



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1366 Hayes Street	Case No.:	2011.0002V
Cross Street(s):	Divisadero St. & Broderick St.	Building Permit:	To be filed
Block /Lot No.:	1201 / 018	Applicants:	Heather & John Keenan
Zoning District(s):	RM-1 / 40-X	Telephone:	(415) 225-1141
Area Plan:	N/A	E-Mail:	heatherk@keyevents.com
PROJECT DESCRIPTION			
<p>The proposal is to legalize the construction of a garden shade structure (approximately 25' wide by 13' deep by 9' above grade) which is located entirely within the required rear yard of the three-story, single-family dwelling. The garden shade structure abuts both side (east and west) property lines and is 3' from the rear property line. The garden shade structure was constructed beyond the scope of work approved under Building Permit Application No. 2010.05.28.3452.</p> <p>SECTION 134 OF THE PLANNING CODE requires a rear yard area in an RM-1 Zoning District to be equivalent to 45 percent of the total lot depth, or when using averaging, no less than 25 percent of the lot depth or 15 feet, whichever is greater. The subject property, with a lot depth of 137.50 feet, has a required rear yard of approximately 62 feet. The garden shade structure is located entirely within the required rear yard.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Sharon M. Young Telephone: (415) 558-6346 E-Mail:</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.0002V.pdf</p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

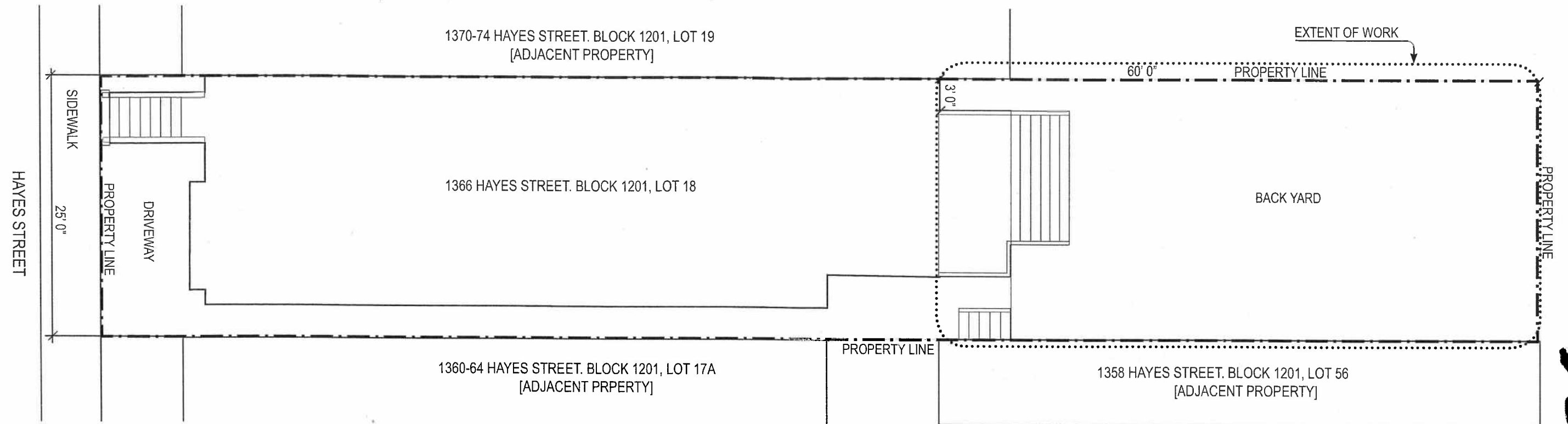
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



KEY PLAN NOT TO SCALE

NOTES :

1366 HAYES STREET. BLOCK 1201, LOT 18

TYPE 5 : SINGLE FAMILY RESIDENCE

R3 : OCCUPANCY. 2 STORY BUILDING

* TO COMPLY WITH NOV 2010 48500

RECEIVED

MAY 28 2010

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPTED

SHEET INDEX :

L 0-0 KEY PLAN AND COVER SHEET

L 1-0 EXISTING PLOT PLAN [BACK YARD]

L 2-0 PROPOSED PLOT PLAN [BACK YARD]

L 3-0 LONGITUDINAL SECTION ELEVATION

L 4-0 ELEVATION DETAILS

1366 HAYES STREET
SAN FRANCISCO

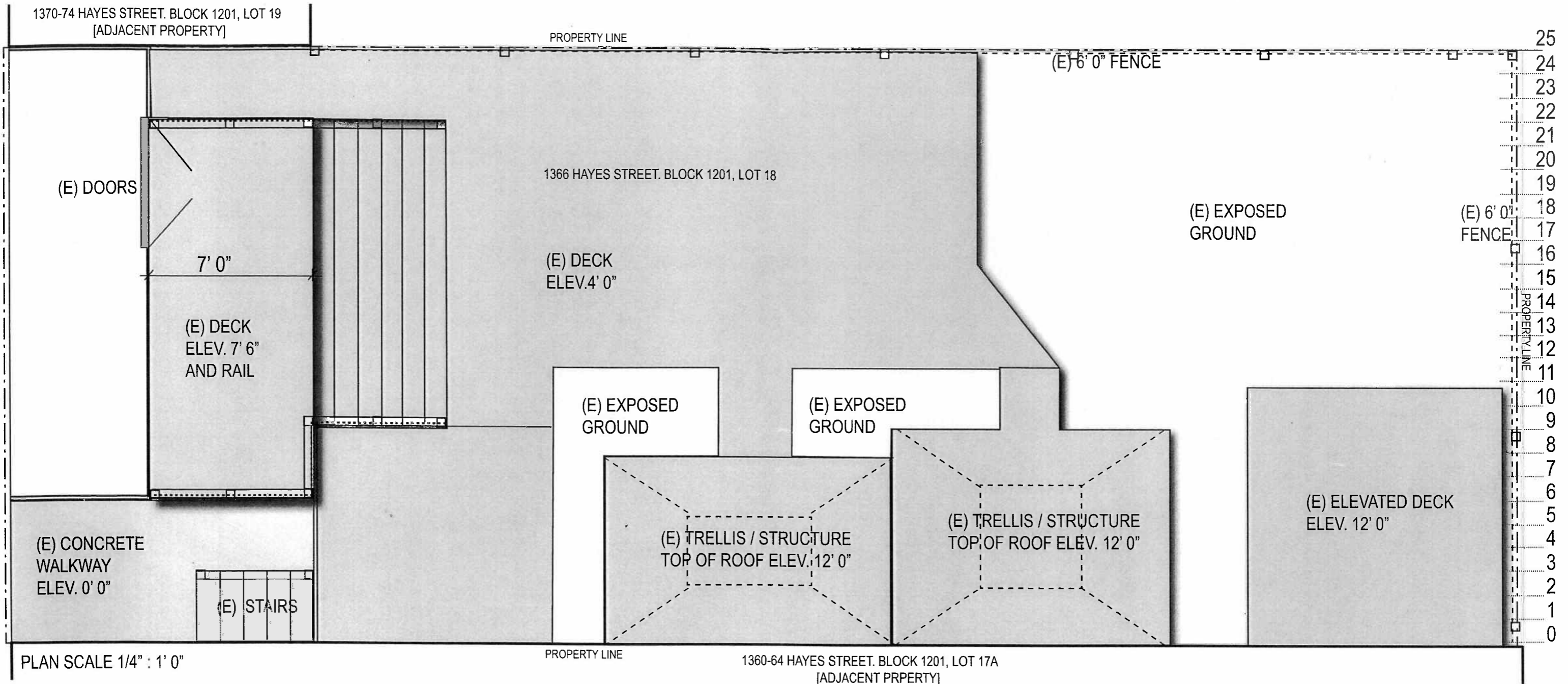
KEY PLAN

L 0-0

MAY 27, 2010

10.0002

2010/0528/3452



NOTES :

RECEIVED

MAY 28 2010

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPTED

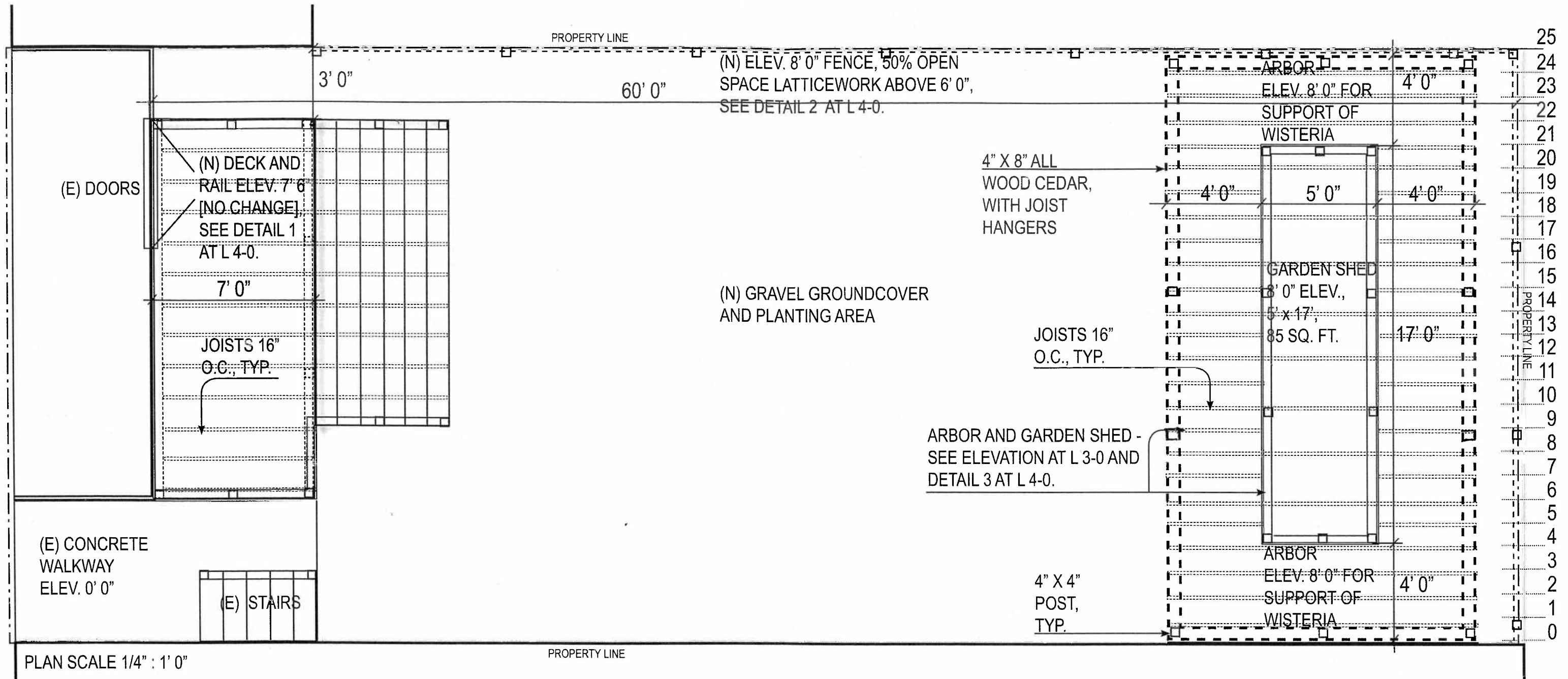
1366 HAYES STREET
SAN FRANCISCO

EXISTING PLOT PLAN [BACK YARD]

05.28.10

L 1-0

MAY 27, 2010



NOTES:

1. (N) DECK AND RAIL (ELEV. 7' 6") TO MATCH EXISTING. NO CHANGE.
2. GARDEN SHED AND ARBOR DIMENSIONS ARE COSISTENT WITH INTERPRETATION OF SECTION 136 (C) 21.

RECEIVED

MAY 28 2010

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPTED

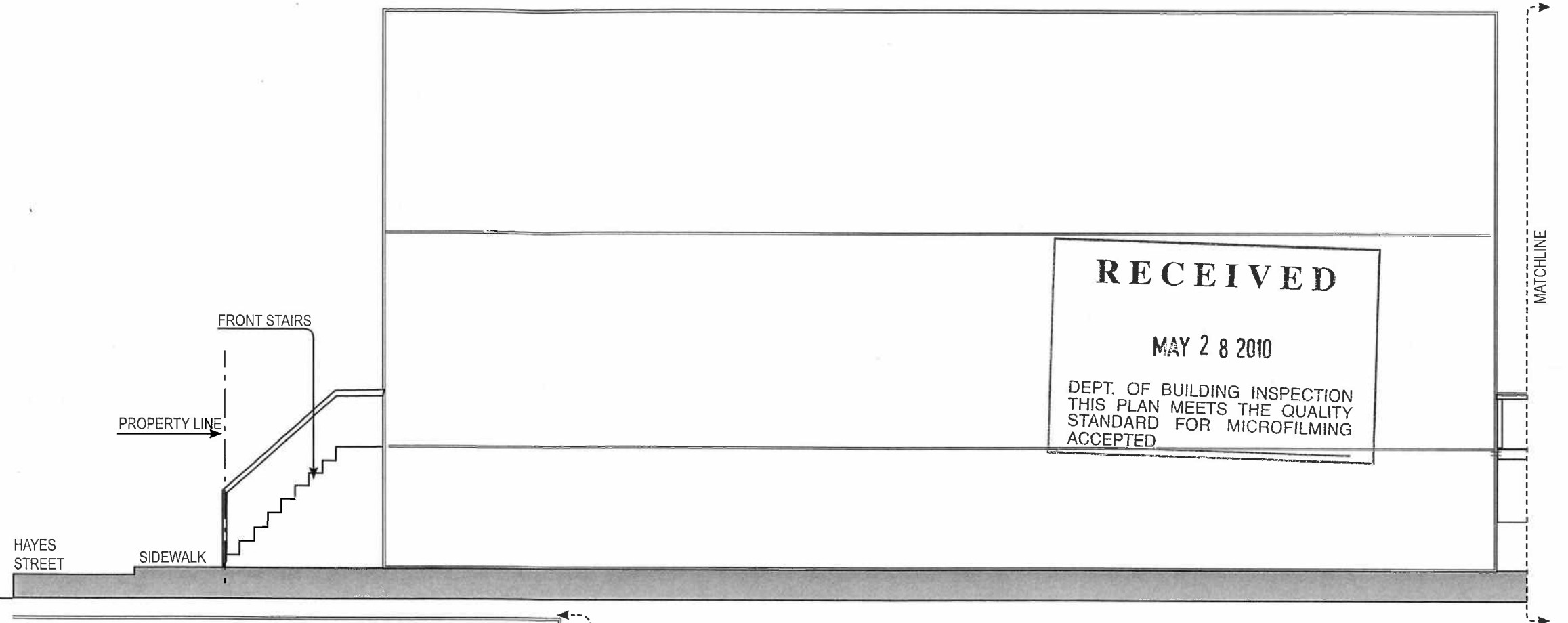
CS. 28.10
L 2-0

1366 HAYES STREET
SAN FRANCISCO

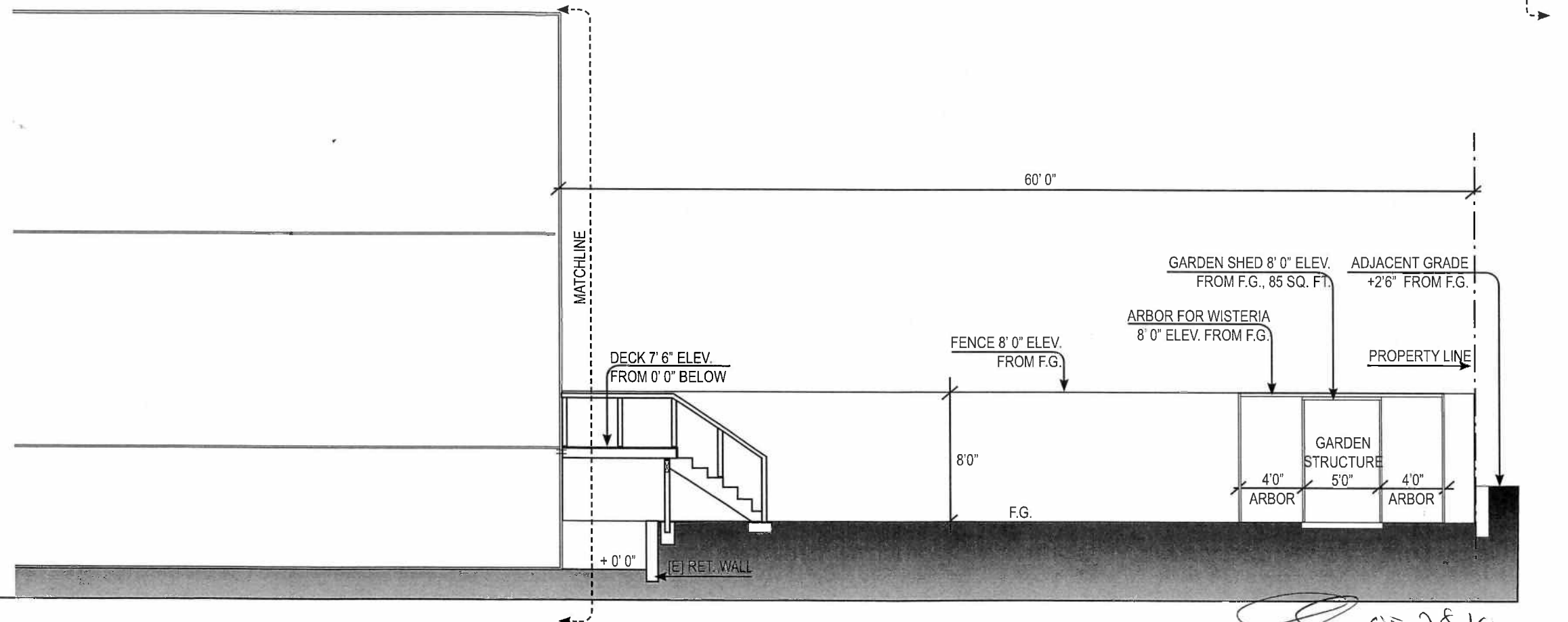
PROPOSED PLOT PLAN [BACK YARD]

MAY 27, 2010

SOUTH SECTION ELEVATION SCALE 1/8" : 1' 0"



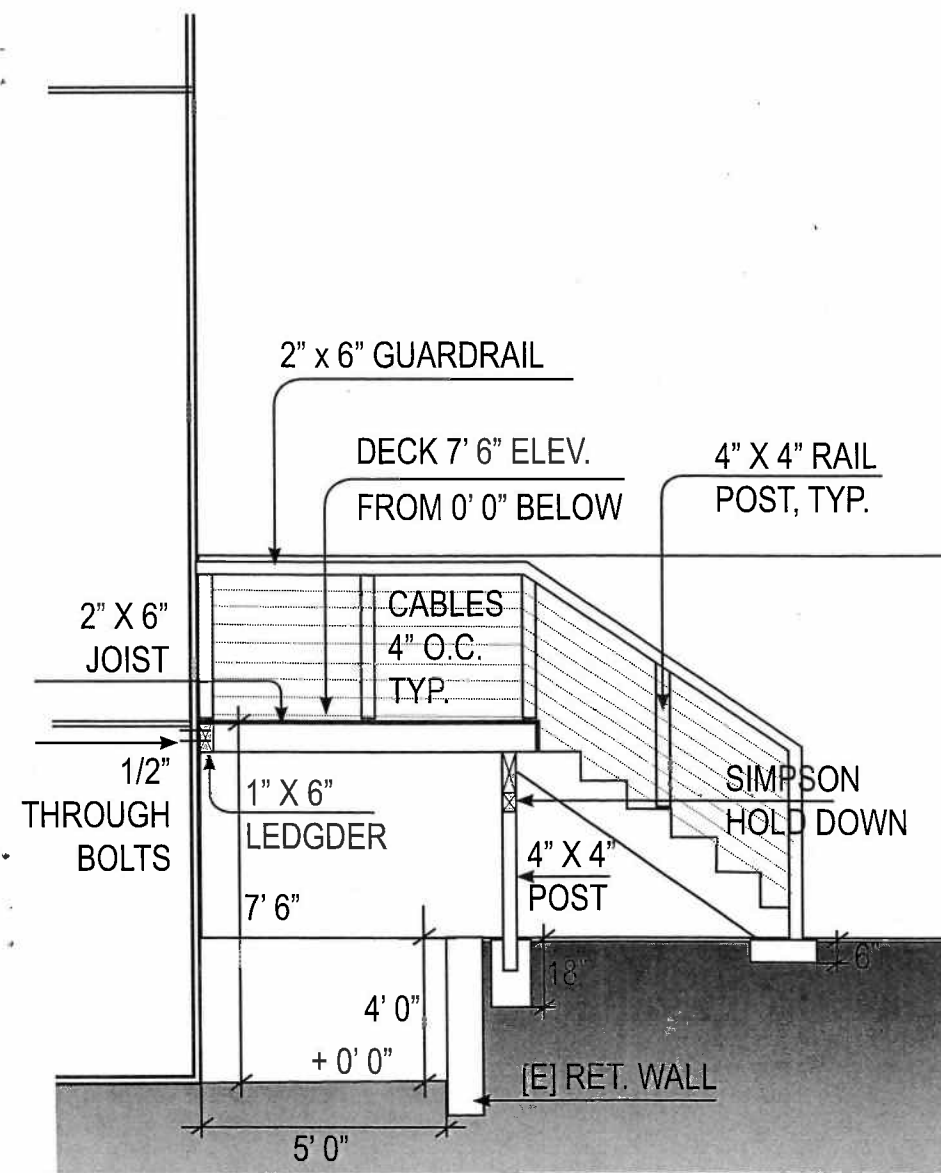
NORTH SECTION ELEVATION SCALE 1/8" : 1' 0"



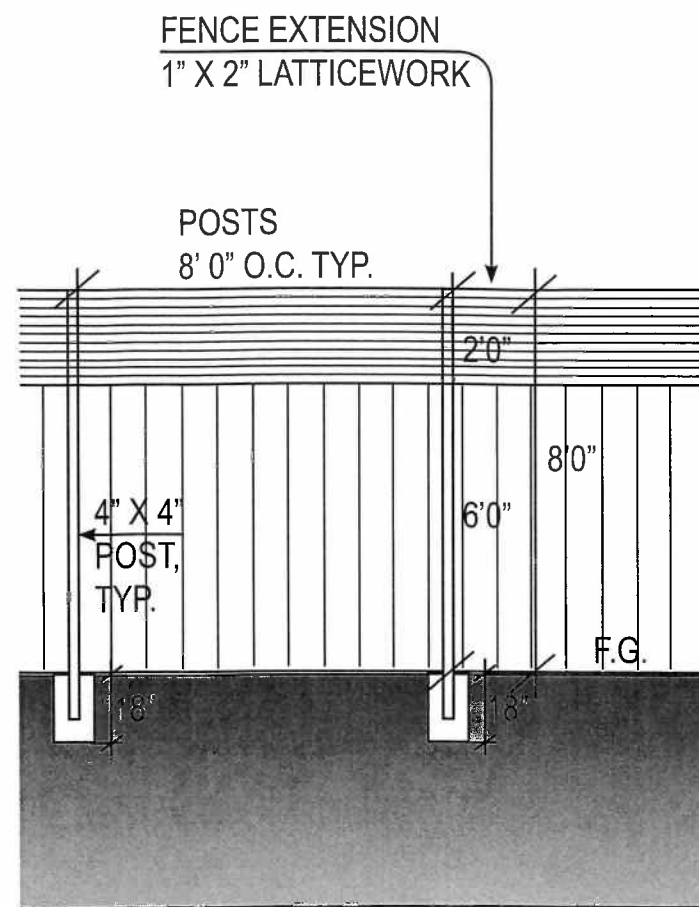
LONGITUDINAL SECTION ELEVATION

1366 HAYES STREET
SAN FRANCISCO

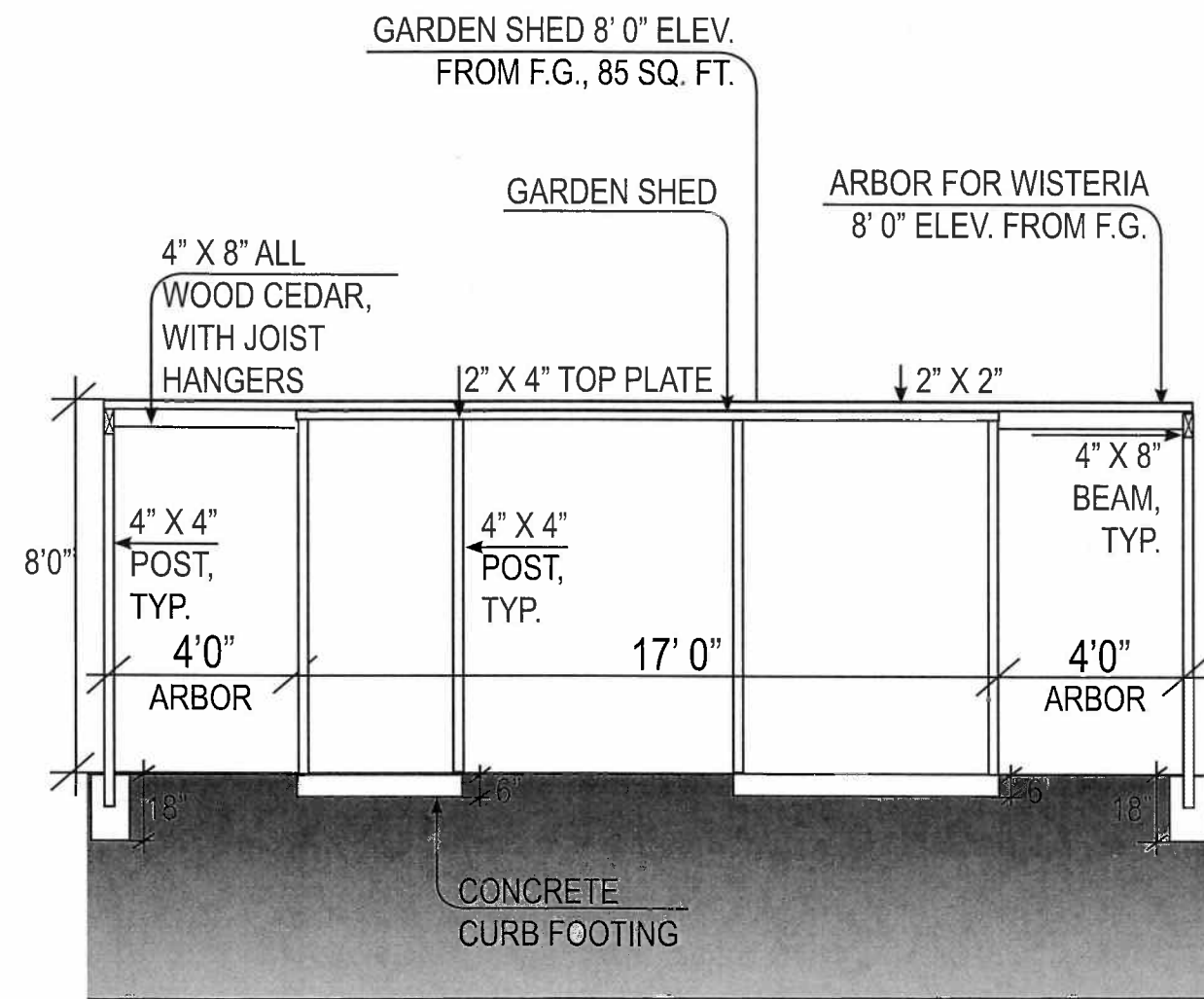
05.28.10
L3-0
MAY 27, 2010



① DECK SECTION ELEVATION SCALE 1/4" : 1' 0"



② FENCE SECTION ELEVATION SCALE 1/4" : 1' 0"



③ ARBOR AND GREENHOUSE TRANSVERSE ELEVATION SCALE 1/4" : 1' 0"

NOTES :

1. (N) DECK AND RAIL [ELEV. 7' 6"] TO MATCH EXISTING. NO CHANGE.
2. GARDEN SHED AND ARBOR DIMENSIONS ARE COMPLIANT WITH INTERPRETATION OF SECTION 136 (C) 21.

RECEIVED

MAY 28 2010

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPTED

1366 HAYES STREET
SAN FRANCISCO

ELEVATION DETAILS

L 4-0

MAY 27, 2010