



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 23rd, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	226 27th Street	Case No.:	2010.1137V
Cross Street(s):	Dolores & Church streets	Building Permit:	N/A
Block /Lot No.:	6578/047	Applicant/Agent:	Serina Calhoun
Zoning District(s):	RH-2/40-X	Telephone:	(415) 558-9843
Area Plan:	N/A	E-Mail:	<u>serina@sync-arch.com</u>
PROJECT DESCRIPTION			
<p>The proposal for the existing three-story, ten-family dwelling includes (1) the removal of an existing metal fire escape at the rear of the second and third floors, and (2) the construction of a two-story rear stairway providing the second and third floors with a second means of egress.</p> <p>SECTION 134(c)(1) of the PLANNING CODE requires a minimum rear yard depth of 47 feet 6 inches, measured from the rear property line, for the subject lot. The existing building encroaches 23 feet 6 inches into the required rear yard. The proposed two-story rear stairway would extend additional 15 feet from the rear wall of the subject building to within 9 feet of the rear property line.</p> <p>Section 188 of the Planning Code prohibits enlargements and alterations to a noncomplying structure. Since a portion of the subject building was legally constructed within the currently required rear yard, it is considered a legal noncomplying structure. The proposed two-story rear stairway would result in an addition to a noncomplying structure.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Tom Wang Telephone: (415) 558-6335 E-Mail: <u>thomas.wang@sfgov.org</u></p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <u>http://sf-planning.org/ftp/files/notice/2011.1137V.pdf</u></p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

226 27th Street

Installation of (N) Rear Stair



226 27th Street
San Francisco, CA

226 27th Street

San Francisco, CA
PROJECT NO. 10-15

DATE SET ISSUE
10-03-2010 ISSUED FOR PRICING

CONTACT:
SERINA CALHOUN
(415) 730-5060 P
serina@sync-arch.com

SCALE: AS NOTED

COVER
SHEET

A0.0

ABBREVIATIONS	LEGEND	GENERAL NOTES	EXISTING REAR WALL PHOTOS	PROPOSED REAR STAIR IMPROVEMENTS		
A/C ADJ. A.F.F. ALUM. ALT. APPROX. ARCH. A.C.T. B.BD. BLDG. BLK. BOT. C/CL CAB. C.G. CHG. CLC. CLOS. CLR. C.M.U. COL. CONC. CONC. CONST. CORR. C.T. CTR. DET. DIA/Ø DIM. DN. DN. DS. (E) E.A. ELEV. ELEC. ELEV. EQU. EXP. EXPOS. EXT. F.D. FIN. FL. FLASH. FLUOR. F.O.F. F.PRF. FURR. GA. GALV. G.C. GL. GYP. H.B. H.C. H.C. H.DWR. HGT. H.M. H.P. HR. H.W. INSUL. INT. JAN. JT. L.P. MAX. M.C. M.D. MECH. MIN. MTD. MTL. (N) N.I.C. NO. N.T.S. O.C. OPNG. OPP. O.T.B. PR. P-LAM. PTD. PLYWD. P.O. R. R.D. REQ. R.O. R						

GROUND FLOOR USE AND OCCUPANT LOADS	
	OCCUPANCY TYPE (USE)
	DWELLINGS (RESIDENTIAL R-1)
AREA (S.F.)	5,845
OCCUPANT LOAD FACTOR	200
OCCUPANCY LOAD	37.07
EXITS REQUIRED	2
EXITS PROVIDED	1 PER UNIT = 8 TOTAL
MIN. EGRESS WIDTH**	36 INCHES
TRAVEL DISTANCE	
MAX DIAGONAL DISTANCE	N/A
HALF MAX DIAGONAL DISTANCE	N/A
ACTUAL SEPARATION DISTANCE***	N/A
* PER CBC TABLE 10-A	
** EGRESS WIDTH TO APPLY TO STAIRS AND CORRIDORS PER CBC SECTION CHAPTER 10 AND TABLE 10-B	
REFERENCE NORTH	

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** EGRESS WIDTH TO APPLY TO STAIRS AND CORRIDORS PER CBC SECTION CHAPTER 10 AND TABLE 10-B	
REFERENCE NORTH	

GROUND FLOOR

FLOOR 2

FLOOR 3

226 27th Street - 3

San Francisco, CA

226 27th Street

San Francisco, CA

PROJECT NO. 10-15

DATE

SET ISSUE

12-16-2010

VARIANCE APPLICATION

CONTACT:

SERINA CALHOUN

(415) 730-5060 P

serina@sync-arch.com

SCALE:

1/16" = 1'-0"

EGRESS

SUMMARY

A0.2



226 27th Street - 3

San Francisco, CA

226 27th Street
San Francisco, CA
PROJECT NO. 10-15

DATE SET ISSUE
12-16-2010 VARIANCE APPLICATION
01-20-2011 ADDITIONAL INFORMATION

CONTACT:

SERINA CALHOUN
(415) 730-9980 P
serina@sfrc-arch.com

SCALE: 1/32" = 1'-0"

SITE PLAN

A1.1



1 SITE PLAN
1" = 20'-0"

GENERAL

SITE PLAN SHOWN HEREIN IS FOR PLANNING REVIEW ONLY. DIMENSIONS ARE APPROXIMATIONS BASED ON SITE VISITS AND AERIAL IMAGERY. ARCHITECT CANNOT CONTROL EXACT DIMENSIONS FOR ADJACENT SETBACKS DUE TO LIMITED ACCESS. PER SF PLANNING CODE SECTION 134, A REAR SETBACK OF 45% OF LOT AREA IS REQUIRED. BASED ON SITE OBSERVATIONS, IT APPEARS THAT VERY FEW OF THE EXISTING BUILDINGS ON THE BLOCK COMPLY WITH THIS SECTION.



226 27th Street - 3 San Francisco, CA

226 27th Street
San Francisco, CA
PROJECT NO. 10-15

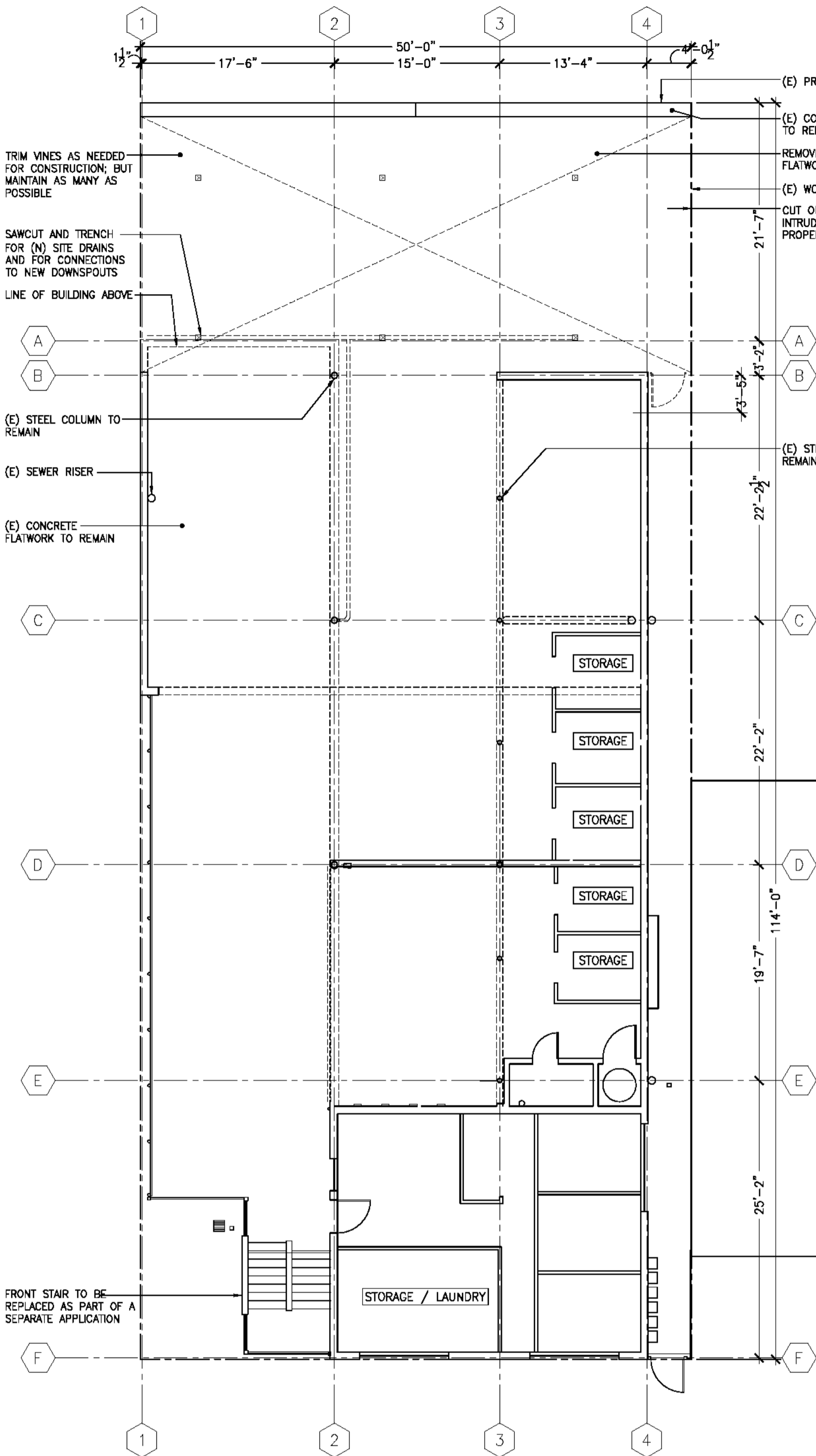
DATE SET ISSUE
12-16-2010 VARIANCE APPLICATION

CONTACT:
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serina@sync-arch.com

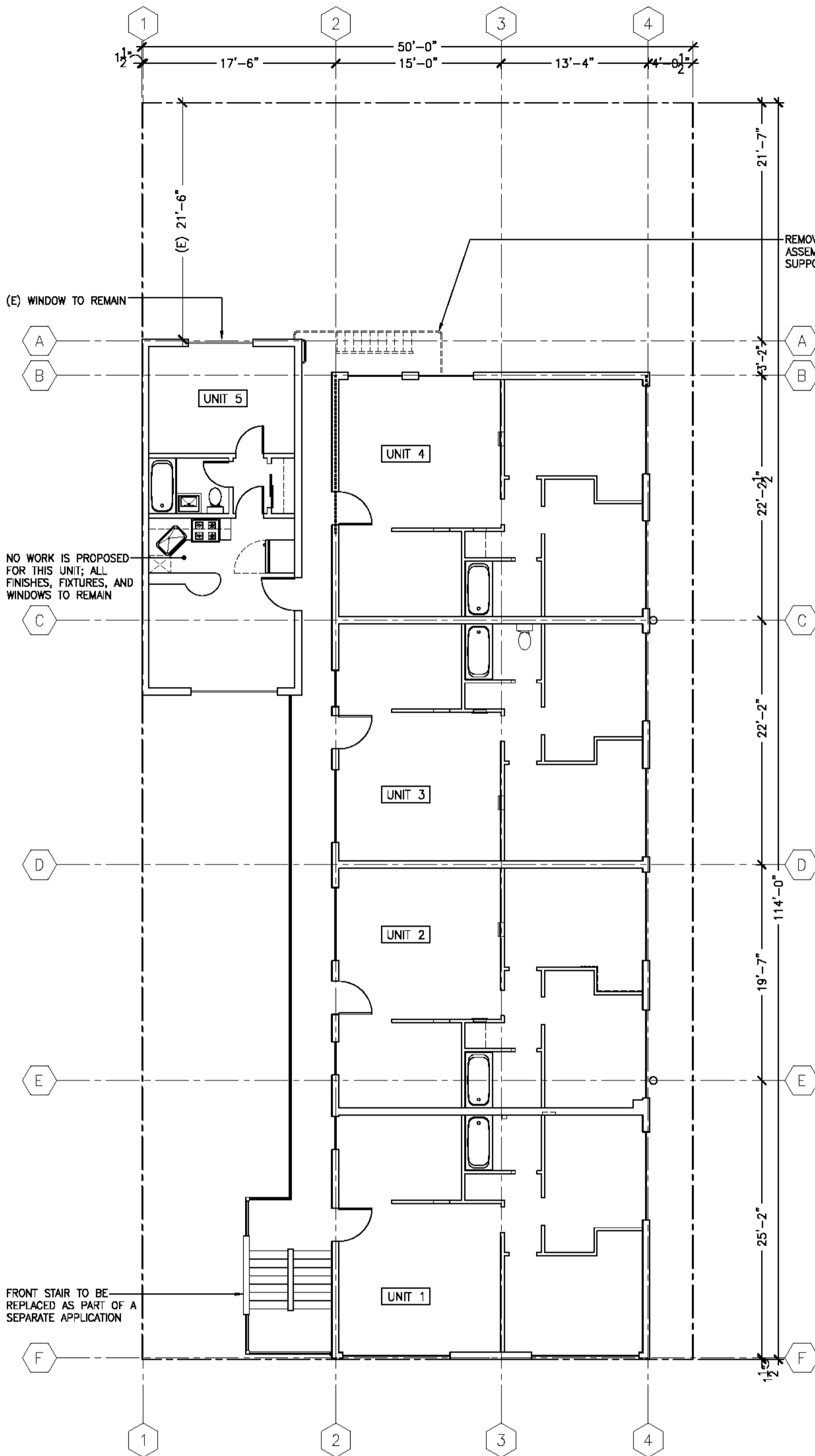
SCALE: 1/8" = 1'-0"

FLOOR PLAN
DEMOLITION

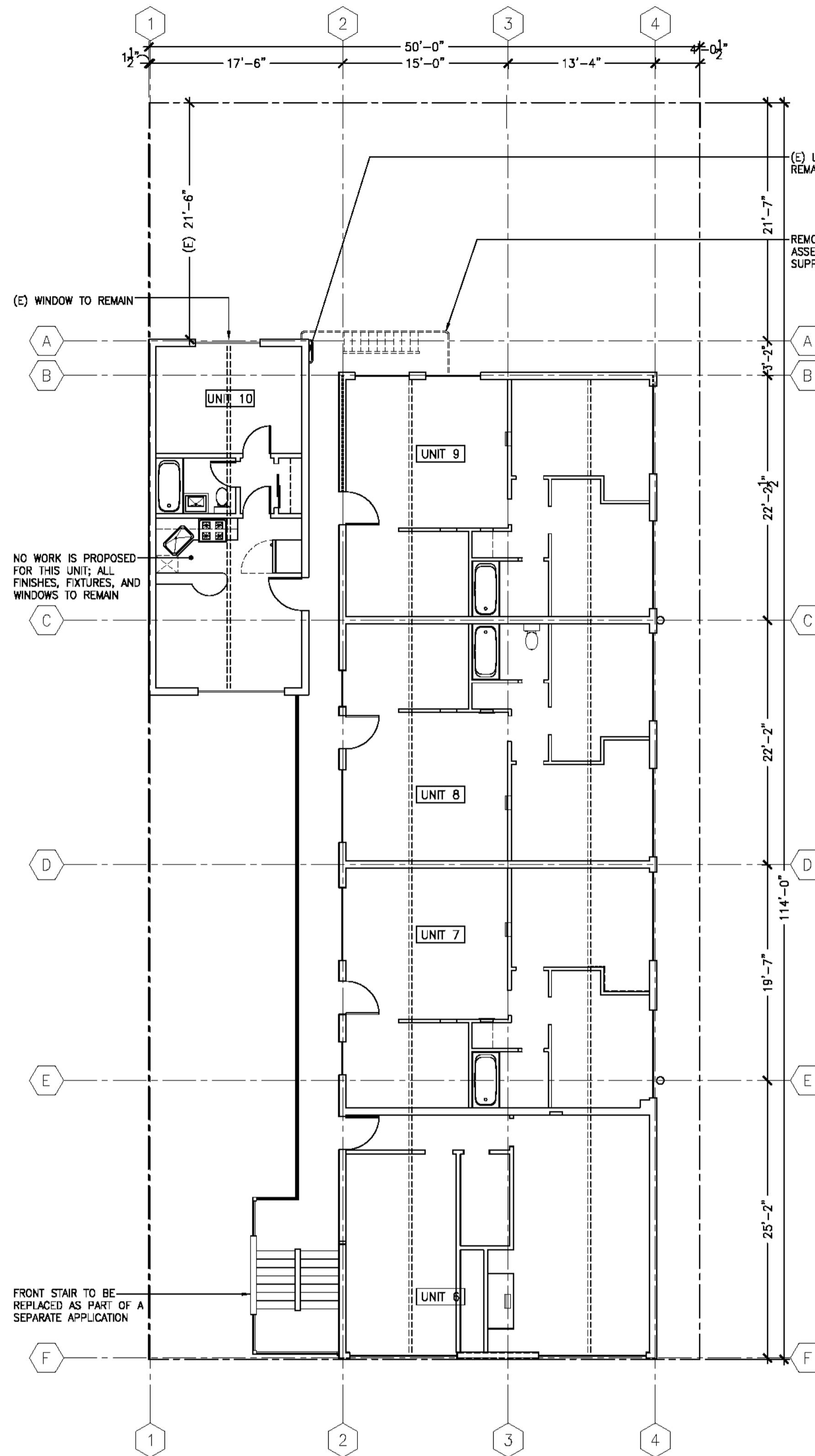
A2.0



1 DEMOLITION PLAN: GROUND FLOOR
1/8"=1'-0"



2 DEMOLITION PLAN: FLOOR 2
1/8"=1'-0"



3 DEMOLITION PLAN: FLOOR 3
1/8"=1'-0"

GENERAL

FIELD VERIFY EXISTING JOBSITE CONDITIONS PRIOR TO START OF DEMOLITION AND/OR START OF WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFIC JOBSITE CONDITIONS

NOT ALL PIPING, DUCTWORK, OR DEVICES HAVE BEEN SHOWN FOR CLARITY. CONTRACTOR IS RESPONSIBLE FOR ALL WORK IN AND AROUND SYSTEMS NOT SHOWN HEREIN.

CONTRACTOR TO TEST ALL SYSTEMS PRIOR TO START OF WORK AND DOCUMENT ANY SYSTEMS NOT WORKING PROPERLY.

DIMENSIONS SHOWN ARE BASED ON SITE MEASUREMENTS AND SHOULD BE VERIFIED IN FIELD PRIOR TO START OF CONSTRUCTION OF ORDERING ANY MATERIALS

DIMENSION NOTES

DIMENSIONS ARE TO CENTERLINE OF STEEL OR FACE OF (E) STUD
SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

WALL RATING LEGEND

----- 1-HR. WALL
----- 2-HR. WALL
----- 3-HR. WALL
----- 4-HR. WALL

DEMOLITION NOTES

REMOVE FIRE ESCAPE IN ITS ENTIRETY



226 27th Street - 3

San Francisco, CA

226 27th Street

San Francisco, CA
PROJECT NO. 10-15

DATE SET ISSUE
12-16-2010 VARIANCE APPLICATION

CONTACT:

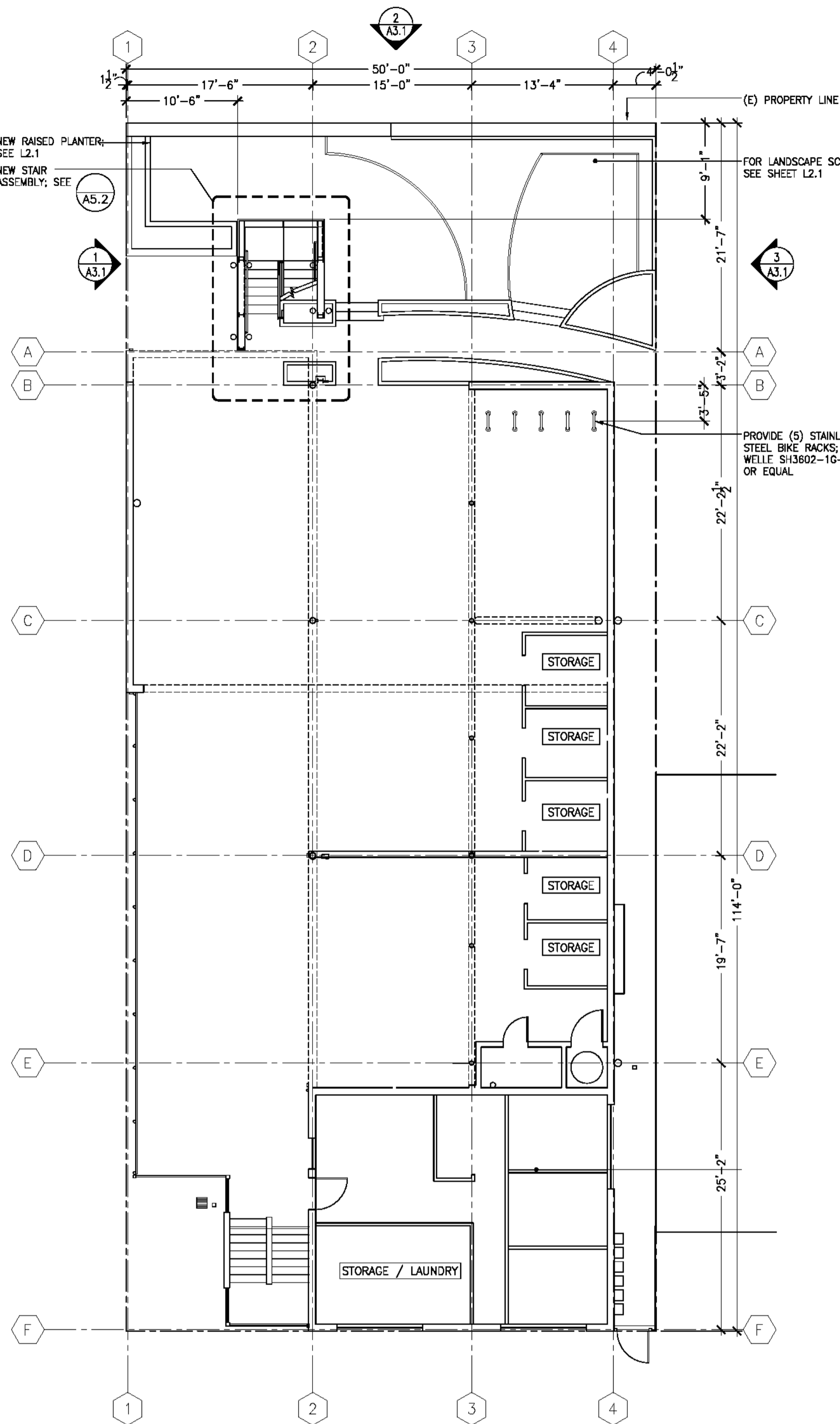
SERINA CALHOUN

(415) 730-5060 P
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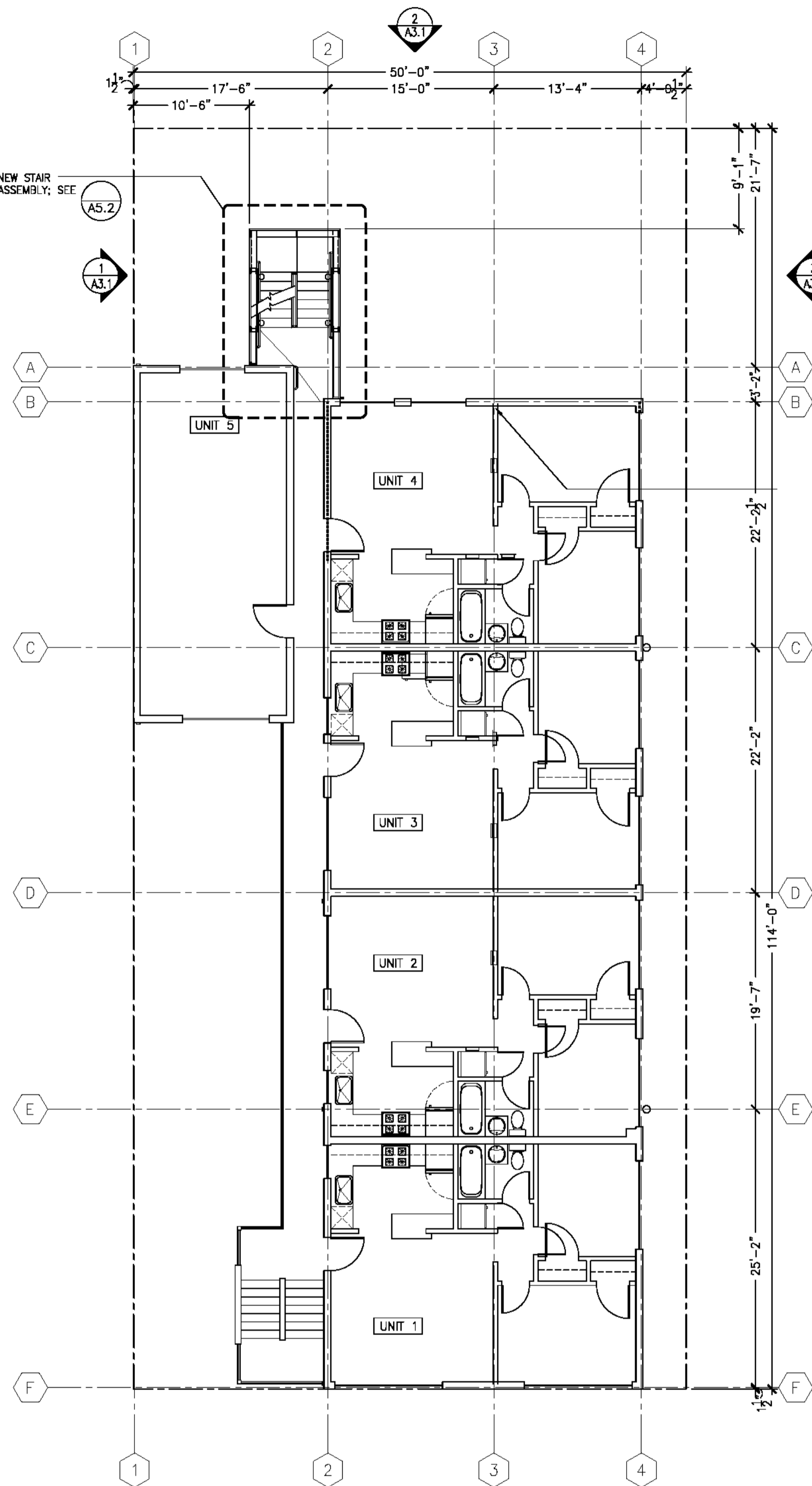
SCALE: 1/8" = 1'-0"

FLOOR PLAN
NEW CONST.

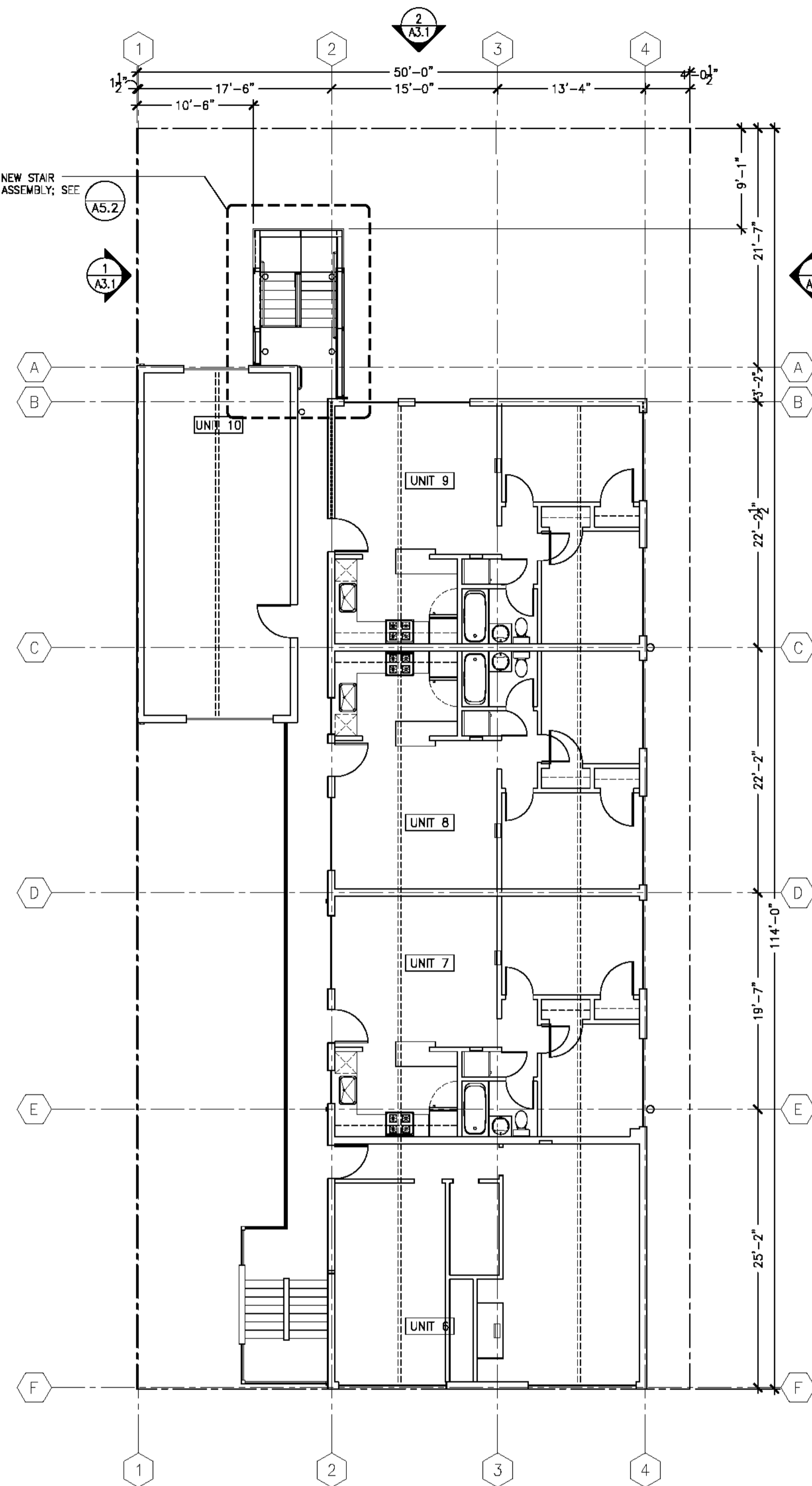
A2.1



1 FLOOR PLAN: GROUND FLOOR
1/8"=1'-0"



2 FLOOR PLAN: FLOOR 2
1/8"=1'-0"



3 FLOOR PLAN: FLOOR 3
1/8"=1'-0"

GENERAL

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

1.6 WALL ASSEMBLY, SEE A8.1

FOR DOOR SCHEDULE, SEE SHEET A8.2

FOR WINDOW SCHEDULE, SEE SHEETS A8.3

FOR UNIT DIMENSIONS AND UNIT WALL TYPES, SEE ENLARGED UNIT PLANS, SEE SHEETS A6.1-A6.2

FOR INTERIOR ELEVATIONS SEE A7.1, A7.2

PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER CBC SECTION 1208.2

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME SIZE AS FRAMING OR GREATER.

PROVIDE FLOOR DRAINS PER SECTION 311.2.3.1

FIELD VERIFY EXISTING JOBSITE CONDITIONS PRIOR TO START OF DEMOLITION AND/OR START OF WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFIC JOBSITE CONDITIONS

NOT ALL PIPING, DUCTWORK, OR DEVICES HAVE BEEN SHOWN FOR CLARITY. CONTRACTOR IS RESPONSIBLE FOR ALL WORK IN AND AROUND SYSTEMS NOT SHOWN HEREIN.

CONTRACTOR TO TEST ALL SYSTEMS PRIOR TO START OF WORK AND DOCUMENT ANY SYSTEMS NOT WORKING PROPERLY.

CONTRACTOR SHALL PROVIDE AND INSTALL ANY INCIDENTAL WORK OR ITEMS NOT SHOWN OR SPECIFIED WHICH ARE NECESSARY TO PROVIDE A COMPLETE AND WORKABLE SYSTEM.

WHERE HOT WATER PIPING IS EXTENDED PROVIDE PIPE INSULATION THROUGHOUT

DIMENSIONS SHOWN ARE BASED ON SITE MEASUREMENTS AND SHOULD BE VERIFIED IN FIELD PRIOR TO START OF CONSTRUCTION OF ORDERING ANY MATERIALS

DIMENSION NOTES

DIMENSIONS ARE TO CENTERLINE OF STEEL OR FACE OF (E) STUD SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

WALL RATING LEGEND

----- 1-HR. WALL
----- 2-HR. WALL
----- 3-HR. WALL
----- 4-HR. WALL

1 PARTIAL EXTERIOR ELEVATION: WEST
1/8"=1'-0"

2 EXTERIOR ELEVATION: NORTH
1/8"=1'-0"

3 PARTIAL EXTERIOR ELEVATION: EAST
1/8"=1'-0"

GENERAL NOTES

FOR DEMOLITION SEE A2.0
FOR NEW CONSTRUCTION SEE A2.1

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS NOT SHOWN HEREIN

ALL DIMENSIONS GIVEN TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS WITHOUT CONSULTING WITH ARCHITECT.

CRITICAL ALIGNMENTS MAY OCCUR BETWEEN ITEMS INSTALLED BY DIFFERENT TRADES. CONTRACTOR TO NOTE ALL SUCH ITEMS AND NOTIFY AFFECTED TRADES.

REPEATING ITEMS OR ASSEMBLIES MAY NOT BE NOTED OR DIMENSIONED AT ALL LOCATIONS WHERE REPETITION IS OBVIOUS..

ALL (N) STUCCO SHALL HAVE A SMOOTH, STEEL TROWEL FINISH. WHERE NEW STUCCO ABUTS (E) STUCCO (N) PAPER SHALL LAP UNDER OR OVER OLD PAPER MIN. OF 2". (N) WIRE MESH SHALL BE TIED TO OLD MESH AND LAPPED MIN. OF 2". AT CORNERS WHERE (E) STUCCO OCCURS AT ONE SIDE ONLY, (E) PLASTER SHALL BE REMOVED MIN. 6" AND (N) PLASTER MESH AND PAPER SHALL BE WRAPPED AROUND CORNER.

ALL (N) CONSTRUCTION SHALL BE PAINTED OR OTHERWISE FINISHED TO MATCH (E) CONSTRUCTION OF THE SAME NATURE.

SHEET NOTES

- (1) PROPERTY LINE
- (10) (E) WINDOW TO REMAIN
- (11) (N) STEEL STAIR ASSEMBLY; SEE A5.1; S.S.D.
- (12) (E) STEEL COLUMN; SANDBLAST AND PAINT
- (13) LINE OF BUILDING BEYOND
- (14) OPEN TO BEYOND
- (16) LINE OF ADJACENT BUILDING
- (17) (N) RAISED CONCRETE PLANTER; STAIN CONCRETE, COLOR TO BE SELECTED BY ARCHITECT
- (18) (N) LANDSCAPING; SEE L2.1
- (24) (N) EXTERIOR LIGHT FIXTURE; SEE E2.1
- (25) (E) ELECTRICAL EQUIPMENT
- (26) (E) MECHANICAL/PLUMBING EQUIPMENT
- (27) (N) MECHANICAL LOUVER; PAINT

- (C) PAINT COLOR 1
- (C2) PAINT COLOR 2
- (C3) PAINT COLOR 3
- (W1) 1X12 CEDAR; SEE DETAILS FOR SPACING
- (W2) 1X6 CEDAR; SEE DETAILS FOR SPACING



226 27th Street - 3
San Francisco, CA

226 27th Street
San Francisco, CA
PROJECT NO. 10-15

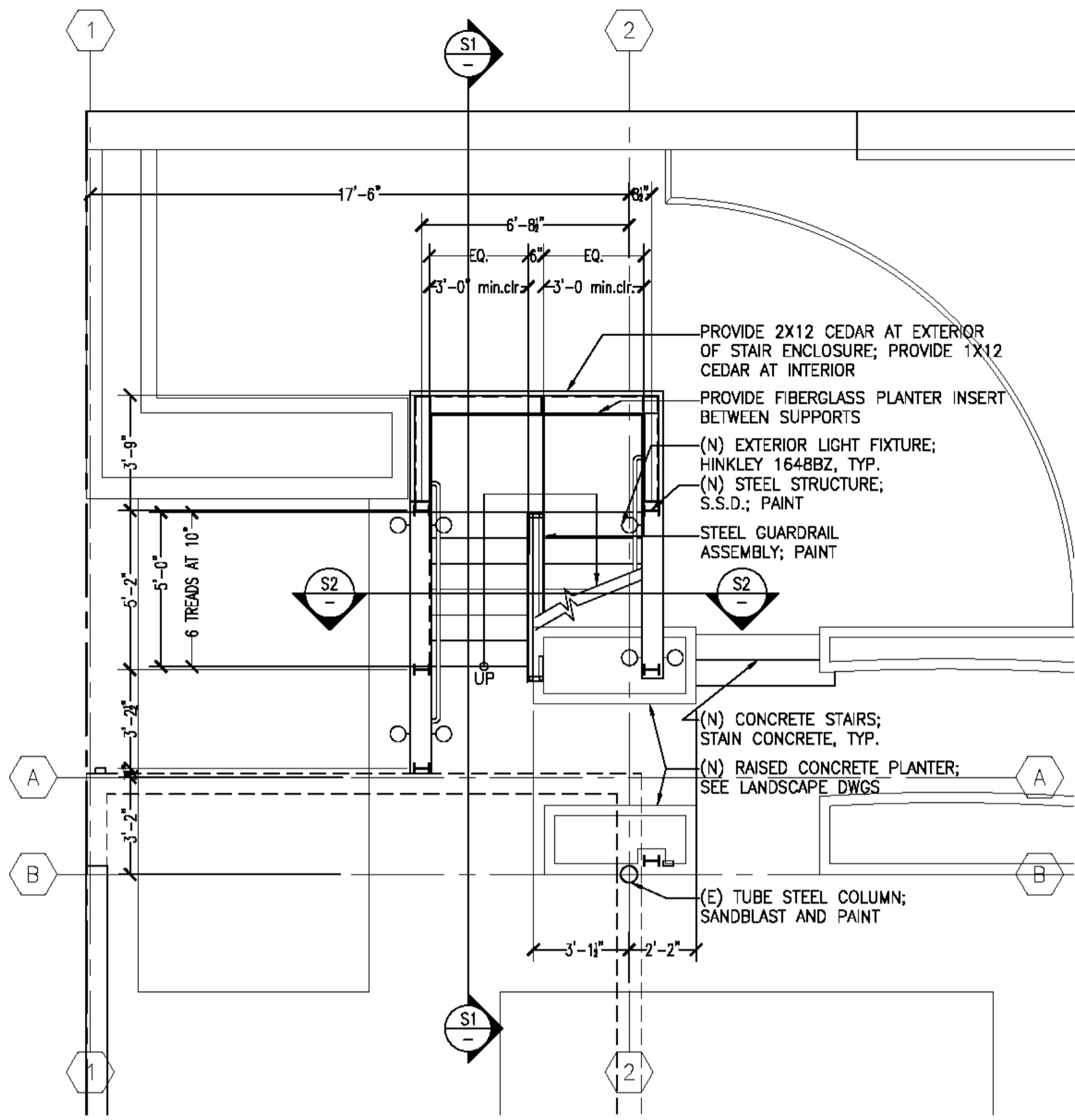
DATE SET ISSUE
12-16-2010 VARIANCE APPLICATION

CONTACT:
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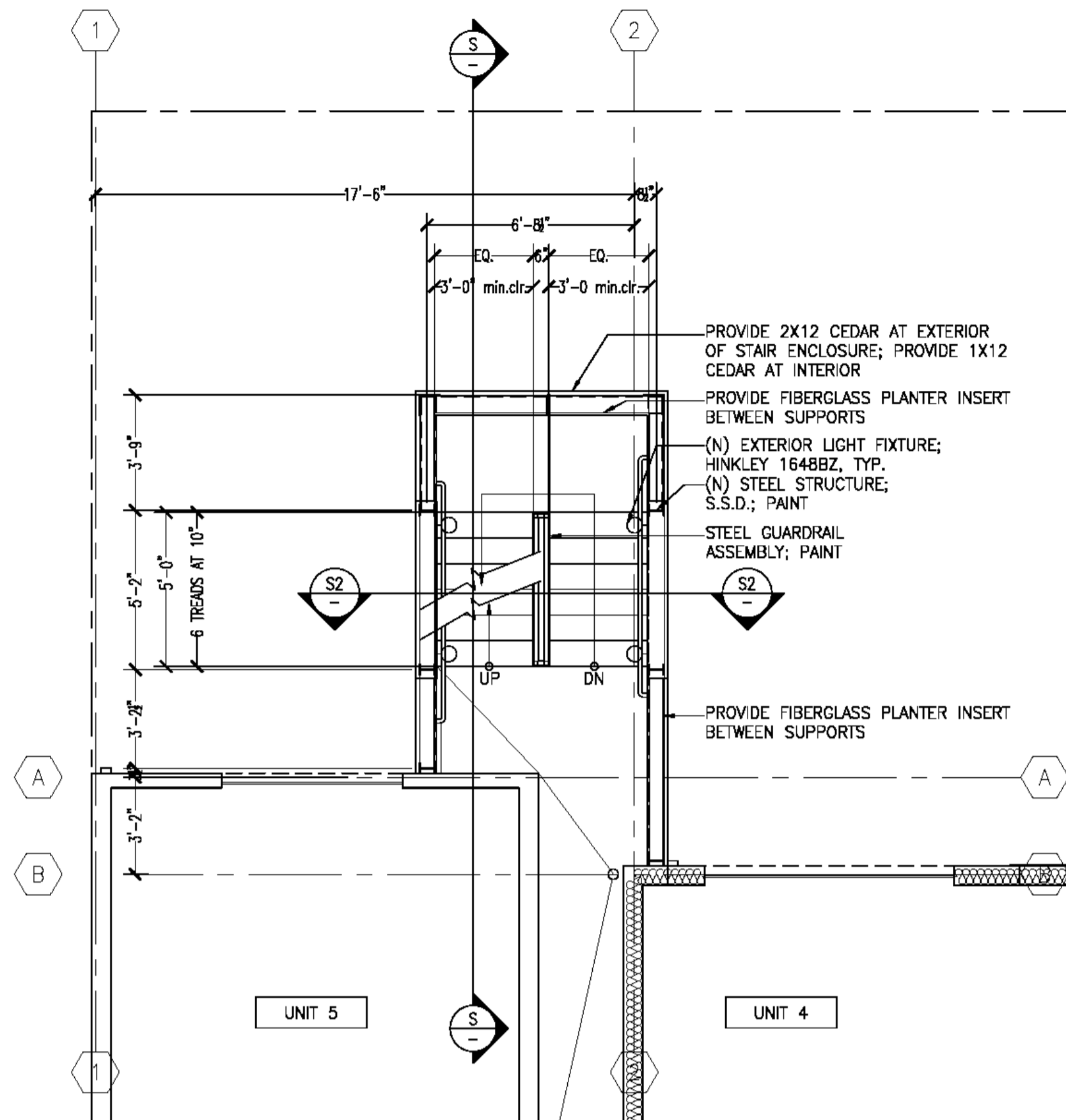
SCALE: 1/8" = 1'-0"

EXTERIOR
ELEVATIONS

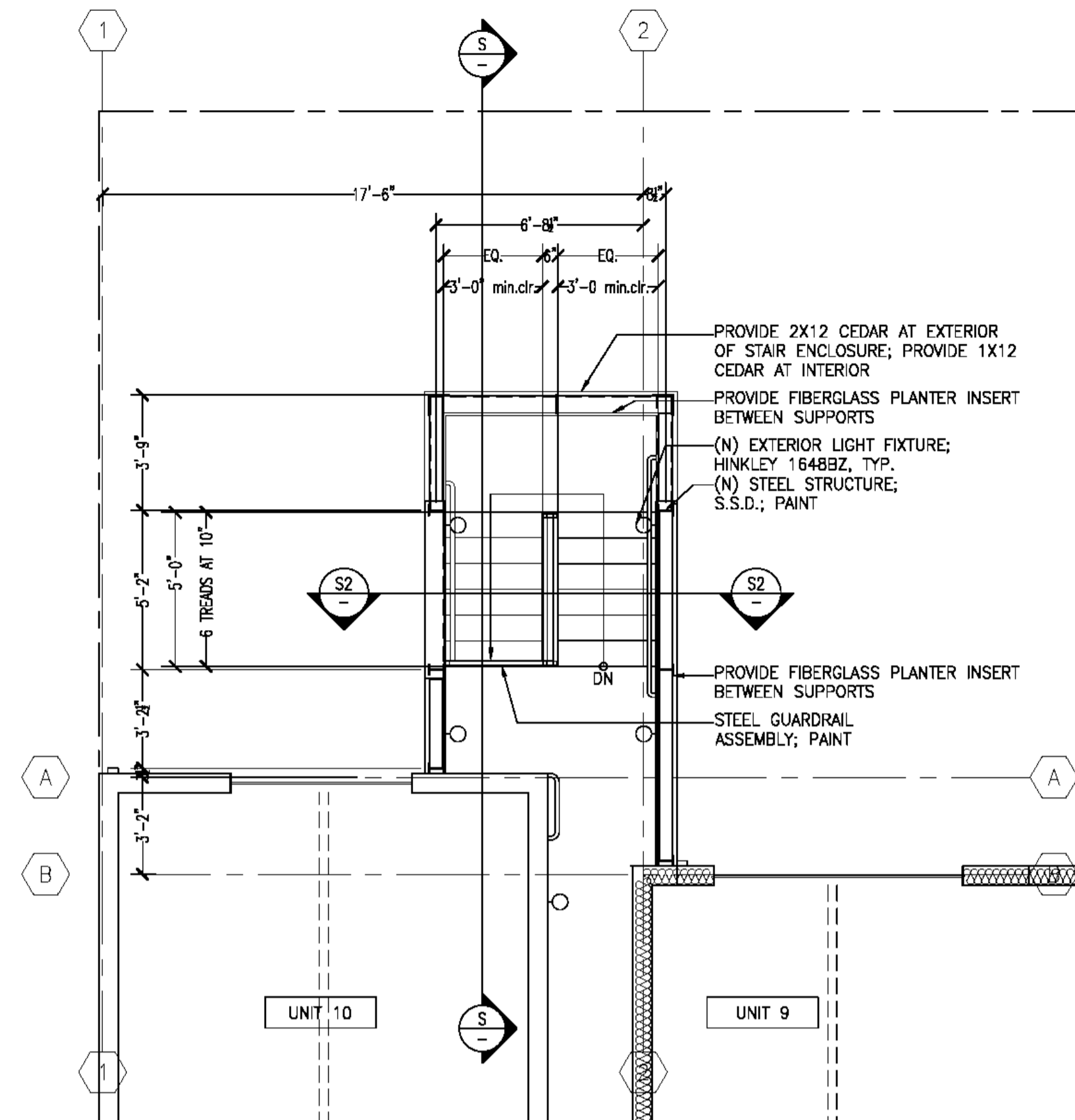
A3.1



1 ENLARGED PLAN: GROUND FLOOR (REAR STAIR)
1/4"=1'-0"



2 ENLARGED PLAN: FLOOR 2 (REAR STAIR)
1/4"=1'-0"



3 ENLARGED PLAN: FLOOR 3 (REAR STAIR)
1/4"=1'-0"

GENERAL

ALL DIMENSIONS ARE TO F.O.S. OR CENTERLINE OF STEEL, U.N.O.

ALL RISER HEIGHTS TO BE 7.75" MAX PER CBC 1003.3.3.3

ALL TREAD WIDTHS TO BE 10" MIN PER CBC 1003.3.3.3

PROVIDE MIN. HEADROOM CLEARANCE OF 8'-8" PER CBC 1003.3.3.4

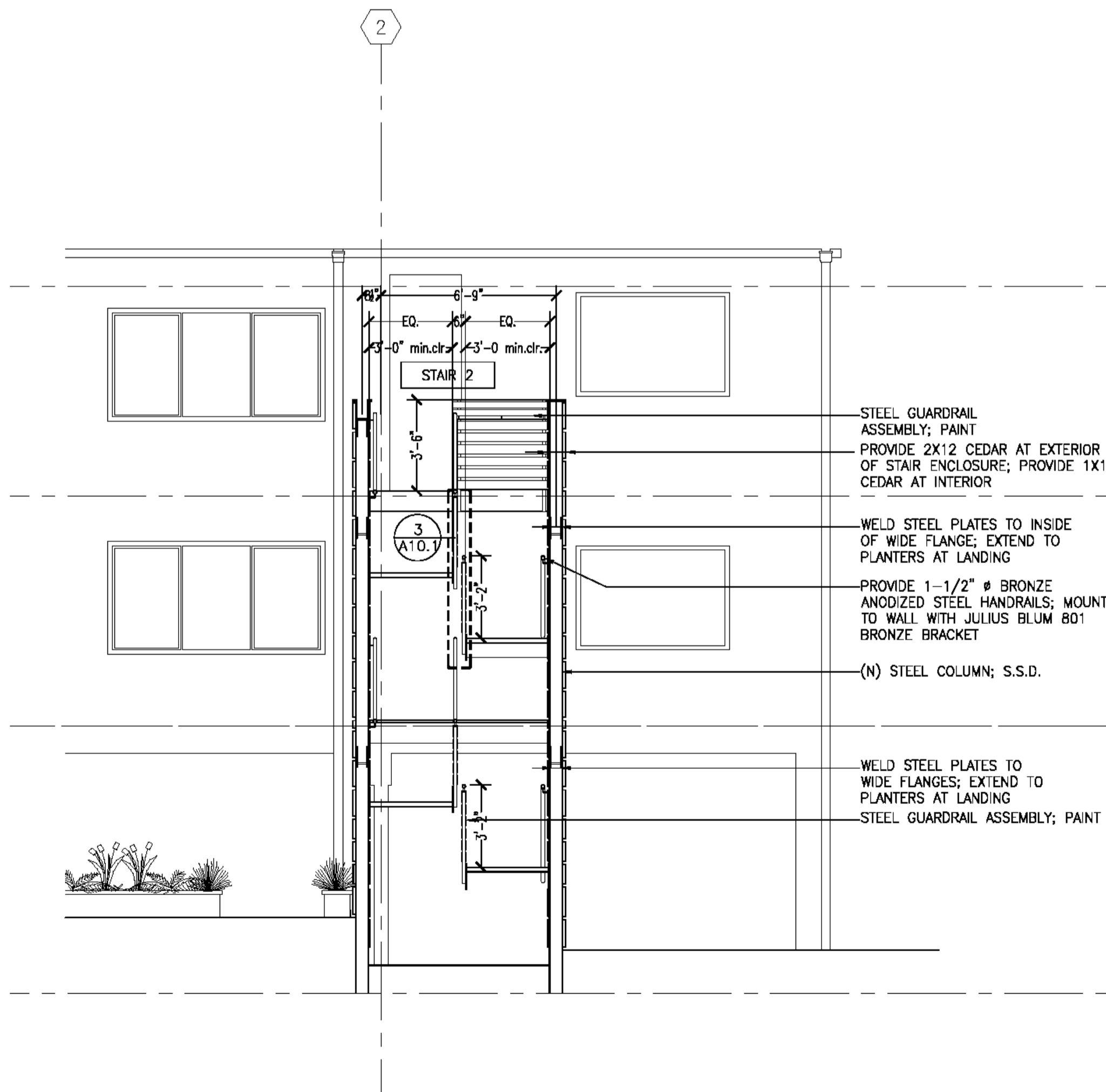
FOR STAIR TREAD DETAILS REFER (1) (A10.1) (17) (A10.1)

FOR HANDRAIL DETAILS, REFER (5) (A10.1) (8) (A10.2)

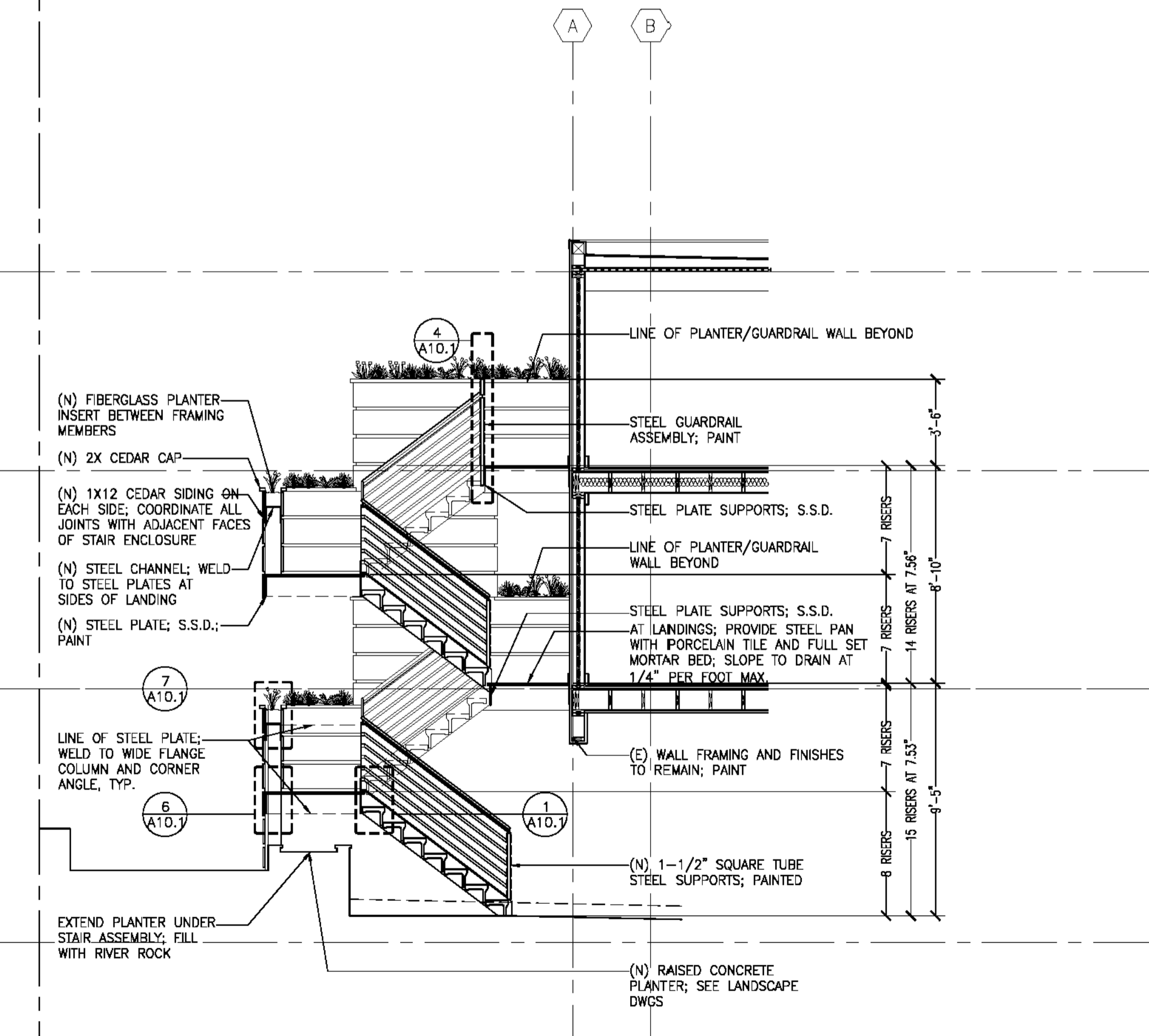
FOR GUARDRAIL DETAILS, REFER (4) (A10.1)

PROVIDE 42" HIGH STEEL GUARDRAIL AT ALL TOP LANDINGS AND OPEN EDGES PER CBC REQUIREMENTS

STAIR AT REAR REPLACES A FIRE ESCAPE. PER MEETINGS WITH THE CITY, THIS STAIR MAY ALSO BE CONSTRUCTED AS AN OPEN STAIR ASSEMBLY.



S2 STAIR SECTION (REAR STAIR)
1/4"=1'-0"



S1 STAIR SECTION (REAR STAIR)
1/4"=1'-0"



226 27th Street - 3 San Francisco, CA

226 27th Street

San Francisco, CA
PROJECT NO. 10-15

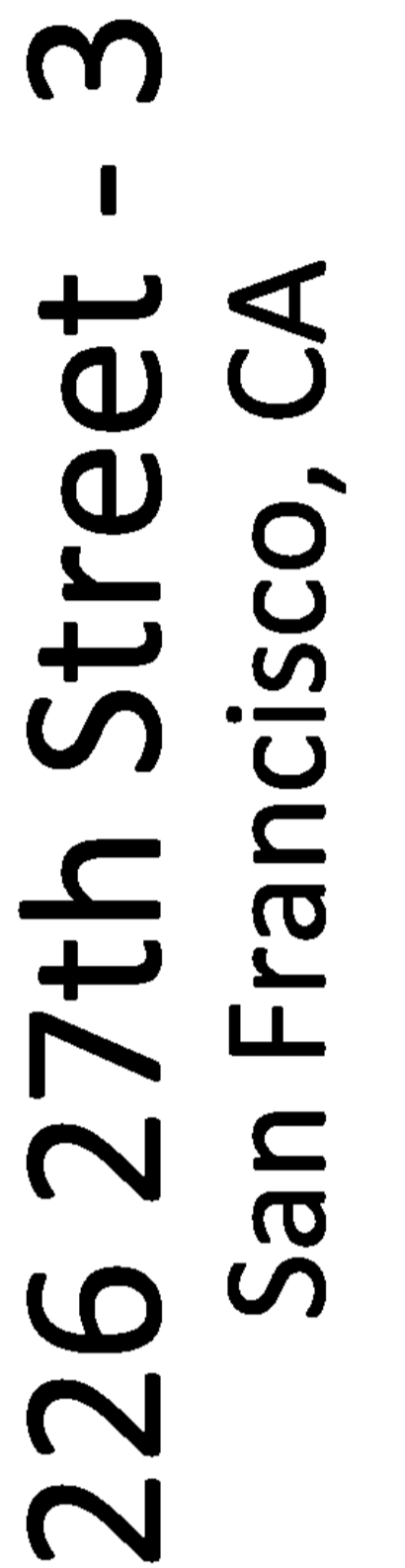
DATE SET ISSUE
12-18-2010 VARIANCE APPLICATION

CONTACT:
SERINA CALHOUN
(415) 730-5060 P
serina@sync-arch.com

SCALE: 1/4" = 1'-0"

ENLARGED
STAIR:
REAR STAIR

A5.2



DATE	SET ISSUE
12-18-2010	VARIANCE APPLICATION

SCALE: AS NOTED

A10.1



