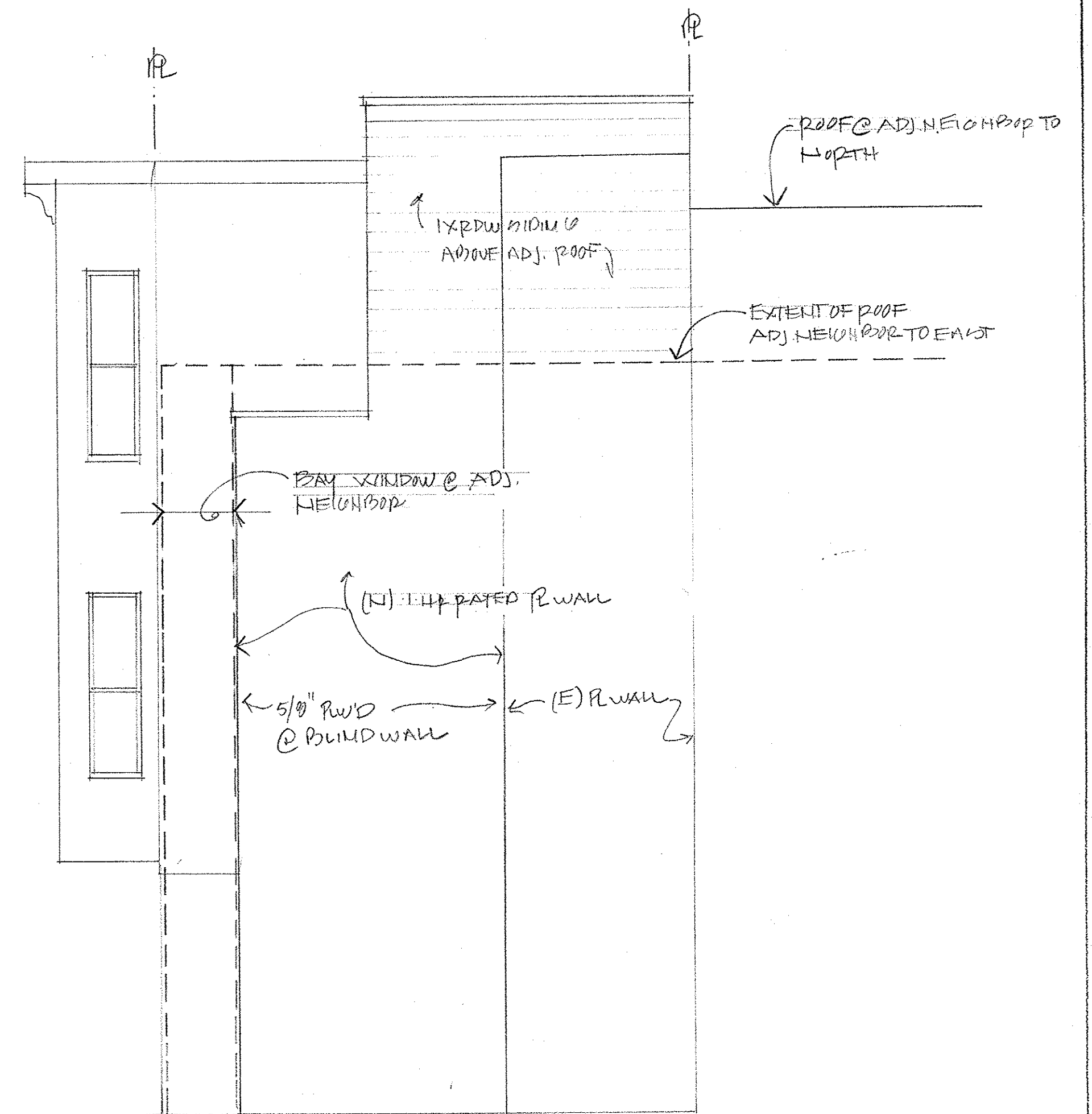
679 Sanchez Street
San Francisco, California
94114
415-553-8696

STALP RESIDENCE REMODEL
197/199 CHATTANOOGA STREET
SAN FRANCISCO, CALIFORNIA 94114

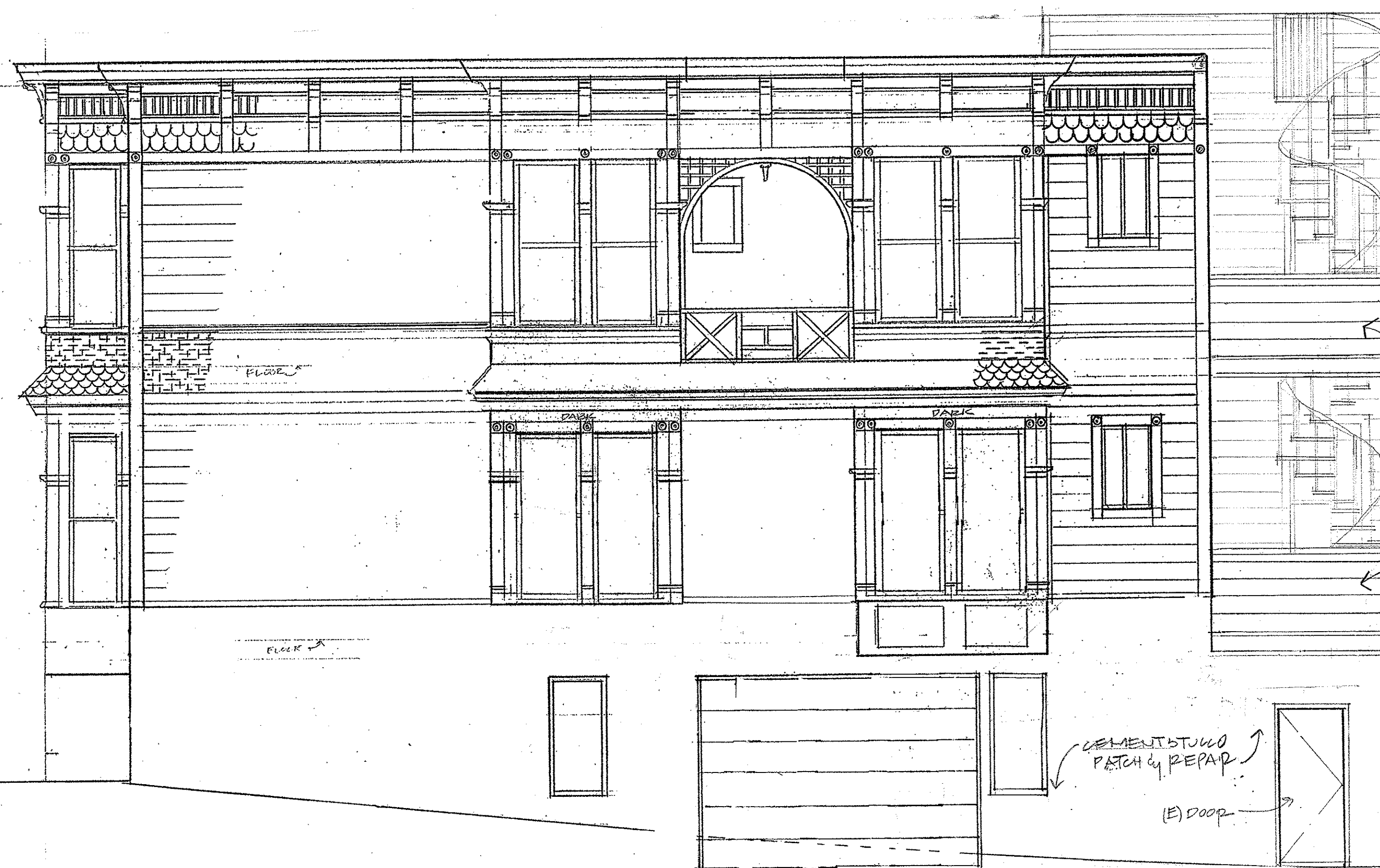
SOUTH & EAST
ELEVATIONS

NO. 12-29-10
DATE 12-29-10
SITE PERMIT 1-21-11
REAPPLICATION MTC 1-27-11
VARIANCE

A-4

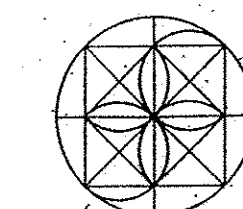


EAST ELEVATION
SCALE 1/4"=1'-0"



SOUTH ELEVATION (23RD ST.)
SCALE 1/4"=1'-0"

ADJACENT RESIDENCE



JAMES G. STAVOY
ARCHITECT
AIA

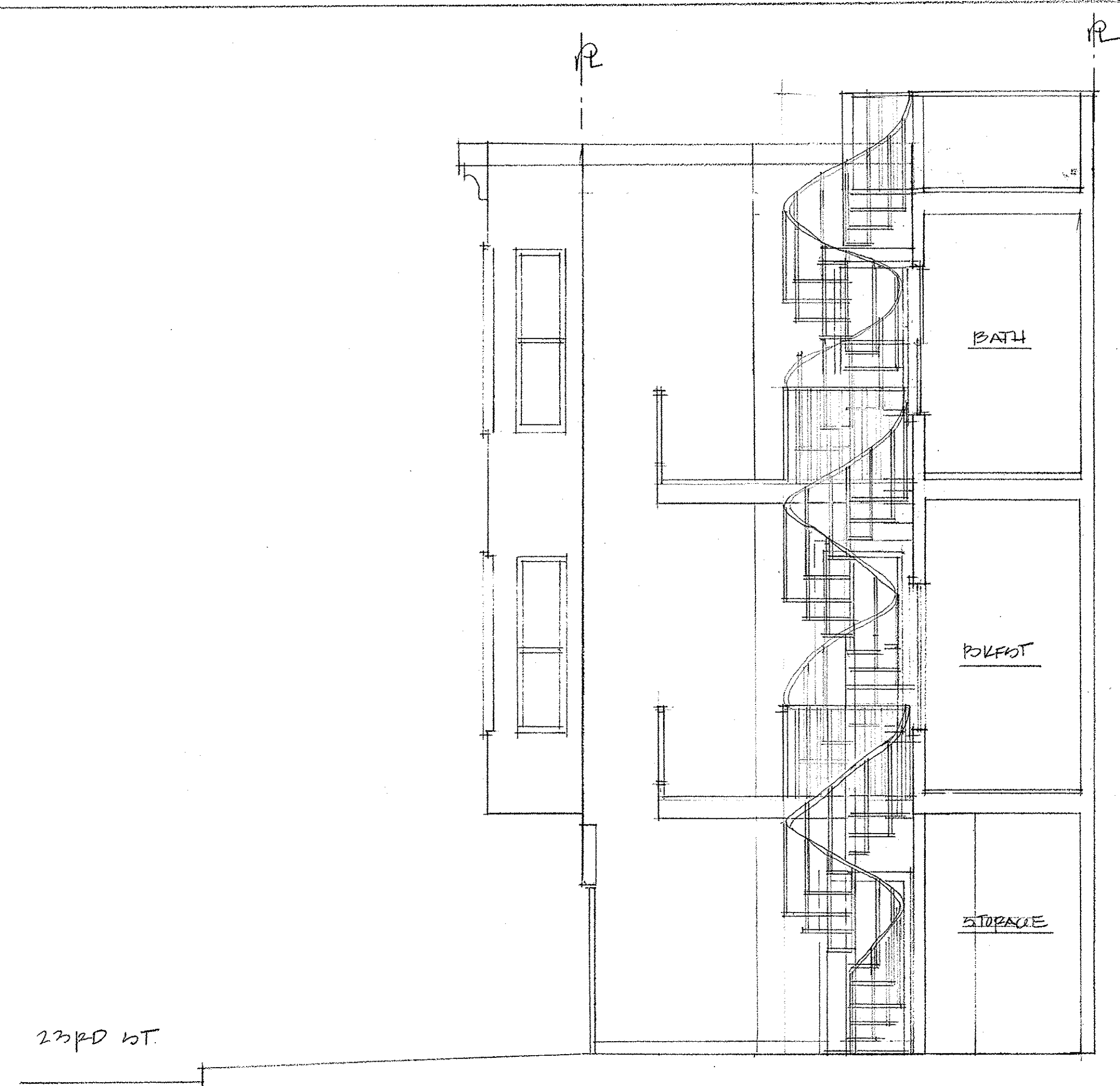
679 Sanchez Street
San Francisco, California
94114
415-553-8696

STALP RESIDENCE REMODEL
197/199 CHATTANOOGA STREET
SAN FRANCISCO, CALIFORNIA 94114

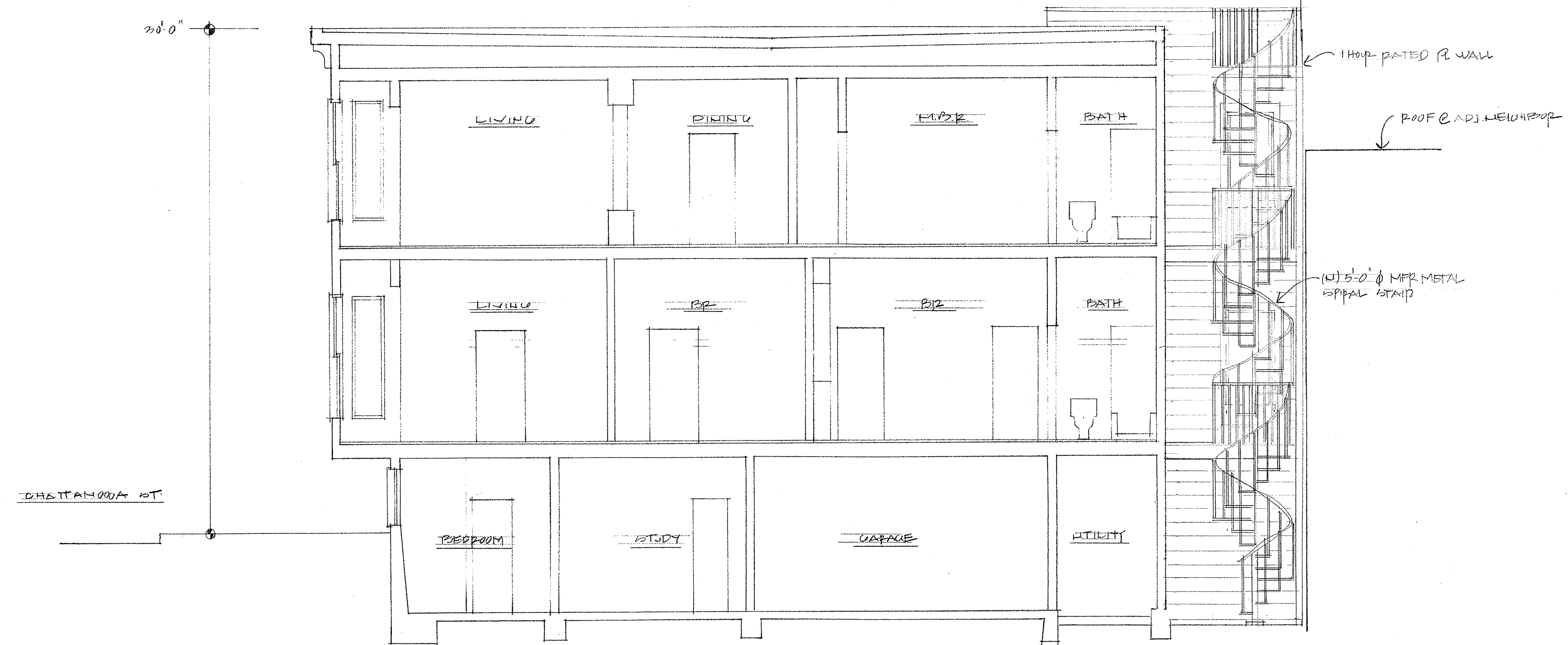
TRANSVERSE &
LONGITUDINAL
BUILDING SECTIONS

NO. 15516 DATE 12-29-10
SITE PERMIT 1-21-11
PREPARATION WITH 1-21-11
VAPOR 1-27-11

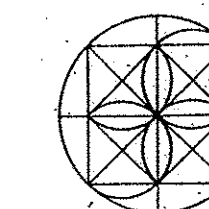
A-3



A TRANSVERSE BUILDING SECTION
SCALE 1/4" = 1'-0"



B LONGITUDINAL BUILDING SECTION
SCALE 1/4" = 1'-0"



JAMES C STAVOY
ARCHITECT
AIA

679 Sanchez Street
San Francisco, California
94114
415-553-8696

STALP RESIDENCE REMODEL
197/199 CHATTANOOGA STREET
SAN FRANCISCO, CALIFORNIA 94114

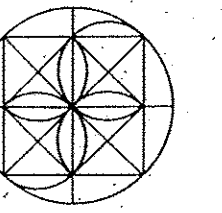
(E) SOUTH & EAST
ELEVATION

DATE 12-28-10
NO. 12-28-10
SITE PERMIT 1-2-11
PREPARATION 1-2-11
VAPRIANE

D-3



SOUTH ELEVATION (23RD ST.)
SCALE 1/4"=1'-0"



JAMES G STAVOY
ARCHITECT
AIA

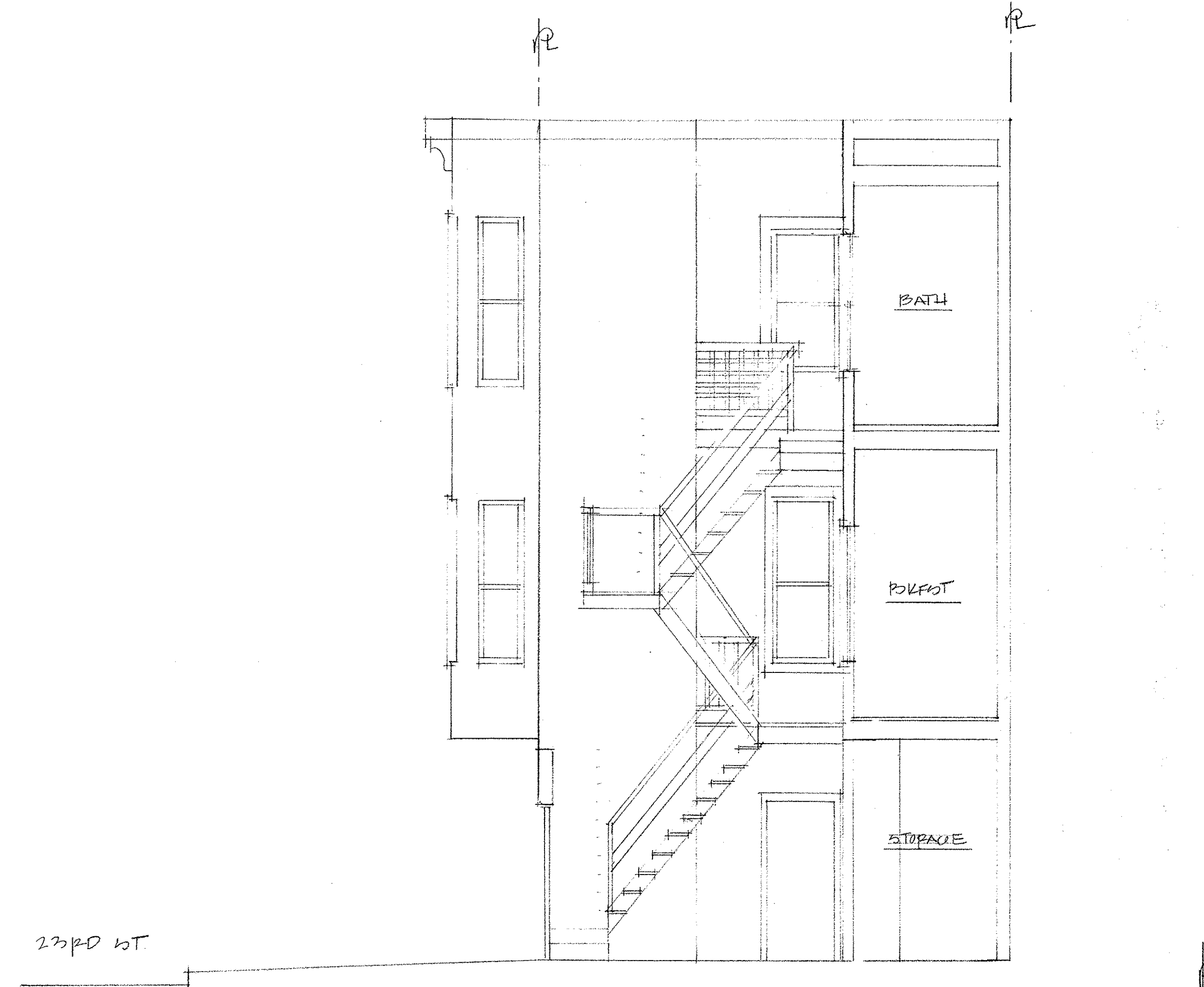
679 Sanchez Street
San Francisco, California
94114
415-553-8696

STALP RESIDENCE REMODEL
197/199 CHATTANOOGA STREET
SAN FRANCISCO, CALIFORNIA 94114

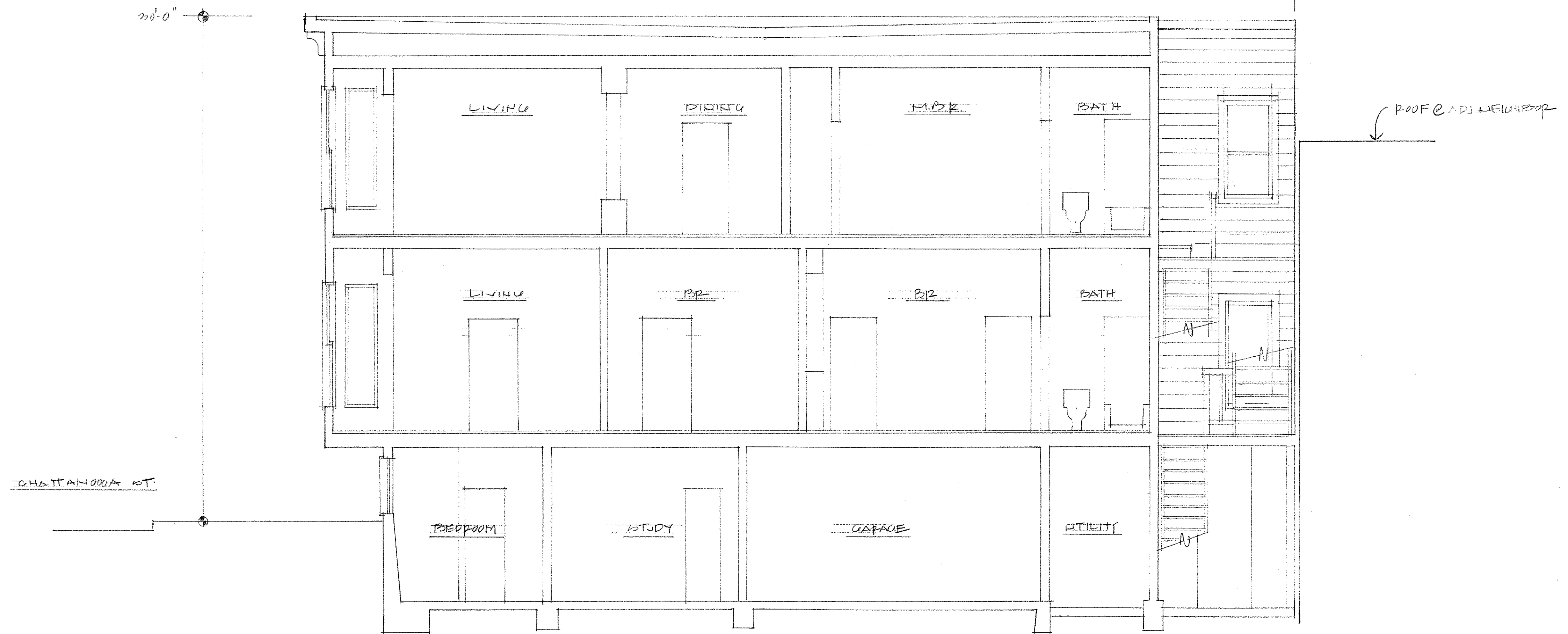
(E) BUILDING SECTIONS

NO.	10016
SITE PERMIT	12/29/10
PREPARED BY	J.G.S.
DATE	12/29/10

D-4



A TRANSVERSE BUILDING SECTION
SCALE 1/4"=1'-0"



B LONGITUDINAL BUILDING SECTION
SCALE 1/4"=1'-0"