MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377



1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, February 23rd, 2011

Beginning at 9:30 AM Time:

City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408 Location:

Case Type: **Variance (Rear Yard)** Hearing Body: Zoning Administrator

PROPERTY INFORMATION APPLICATION INFORMATION 226 27th Street Project Address: 2010.1137V Case No.:

Cross Street(s): **Dolores & Church streets Building Permit:**

N/A 6578/047 Block /Lot No.: Applicant/Agent: Serina Calhoun Zoning District(s): Telephone: RH-2/40-X (415) 558-9843

Area Plan: E-Mail: N/A serina@sync-arch.com

PROJECT DESCRIPTION

The proposal for the existing three-story, ten-family dwelling includes (1) the removal of an existing metal fire escape at the rear of the second and third floors, and (2) the construction of a two-story rear stairway providing the second and third floors with a second means of egress.

SECTION 134(c)(1) of the PLANNING CODE requires a minimum rear yard depth of 47 feet 6 inches, measured from the rear property line, for the subject lot. The existing building encroaches 23 feet 6 inches into the required rear yard. The proposed two-story rear stairway would extend additional 15 feet from the rear wall of the subject building to within 9 feet of the rear property line.

Section 188 of the Planning Code prohibits enlargements and alterations to a noncomplying structure. Since a portion of the subject building was legally constructed within the currently required rear yard, it is considered a legal noncomplying structure. The proposed two-story rear stairway would result in an addition to a noncomplying structure.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Tom Wang Telephone: (415) 558-6335 E-Mail: thomas.wang@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2011.1137V.pdf

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

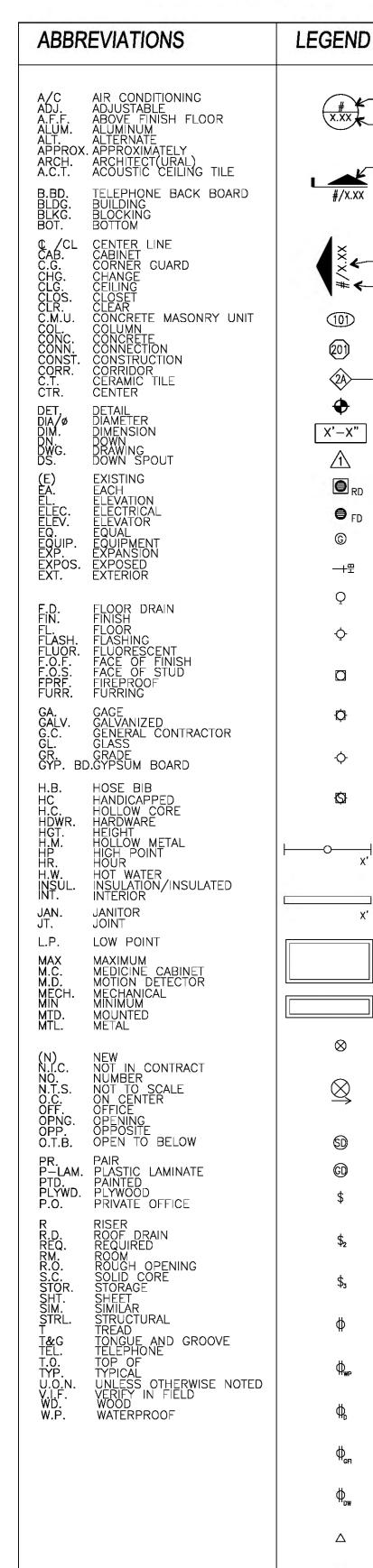
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

226 27th Street

Installation of (N) Rear Stair



GENERAL NOTES

DETAIL REFERENCE NUMBER

SHEET WHERE SECTION IS LOCATED

SHEET WHERE ELEVATION IS LOCATED # — ELEVATION REFERENCE NUMBER

DOOR SYMBOL

__ WALL / FLOOR TYPE SYMBOL ELEVATION DATUM

> CEILING HEIGHT REVISION SYMBOL

FLOOR DRAIN GAS HOOK-UP

HOSE BIB

WALL-MOUNTED INCANDESCENT SCONCE LIGHT FIXTURE

WALL-MOUNTED COMPACT FLUORESCENT SCONCE LIGHT FIXTURE

RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING

RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING

SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING

COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING

——O——— SURFACE—MOUNTED FLUORESCENT STRIP X' LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)

SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)

2'X4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH WRAP AROUND LENS

1'X4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH WRAP AROUND LENS

EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED

EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS REQUIRED)

CEILING-MOUNTED SMOKE DETECTOR

GARBAGE DISPOSAL

ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.

TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.

THREE-WAY SWITCH,

DUPLEX OUTLET,

MOUNTED AT +48" A.F.F., U.O.N.

MOUNTED AT +15" A.F.F, U.O.N.

DUPLEX OUTLET (WATERPROOF) MOUNTED AT +15" A.F.F. U.O.N.

MOUNTED AT +15" A.F.F, U.O.N.

DUPLEX OUTLET, (DEDICATED)

DUPLEX OUTLET, WITH GROUND FAULT INTERRUPTOR, MOUNTED AT +44" A.F.F, U.O.N.

DUPLEX OUTLET (FOR DISHWASHER), MOUNTED UNDER KITCHEN CABINET

TELEPHONE JACK, MOUNTED AT +15" A.F.F., U.O.N.

DATA JACK,

MOUNTED AT +15" A.F.F., U.O.N. DOORBELL,

MOUNTED AT +48" A.F.F., U.O.N.

TELEVISION CABLE JACK. MOUNTED AT +15" A.F.F., U.O.N.

GENERAL CONDITIONS: AIA DOCUMENT A201 GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION

EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK, NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE

PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.

CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING

SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.

CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE

SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.

PATCHING: PROPERLY PREPARE SURFACES FO RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.

ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.

"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.

"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.

SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.

GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT. EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE

COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS.

EXISTING REAR WALL PHOTOS





PROPOSED REAR STAIR IMPROVEMENTS



FACADE IMPROVEMENTS (PART OF SEPARATE APPLICATION)





DRAWING INDEX

ARCHITECTURAL COVER SHEET EGRESS PLANS

FLOOR PLAN: DEMOLITION A2.1 FLOOR PLAN: NEW CONSTRUCTION

A3.1 EXTERIOR ELEVATIONS

A5.2 STAIR SECTIONS - REAR STAIR A10.1 STAIR DETAILS

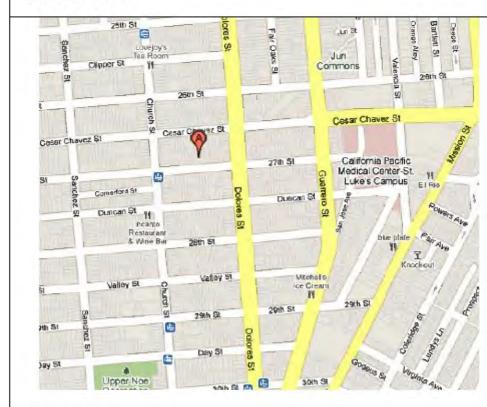
L2.1 LANDSCAPE PLAN

OPEN PERMIT APPLICATION NUMBERS

2010-06033745 KITCHEN/BATH UPGRADES AT UNITS 3, 8, 9 2010-06033744 - KITCHEN/BATH UPGRADES AT UNITS 1, 2, 7 2010-06033743 - KITCHEN/BATH UPGRADES AT UNITS 6, 10

2010-06033742 - LAUNDRY ROOM IMPROVEMENTS (NOW UNIT 1)

AREA MAP



CONTACT LIST

LHJS INVESTMENTS LLC 1355 WILLOW WAY SUITE 250 CONCORD, CA 94520 ARCHITECT: SERINA CALHOUN

SYNCOPATED ARCHITECTURE 1765 OAK STREET SAN FRANCISCO, CA 94117 415.730.5060

STRUCTURAL: MIKE HICKS FULCRUM STRUCTURAL ENGINEERING 665 THIRD STREET

SUITE 333 SAN FRANCISCO, CA 94107 415.543.0161 415.543.0162 FAX

CODE INFORMATION

226 27TH STREET ADDRESS: SAN FRANCISCO, CA BLOCK #:

LOT #: 5,700 SF LOT SIZE:

2007 CALIFORNIA BUILDING CODE (CBC) CODES: SETBACKS:

FRONT AND SIDE SETBACKS ARE EXISTING AND ARE NOT BEING CHANGED.

A NEW, CODE REQUIRED EXIT STAIR IS PROPOSED IN THE REAR SETBACK

SETBACKS PROVIDED: FRONT: (E) SETBACK 0' SIDE: (E) SETBACK 3'-11" REAR: (E) SETBACK 21'-6"

REAR: PROPOSED SETBACK 9'-0" SIDE: (E) 9'-3" HEIGHT ALLOWED (253): 40'

EXISTING BUILDING HEIGHT: 28'-6" NUMBER OF STORIES: EXISTING THREE STORIES

OCCUPANT CLASS: ALLOWABLE FLOOR AREA CONSTRUCTION TYPE: 24,000 SF

EXISTING GROUND FLOOR: 663 SF BUILDING LIMITATIONS EXISTING FLOOR 2: 3,048.5 SF PER CBC TABLE 5B: EXISTING FLOOR 3: 3,048.5 SF TOTAL SQUARE FOOTAGE: 6,760 SF

> EXISTING FLOOR AREA: 1,870 SF SIZE OF ADDITION: 541 SF TOTAL FLOOR AREA (NEW): 2,411 SF

OFF STREET PARKING: 10 EXISTING OFF STREET PARKING SPACES PROVIDED TO REMAIN

5 BICYCLE PARKING SPACES REQUIRED BICYCLE PARKING: 10 BICYCLE PARKING SPACES PROVIDED

SCOPE OF WORK

REMOVE (E) FIRE ESCAPE

iNSTALL (N) REAR EXIT STAIR

INSTALL (N) BIKE RACKS

NEW LANDSCAPING AT REAR YARD



226 27th Street San Francisco, CA

DATE SET ISSUE 10-03-2010 ISSUED FOR PRICING

PROJECT NO. 10-15

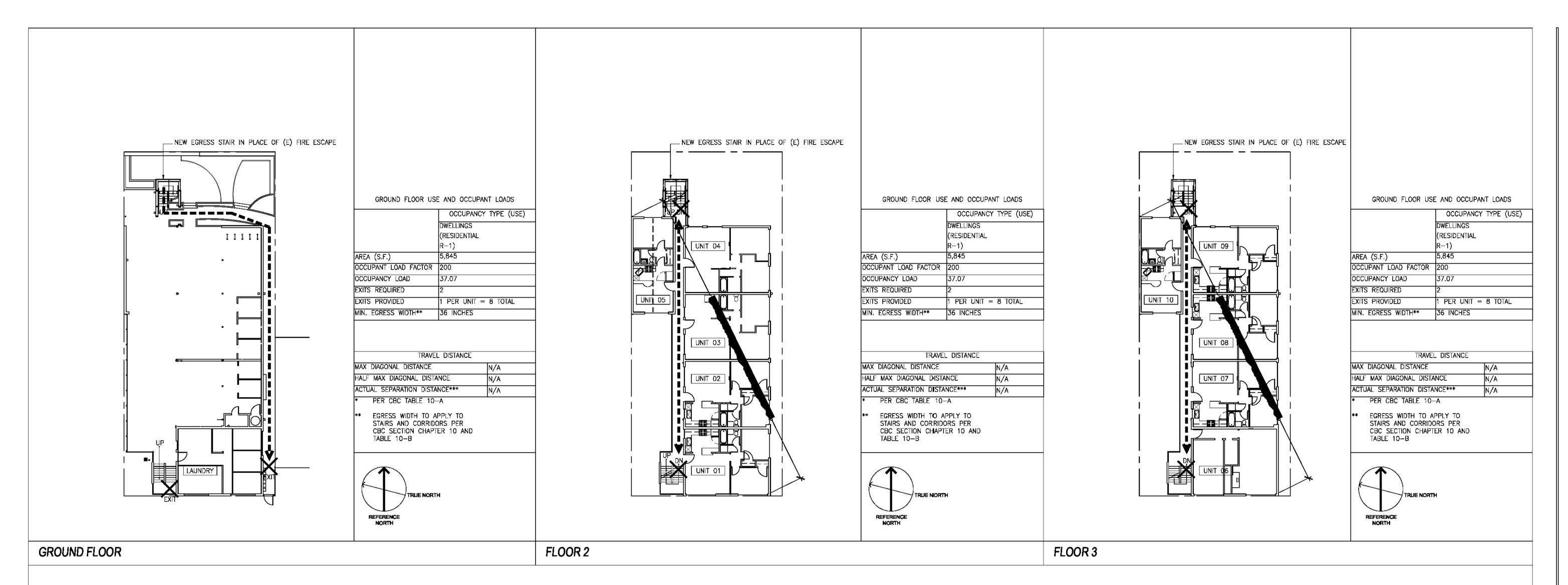
CONTACT:

SERINA CALHOUN (415) 730-5060 P

serina@sync-arch.com

SCALE: AS NOTED

COVER SHEET





226 27th Street

San Francisco, CA PROJECT NO. 10-15

DATE SET ISSUE

12-16-2010 VARIANCE APPLICATION

CONTACT:

SERINA CALHOUN

(415) 730-5060 P serina@sync-arch.com

SCALE: 1/16" = 1'-0"

EGRESS SUMMARY

A0.2



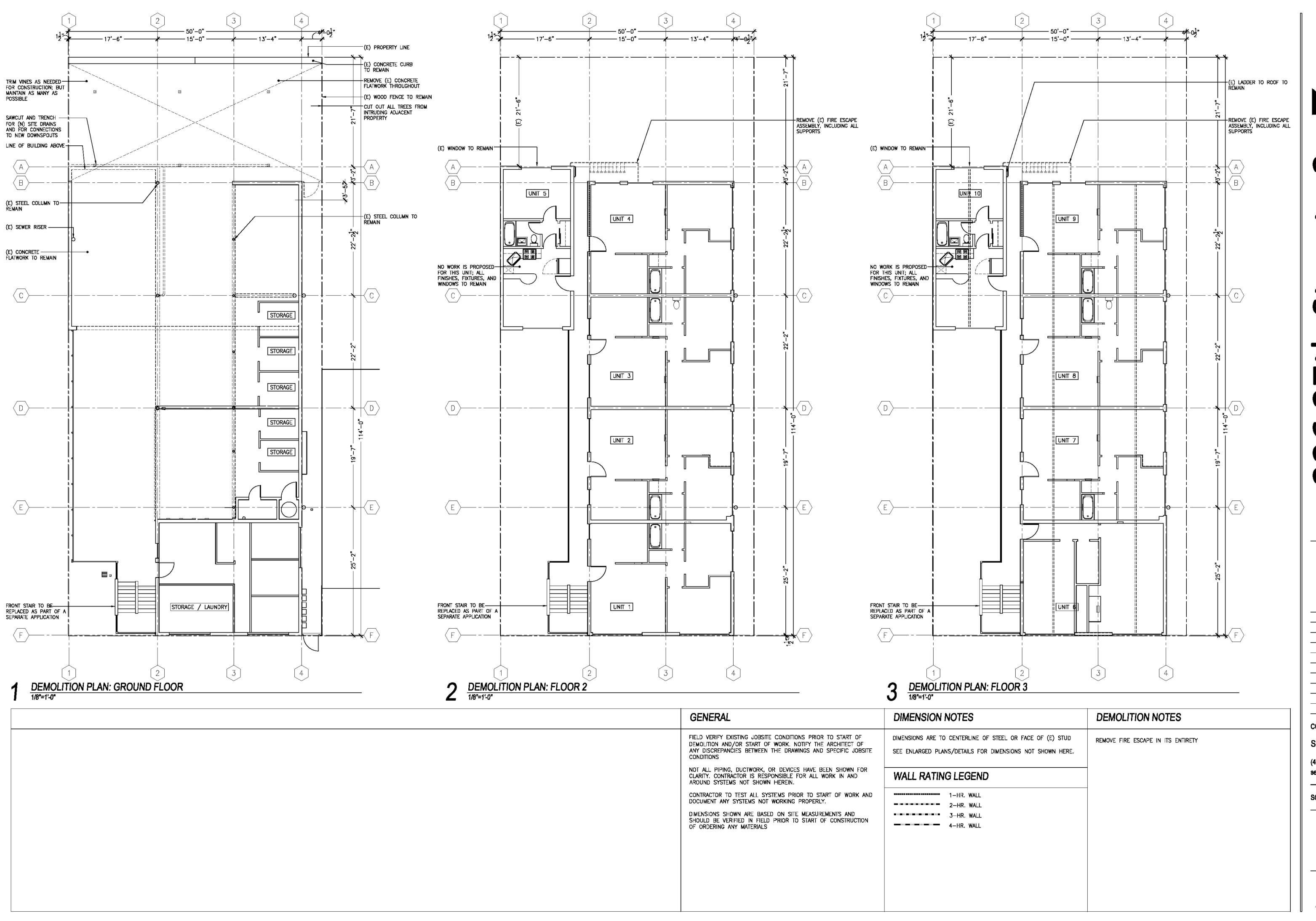
SITE PLAN

SCALE: 1/32" = 1'-0"

SERINA CALHOUN (415) 730-5060 P serina@sync-arch.com

San Francisco, CA PROJECT NO. 10-15 226 27th Street San Francisco, CA







226 27th Street - 3 San Francisco, CA

226 27th Street

San Francisco, CA PROJECT NO. 10-15

DATE SET ISSUE

12-18-2010 VARIANCE APPLICATION

CONTACT:

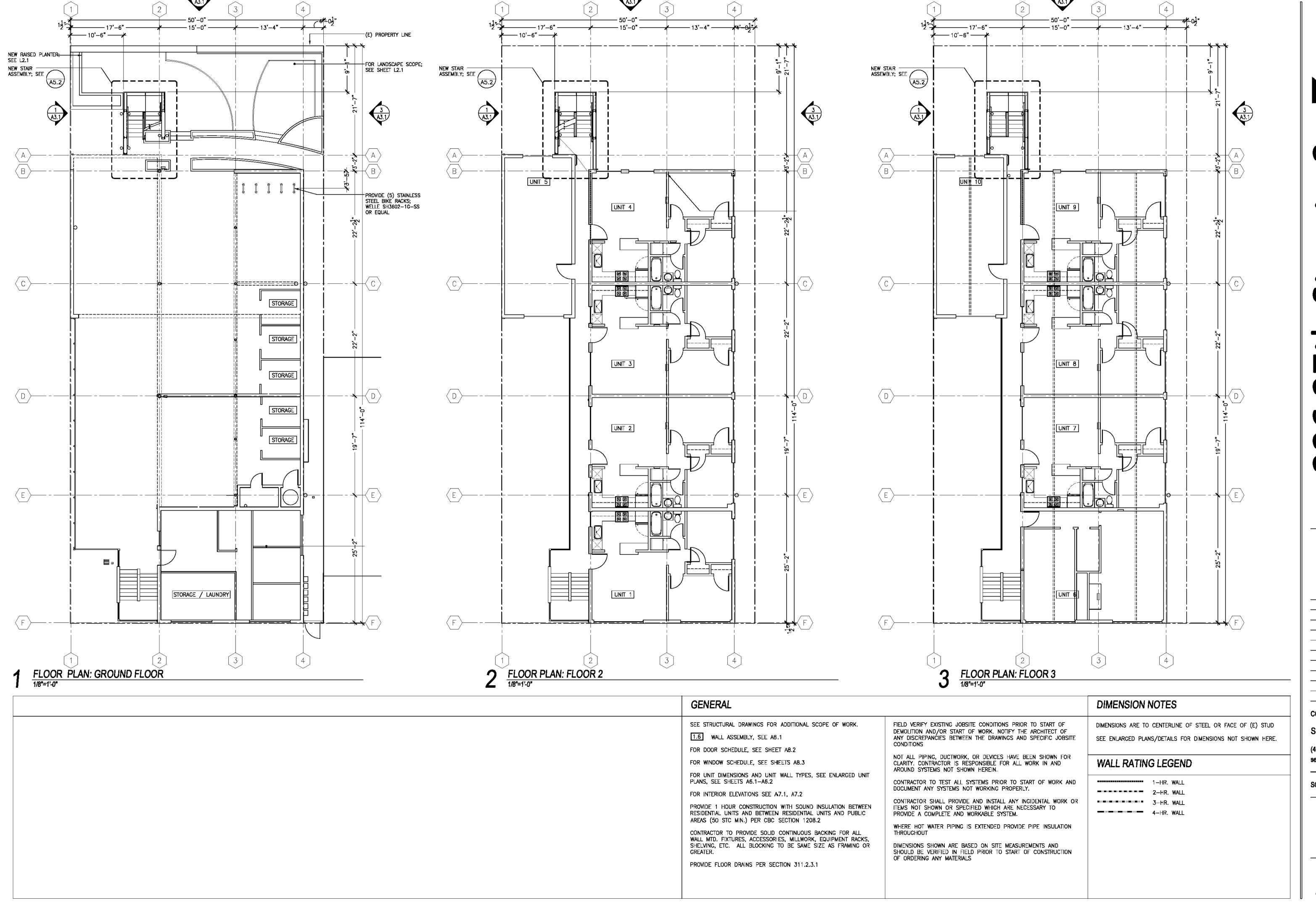
SERINA CALHOUN

(415) 730-5060 P serina@sync-arch.com

SCALE: 1/8" = 1'-0"

FLOOR PLAN DEMOLITION

A2.0





226 27th Street - 3 San Francisco, CA

226 27th Street

San Francisco, CA PROJECT NO. 10-15

DATE SET ISSUE

12-18-2010 VARIANCE APPLICATION

CONTACT:

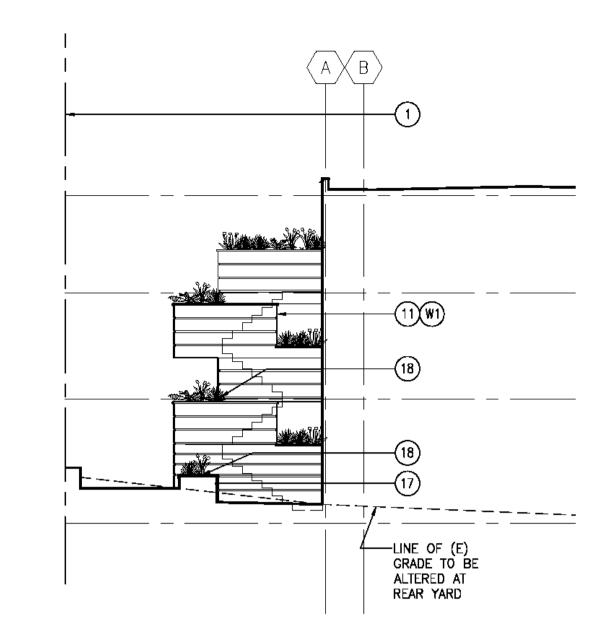
SERINA CALHOUN

(415) 730-5060 P serina@sync-arch.com

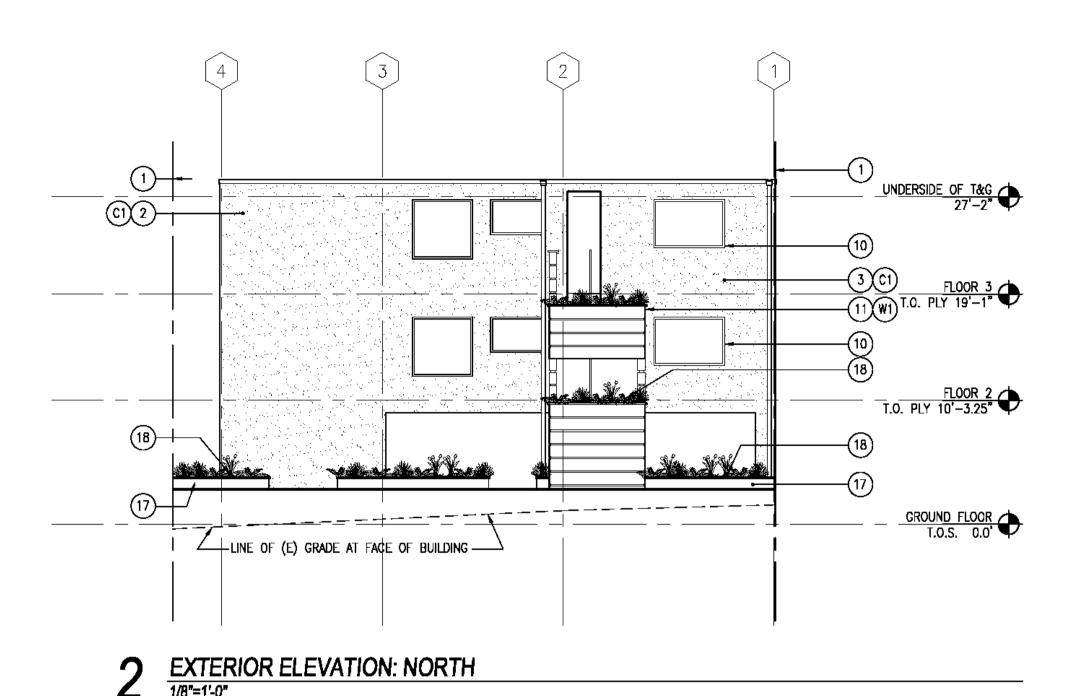
SCALE: 1/8" = 1'-0"

FLOOR PLAN NEW CONST.

A2 1



PARTIAL EXTERIOR ELEVATION: WEST 1/8"=1'-0"



UNDERSIDE OF T&G Ke Willeman FLOOR 3 T.O. PLY 19'-1" T.O. PLY 10'-3.25"

PARTIAL EXTERIOR ELEVATION: EAST

GENERAL NOTES

FOR DEMOLITION SEE A2.0 FOR NEW CONSTRUCTION SEE A2.1

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS NOT SHOWN HEREIN

ALL DIMENSIONS GIVEN TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS WITHOUT CONSULTING WITH ARCHITECT.

CRITICAL ALIGNMENTS MAY OCCUR BETWEEN ITEMS INSTALLED BY DIFFERENT TRADES. CONTRACTOR TO NOTE ALL SUCH ITEMS AND NOTIFY AFFECTED TRADES.

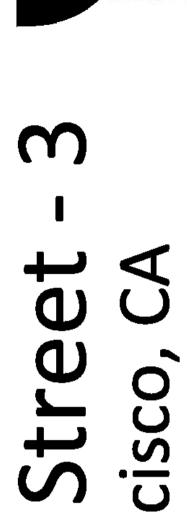
REPEATING ITEMS OR ASSEMBLIES MAY NOT BE NOTED OR DIMENSIONED AT ALL LOCATIONS WHERE REPETITION IS OBVIOUS ..

ALL (N) STUCCO SHALL HAVE A SMOOTH, STEEL TROWEL FINISH. WHERE NEW STUCCO ABUTS (E) STUCCO (N) PAPER SHALL LAP UNDER OR OVER OLD PAPER MIN. OF 2". (N) WIRE MESH SHALL BE TIED TO OLD MESH AND LAPPED MIN. OF 2". AT CORNERS WHERE (E) STUCCO OCCURS AT ONE SIDE ONLY, (E) PLASTER SHALL BE REMOVED MIN. 6" AND (N) PLASTER MESH AND PAPER SHALL BE WRAPPED AROUND

ALL (N) CONSTRUCTION SHALL BE PAINTED OR OTHERWISE FINISHED TO MATCH (E) CONSTRUCTION OF THE SAME NATURE.

SHEET NOTES

- 1 PROPERTY LINE
- (E) WINDOW TO REMAIN
- (11) (N) STEEL STAIR ASSEMBLY; SEE A5.1; S.S.D.
- (E) STEEL COLUMN; SANDBLAST AND PAINT
- (13) LINE OF BUILDING BEYOND
- (14) OPEN TO BEYOND
- (16) LINE OF ADJACENT BUILDING
- (N) RAISED CONCRETE PLANTER; STAIN CONCRETE, COLOR TO BE SELECTED BY ARCHITECT
 (18) (N) LANDSCAPING; SEE L2.1
- (N) EXTERIOR LIGHT FIXTURE; SEE E2.1
- (E) ELECTRICAL EQUIPMENT
- (E) MECHANCIAL/PLUMBING EQUIPMENT
- (N) MECHANICAL LOUVER; PAINT
- C1 PAINT COLOR 1
- C2 PAINT COLOR 2
- C3 PAINT COLOR 3
- W1) 1X12 CEDAR; SEE DETAILS FOR SPACING
- (W2) 1X6 CEDAR; SEE DETAILS FOR SPACING



226 27th Street

San Francisco, CA PROJECT NO. 10-15

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1 2-16-2 010	VARIANCE APPLICATION

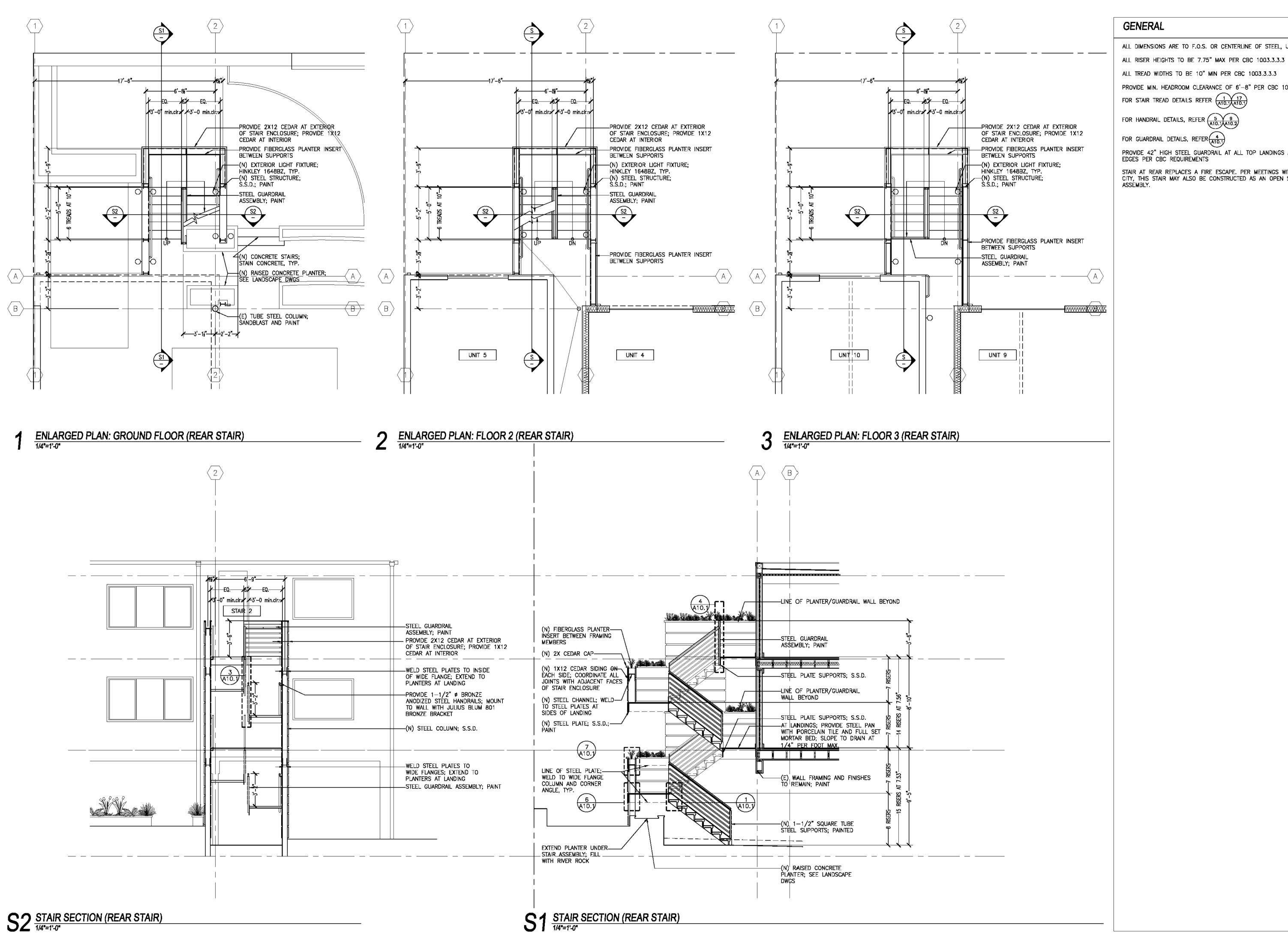
CONTACT:

SERINA CALHOUN

(415) 730-5060 P serina@sync-arch.com

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS



- ALL DIMENSIONS ARE TO F.O.S. OR CENTERLINE OF STEEL, U.N.O.
- ALL TREAD WIDTHS TO BE 10" MIN PER CBC 1003.3.3.3
- PROVIDE MIN. HEADROOM CLEARANCE OF 6'-8" PER CBC 1003.3.3.4
- PROVIDE 42" HIGH STEEL GUARDRAIL AT ALL TOP LANDINGS AND OPEN

STAIR AT REAR REPLACES A FIRE ESCAPE. PER MEETINGS WITH THE CITY, THIS STAIR MAY ALSO BE CONSTRUCTED AS AN OPEN STAIR



226	27th	S
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San Francisco, CA PROJECT NO. 10-15

DATE SET ISSUE 12-16-2010 VARIANCE APPLICATION

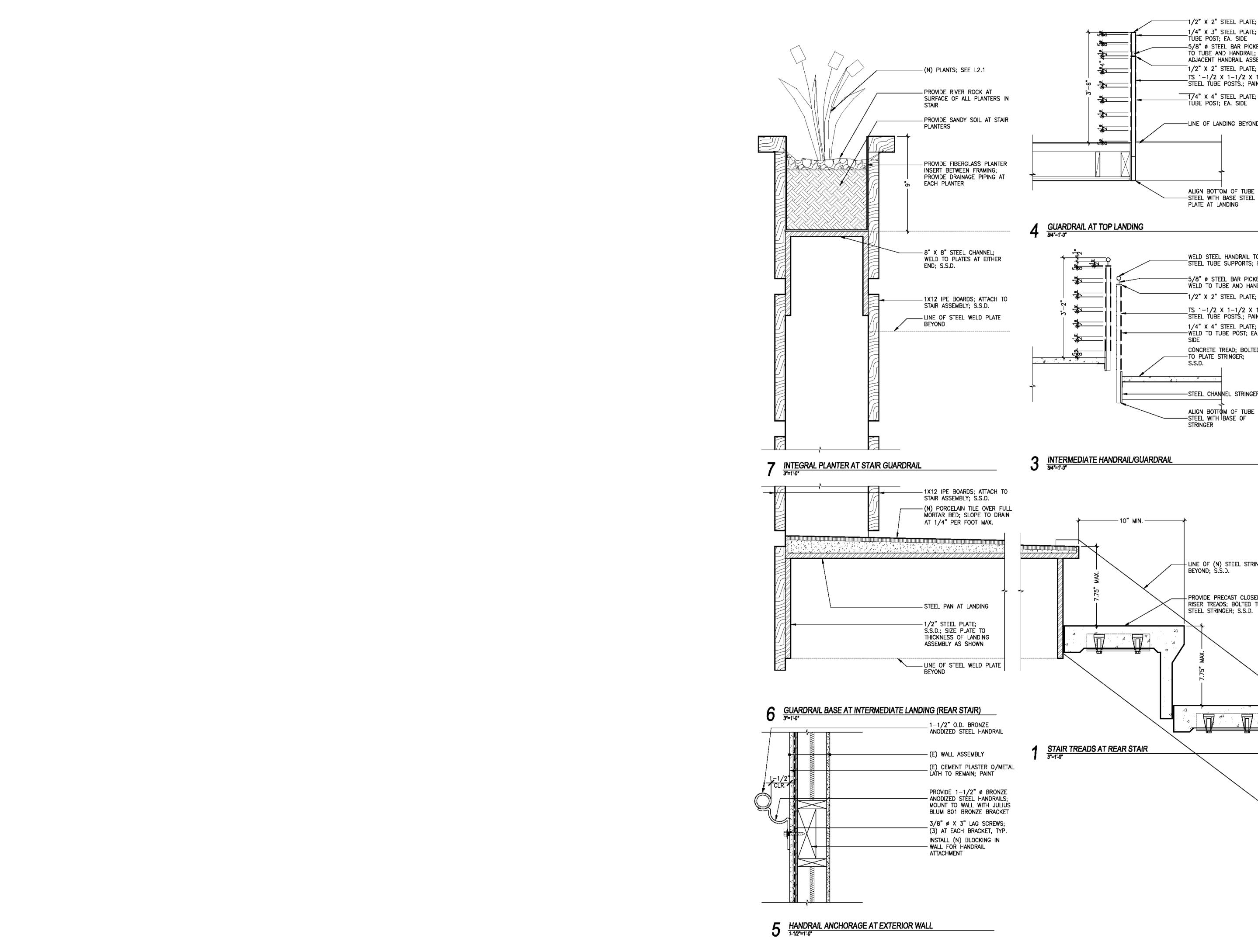
CONTACT:

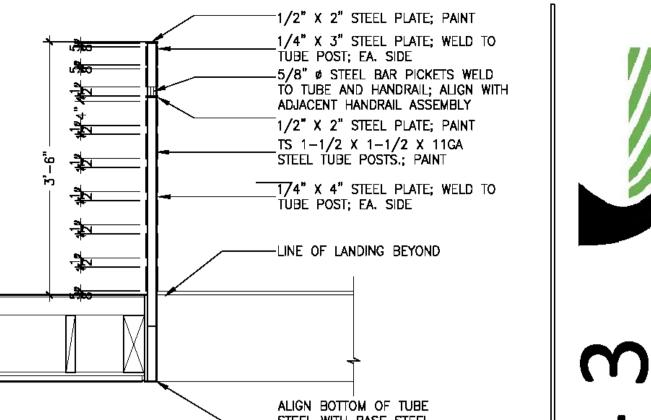
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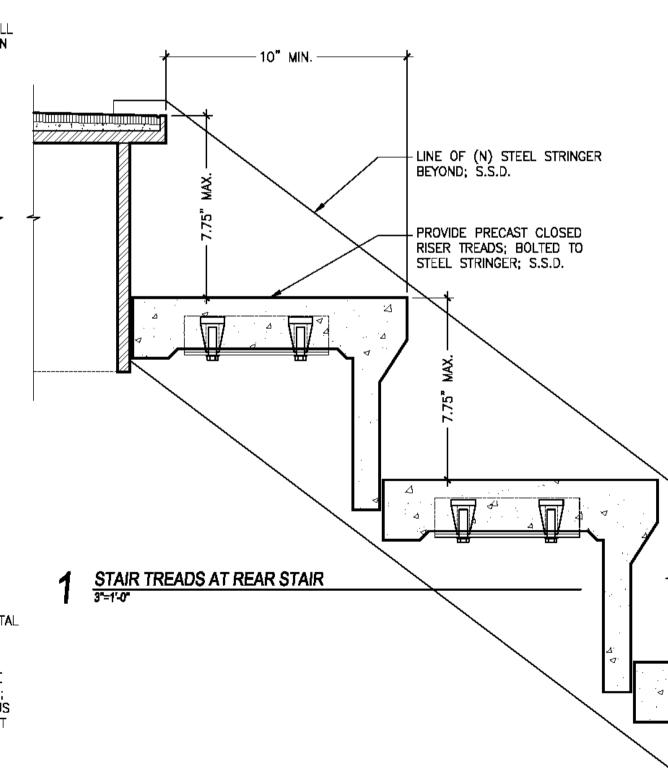
SCALE: 1/4" = 1'-0"

ENLARGED STAIR: **REAR STAIR**





WELD STEEL HANDRAIL TO STEEL TUBE SUPPORTS; PAINT -5/8" Ø STEEL BAR PICKETS WELD TO TUBE AND HANDRAIL 1/2" X 2" STEEL PLATE; PAINT _TS 1-1/2 X 1-1/2 X 11GA STEEL TUBE POSTS.; PAINT 1/4" X 4" STEEL PLATE; -WELD TO TUBE POST; EA. CONCRETE TREAD; BOLTED TO PLATE STRINGER; -STEEL CHANNEL STRINGER ALIGN BOTTOM OF TUBE -STEEL WITH BASE OF



226 27th Street

San Francisco, CA PROJECT NO. 10-15

DATE	SET ISSUE
12-16-2010	VARIANCE APPLICATION

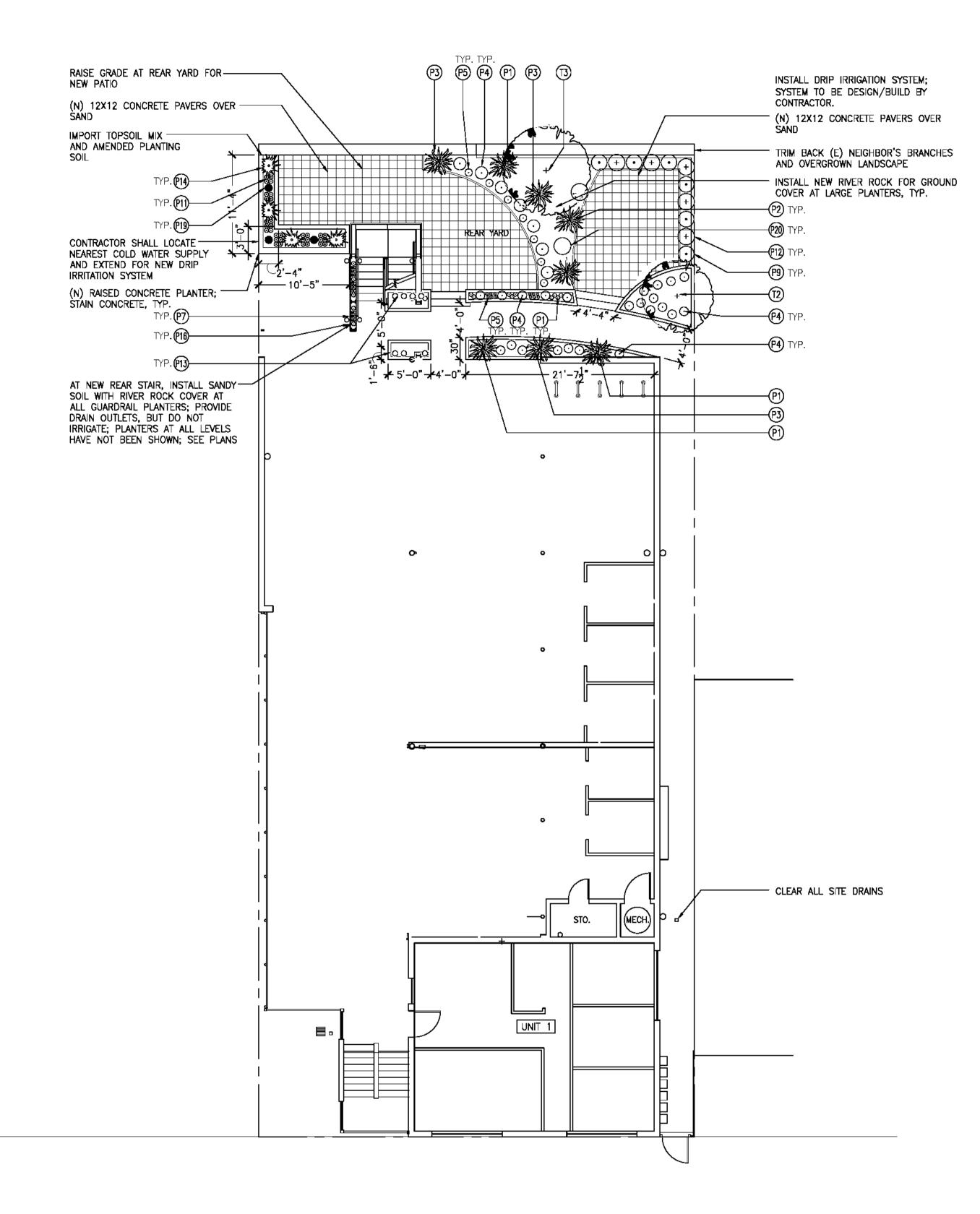
CONTACT:

SERINA CALHOUN

(415) 730-5060 P serina@sync-arch.com

SCALE: AS NOTED

STAIR **DETAILS**



27TH STREET

LANDSCAPE PLAN
1/8"=1'-0"



LANDSCAPING NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.

2. ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS.

3. ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.

4. CONTRACTOR IS RESPONSIBLE FOR DESIGN, ENGINEERING, AND INSTALLATION OF THE NEW DRIP IRRIGATION SYSTEM. DESIGN TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

PLANTING NOTES

- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- 2. PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE ARCHITECT.
- 3. ALL TREES ARE TO BE STAKED AS SHOWN ON THE DETAILS
- 4. PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR, IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
- 5. BRANCHING HEIGHT OF TREES SHALL BE 6' MINIMUM ABOVE FINISH GRADE

6. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH 1" LAYER OF FIR BARK CHIPS HAVING A MAXIMUM SIZE OF 3/4" DIAMETER.

7. ALL TREES WITHIN 4' OF PAVING AREAS SHALL HAVE DEEP ROOT BARRIERS INSTALLED. DEEP ROOT BARRIER MODEL NO. UB.24.2

PLANTING MAINTENANCE

1. PLANTS SHALL BE CHECKED EVERY 1-2 YEARS TO DETERMINE WHETHER ROOTS ARE ADVERSELY AFFECTING THE GROWTH OF SMALLER PLANS. THESE ROOTS SHOULD BE CUT TO SLOW FURTHER GROWTH.

2. SPECIAL ATTENTION SHOULD BE GIVEN TO PRUNING TREES AND SHRUBS IN ORDER TO MAINTAIN A BALANCE BETWEEN BRANCHING AND ROOT GROWTH.

3. ALL PLANTED AREAS SHALL ANNUALLY RECEIVE A TOP DRESSING, APPROXIMATELY $\frac{1}{2}$ " THICK, MADE UP OF A MIXTURE MATCHING THE ORIGINAL PLANTING MEDIUM.

4. ALL PLANTING AREAS TO BE FERTILIZED 3 TIMES PER YEAR, MIN.

LEGEN	
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(E) WALLS	
(N) LOW WALLS / PLANTER W	VALLS

PLANTING LIST / LEGEND

SYMB.	BOTANICAL NAME	SIZE	COMMON NAME	O.C. SPACING	CNT
P1	PHORMIUM TENAX "YELLOW WAVE"	5 GALL.	NEW ZEALAND FLAX "YELLOW WAVE"	48"	3
P2	PHORMIUM TENAX "MAORI QUEEN"	5 GALL.	NEW ZEALAND FLAX "MAORI QUEEN"	48"	3
P 3	PHORMIUM TENAX "PURPUREUM"	5 GALL.	NEW ZEALAND FLAX "PURPUREUM"	48"	3
P4	POLYSTICHUM MUNITUM	3 GALL.	SWORD FERN	12*-15*	30
P5	ANIGOZANTHOS "RUFUS"	3 GALL.	RED KANGAROO PAW	18"-24"	15
P6	ZANTEDESCHIA ELLIOTTIANA	1 GALL.	CALLA LILY	3"-6"	12
P7	JOVIBARBA ALLIONI	1 GALL.	HENS AND CHICKS	6"-9"	18
P 8	NASELLA TENUISSIMA	1 GALL.	MEXICAN FEATHER GRASS	18"-24"	9
P 9	ROSMARINUS OFFICINALIS	3 GALL.	ROSEMARY	12"-24"	6
P10	FICUS PUMILA 'MINIMA'	1 GALL.	CREEPING FIG	12"	32
P11	CATHARANTHUS ROSEUS	1 GALL.	MADAGASCAR PERIWINKLE	6"-9 "	32
P12	LAVANDULA STOECHAS "MADRID BLUE"	3 GALL.	SPANISH LAVENDER "MADRID BLUE"	18"-24"	5
P13	AMARYLLIS BELLADONNA	1 GALL.	BELLADONNA LILY	9"-12"	9
P14	ALPINIA ZERUMBET	5 GALL.	SHELL GINGER	24-36"	4
P15	SANSEVIERIA TRIFASCIATA "FORESCATE"	3 GALL.	SNAKE PLANT "FORESCATE"	12-15"	7
P16	MARRUBIUM ROTUNDIFOLIUM	1 GALL.	SILVER EDGED HOREHOUND	15"-18"	5
P17	BOUGAINVILLEA "PURPLE ROBE"	10 CALL.	BOUGAINVILLEA "PURPLE ROBE"	12'-15'	1
P18	ESCHSCHOLZIA CAESPITOSA "SUNDEW"	1 GALL.	CALIFORNIA POPPY	3"-6"	64
P19	SCHEFFLERA ARBORICOLA "DAZZLE"	10 GALL.	DWARF SCHEFFLERA "DAZZLE"	6'-8'	3
P20	ARACEAE PHILODENDRON "IMPERIAL GREEN"	3 GALL.	PHILODENDRON "IMPERIAL GREEN"	24"-36"	2
T1	GINKGO BILOBA "AUTUMN GOLD"	20 GALL.	GINKGO BILOBA "AUTUMN GOLD"	10'-12'	1
T2	AÇER PALMATUM "KATSURA"	24 GALL.	JAPANESE MAPLE "KATSURA"	12'-15'	1
тз	PYRUS CALLERYANA "CHANTICLEER"	24 GALL.	DECORATIVE PEAR "CHANTICLEER"	12'-15'	1



226 27th Street - 3 San Francisco, CA

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DATE SET ISSUE

San Francisco, CA PROJECT NO. 10-15

12-16-2010 VARIANCE APPLICATION

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SCALE: 1/8" = 1'-0"

LANDSCAPE PLAN

L2.1