



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

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NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Parking)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	352 Richland Avenue	Case No.:	2010.1133V
Cross Street(s):	Murray and Andover Sts.	Building Permit:	2010.0830.9852
Block /Lot No.:	5744/062	Applicant/Agent:	Marc Ojanen
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 398-3002
Area Plan:	Bernal Heights SUD	E-Mail:	mojanen@ocarch.net

PROJECT DESCRIPTION

The proposal is to construct a two-story rear addition on to the existing single-family dwelling. The existing building encroaches into the required rear yard; however, the proposal will not encroach into the rear yard.

PLANNING CODE SECTION 242(e)(4) sets forth parking requirements for the Bernal Heights SUD. Three off-street parking spaces are required for construction with usable floor area between 2,251 to 2,850 square feet. The total usable floor area proposed with the addition would be approximately 2,373 square feet. One space currently exists and no additional parking will be provided; therefore, a Variance is required.

PER PLANNING CODE SECTION 188, a non-complying structure may not intensify or increase in discrepancy at any level. The existing building is a non-complying structure in terms of rear yard and parking. The proposed addition enlarges the existing non-complying building envelope; therefore, a Variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Ben Fu**

Telephone: **(415) 558-6613**

E-Mail: **ben.fu@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.1133V.pdf>

中文詢問請電: **415.558.5956**

Para información en Español llamar al: **415.558.5952**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

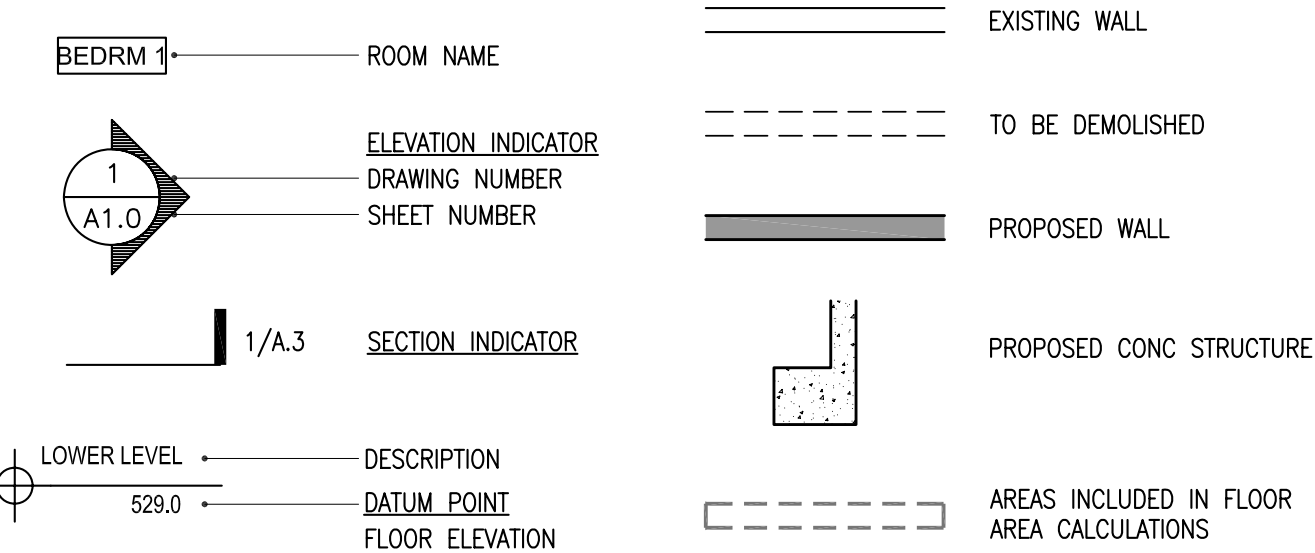
GENERAL NOTES

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT, COORDINATION AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION DEFICIENCIES.
- IN CASE OF ANY DISCREPANCY, NOTIFY THE OWNER BEFORE PROCEEDING. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF WORK, AT HIS/HER EXPENSE, INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS.
- NO DIMENSIONS SHALL BE TAKEN BY MEASURING FROM THE DRAWINGS. DETAILS TAKE PRECEDENCE OVER GENERAL PLANS, SECTIONS, ELEVATIONS, ETC. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD FOR COORDINATION WITH EXISTING AND NEW CONDITIONS.
- DURING DEMOLITION, PROTECT ALL AREAS, PRODUCTS, AND FINISHES FROM DAMAGE FROM CONSTRUCTION OPERATIONS, WEATHER, AND THEFT. REMOVE ALL WALLS, STRUCTURAL ELEMENTS, FINISHES, PAVING, AND UTILITIES AS INDICATED ON THE DRAWINGS AS REQUIRED FOR NEW CONSTRUCTION. REMOVE ONLY THOSE ELEMENTS NECESSARY FOR COMPLETION OF PROJECT. REPLACE OR REPAIR ELEMENTS UNNECESSARILY REMOVED OR DAMAGED DURING CONSTRUCTION. REMOVE MATERIALS FROM SITE AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE CODES.
- ASBESTOS REMOVAL IS NOT INTENDED TO BE COVERED BY THIS CONTRACT. IF ASBESTOS IS SUSPECTED, A TESTING AGENCY MUST BE HIRED TO VERIFY, AND SPECIAL PROCEDURES MUST BE USED FOR REMOVAL AND DISPOSAL. FRIABLE ASBESTOS IS THE DANGEROUS TYPE AND WAS USED EXTENSIVELY FOR PIPE INSULATION, FIREPROOFING AND CERTAIN BUILDING MATERIALS UP TO 1970.
- CUT AND FIT COMPONENTS AS REQUIRED. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.
- ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK IS DESIGN/BUILD BY THE PLUMBING AND ELECTRICAL CONTRACTORS AND IS TO MEET REQUIRED TITLE 24 REQUIREMENTS.
- WATERPROOFING IS NOT INCLUDED IN THE CURRENT SCOPE OF WORK AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ABBREVIATIONS

A.F.F.	ABOVE FLOOR FINISH	MTD.	MOUNTED
ABV	ABOVE	MTL.	METAL
ALUM.	ALUMINUM	N	NORTH
@	AT	(N)	NEW
B.O.	BOTTOM OF	OPNG.	OPENING
CAB	CABINET	ORG	ORGANICS
CLR.	CLEAR	(P)	PROPOSED
C	CENTERLINE	PT	PRESSURE TREATED
DIA.	DIAMETER	PTD.	PAINTED
DIM(S)	DIMENSION(S)	R	RECYCLING
DN	DOWN	R.O.	ROUGH OPENING
DTL.	DETAIL	S.C.	SOLID CORE
CLNG.	CEILING	S.C.D.	SEE CIVIL DRAWINGS
E	EAST	SF	SQUARE FOOT
(E)	EXISTING	SIM.	SIMILAR
EXT.	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FL. FIN.	FLOOR FINISH	ST.	STAINLESS
FLUOR	FLUORESCENT (LIGHT)	STL	STEEL
GYP. BD.	GYPHUM BOARD	T&G	TONGUE AND GROOVE
H, HT	HEIGHT	T.O.	TOP OF
H.C.	HOLLOW CORE	TR	TRASH
INT.	INTERIOR	TR	TYPICAL
N.I.C.	NOT IN CONTRACT	U.O.N.	UNLESS OTHERWISE NOTED
N.T.S.	NOT TO SCALE	W	WEST
O.C.	ON CENTER	W	WIDTH
P	PROPERTY LINE	WD.	WOOD
MAX.	MAXIMUM		
MIN.	MINIMUM		

LEGEND



SCOPE OF WORK

- RECONFIGURE EXISTING FRONT ENTRY PORCH, BEDROOM AND LIVING ROOM AT GROUND FLOOR INTO ENCLOSED MUDROOM (FRONT YARD EXTENSION), ENLARGED FOYER AND 2 BEDROOMS
- ENLARGE KITCHEN/DINING AREA WITH EXTENSION INTO REAR YARD
- CONVERT ATTIC INTO HABITABLE SPACE
- ADD CONNECTING STAIR TO ATTIC AND BASEMENT

CODE ANALYSIS

CURRENT SAN FRANCISCO PLANNING CODE
2007 CALIFORNIA BUILDING CODE, 2007 SAN FRANCISCO BUILDING CODE
2007 CALIFORNIA MECHANICAL CODE WITH AMENDMENTS
2007 CALIFORNIA PLUMBING CODE WITH AMENDMENTS
2007 NATIONAL ELECTRIC CODE WITH AMENDMENTS
2007 CALIFORNIA FIRE CODE
2005 CALIFORNIA ENERGY BUILDING STANDARDS

RH-2 ZONE
BERNAL HEIGHTS SUD/INDUSTRIAL PROTECTION ZONE
HEIGHT AND BULK LIMITS: 40'-X
EXISTING AND PROPOSED USE: SINGLE FAMILY HOUSE

LOT AREA: 2500 SF (25'X100') PER CITY RECORD
YEAR BUILT: 1900
EXISTING BUILDING GROSS FLOOR AREA: 2013 SF

EXISTING BUILDING USABLE FLOOR AREA: 1259 SF

EXISTING NUMBER OF STORIES: 1, PROPOSED: 2

EXISTING BUILDING HEIGHT: 23', NO CHANGE
PARKING: EXISTING: ONE, NO CHANGE
R-3 OCCUPANCY
TYPE V-B CONSTRUCTION

PROJECT DATA

ADDRESS: 352 RICHLAND AVE., SF, CA 94110
BLOCK/LOT: 5744/062

OWNER:
MARK BLOOM AND CYNTHIA VAUGHN
352 RICHLAND AVE., SF, CA 94110

ARCHITECT:
OJANEN CHIQU ARCHITECTS LLP
1290 SUTTER STREET, SUITE 210
SF, CA 94109
CONTACT: MARC OJANEN 415-398-3002

STRUCTURAL ENGINEER:
Fareed A. Himmati, P.E.
HIMMATI ENGINEERING, INC.
311 W. Hunter Ct., Fremont, CA 94539
Ph.: 510-440-9602; Cell: 415-559-9418
Fax: 510-490-3199; Email: fthimmati@sbcglobal.net

DRAWING INDEX

A0 TITLE SHEET, PROJECT DATA, MAP & SITE PLAN

A1 EXISTING FLOOR PLANS

A1.1 EXISTING ELEVATIONS

A1.2 EXISTING ELEVATIONS

A2 PROPOSED FLOOR PLANS

A3 PROPOSED ELEVATIONS

A3.1 PROPOSED ELEVATIONS

A3.2 PROPOSED SECTIONS

S1 NOT USED

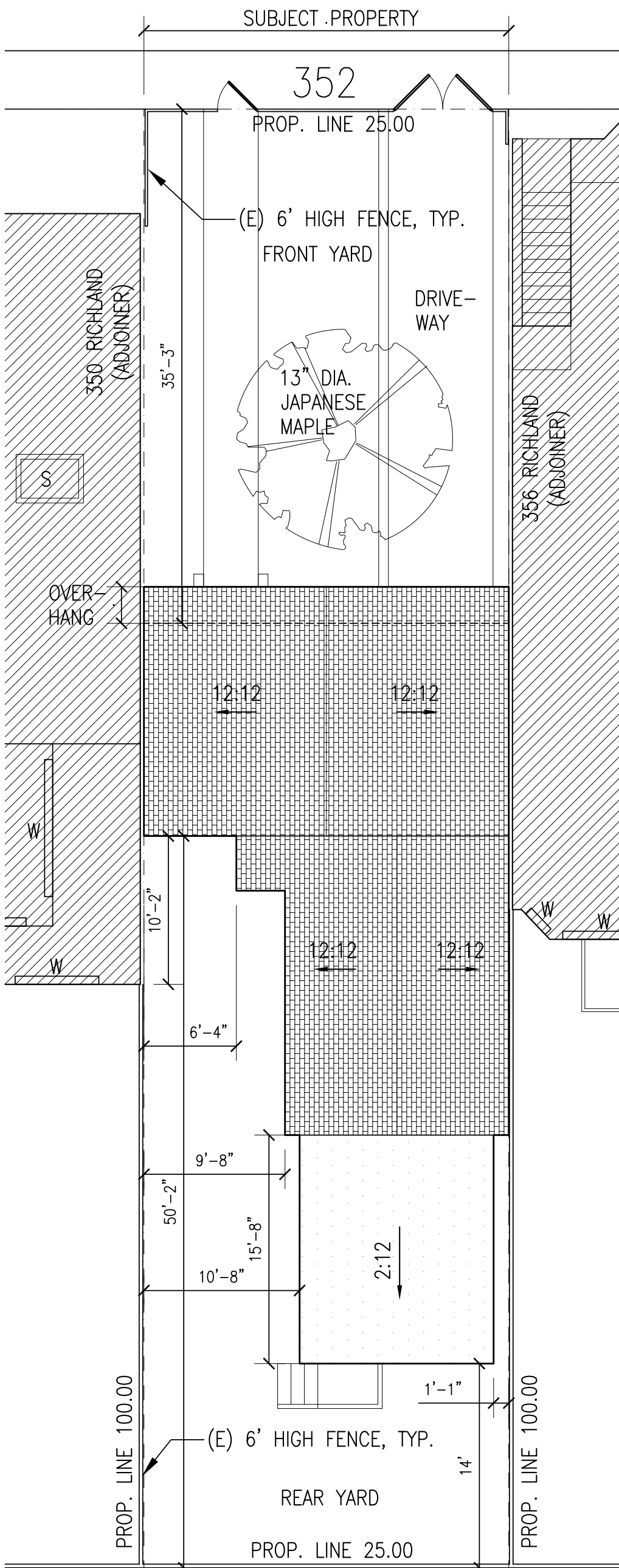
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S3 NOT USED

S4 NOT USED

S5 NOT USED

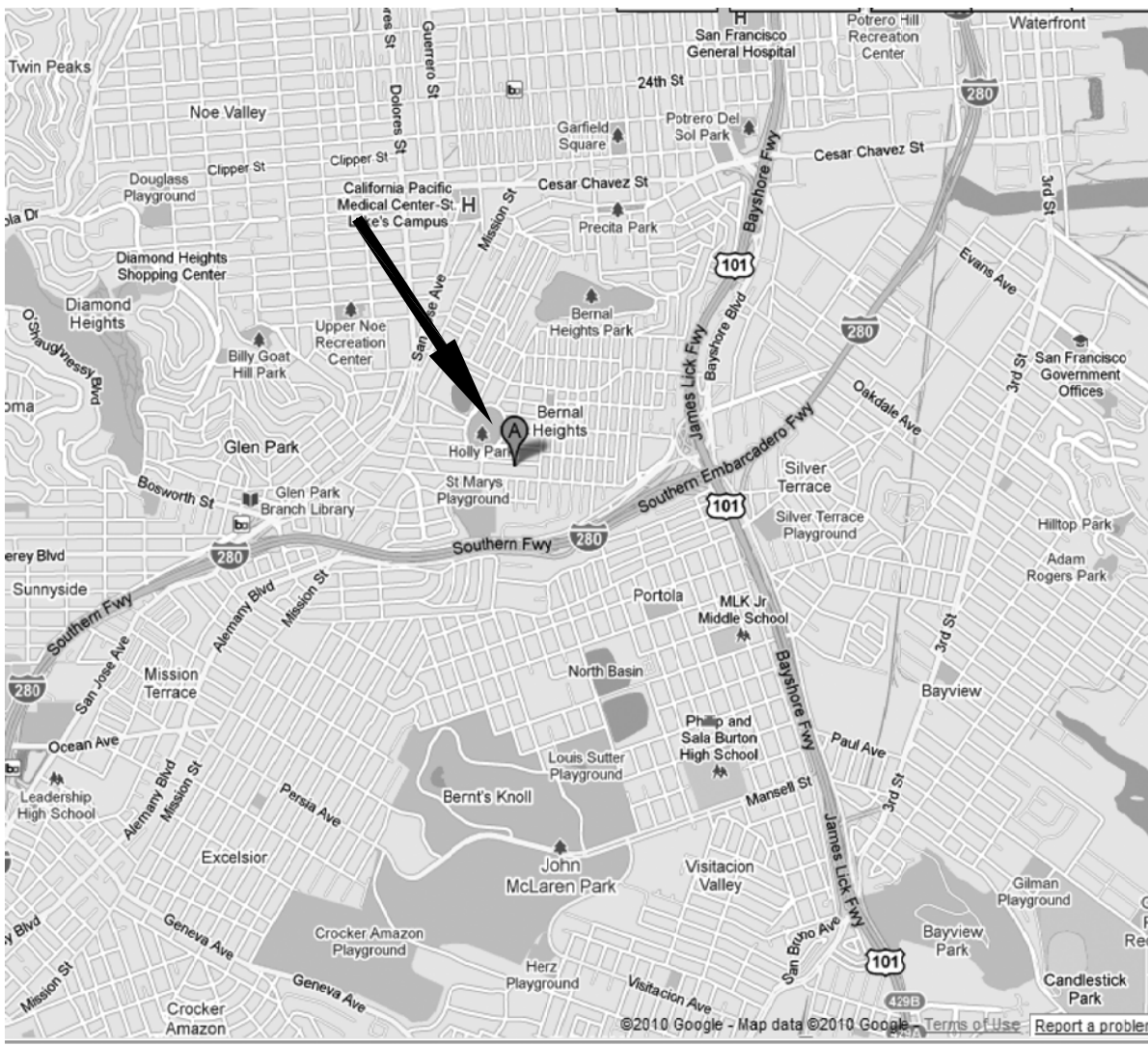
S6 NOT USED



(E) SITE PLAN/ ROOF PLAN
1/8" = 1'- 0"

Z PLANS

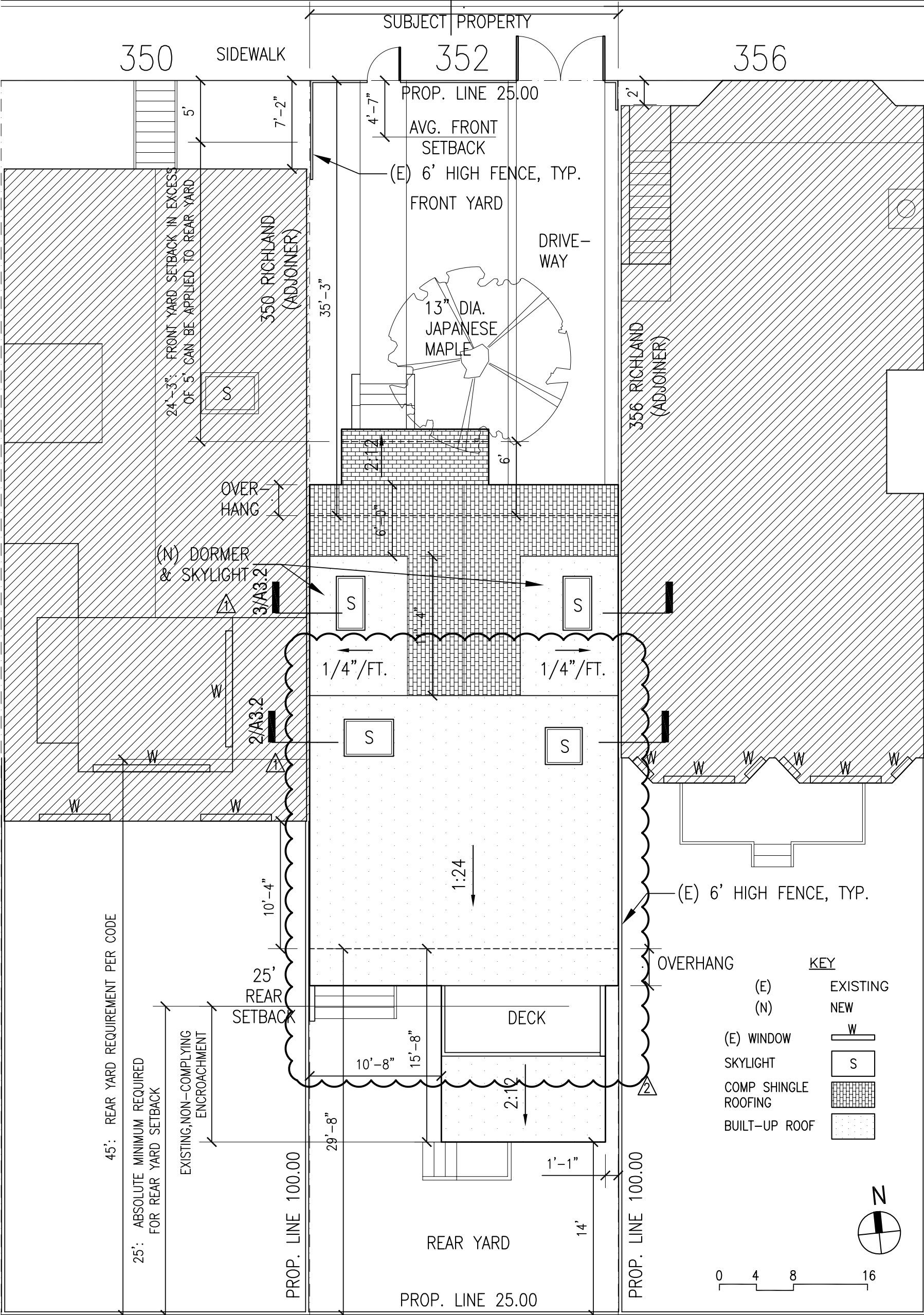
2



AREA MAP

NOTE:
LOCATION OF PROPERTY LINE IS ASSUMED BASED ON CITY RECORD, AND SITE OBSERVATION AND IS NOT INTENDED TO BE AN OFFICIAL SURVEY. ARCHITECT MAKES NO CLAIMS AS TO THE ACCURACY THEREOF

RICHLAND AVE



PROPOSED SITE PLAN/ ROOF PLAN
1/8" = 1'- 0"

Z PLANS

1



AERIAL VIEW

352
RICHLAND AVE.

SAN FRANCISCO, CA

Ojanen_Chiau architects LLP

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ISSUED FOR	ISSUE	DATE
	311 NOTIFICATION	08/30/10
	PLANNING REVISION	11/05/10
	VARIANCE/ENV EVAL	12/16/10
	REVISION	03/02/11



Job Number: 09109

TITLE SHEET

Drawing Title:

Drawn By: MO Checked By: MO

A0.0

Drawing Number:

File Name: Scale: AS NOTED

Plot File Created On:

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Job Number: 09109

EXISTING ELEVATIONS

Drawing Title:

Drawn By: MO Checked By: MO

A1.1

Drawing Number:

File Name: Scale: $1/4"=1'-0"$

Plot File Created On:



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Job Number: 09109

EXISTING ELEVATIONS

Drawing Title: _____

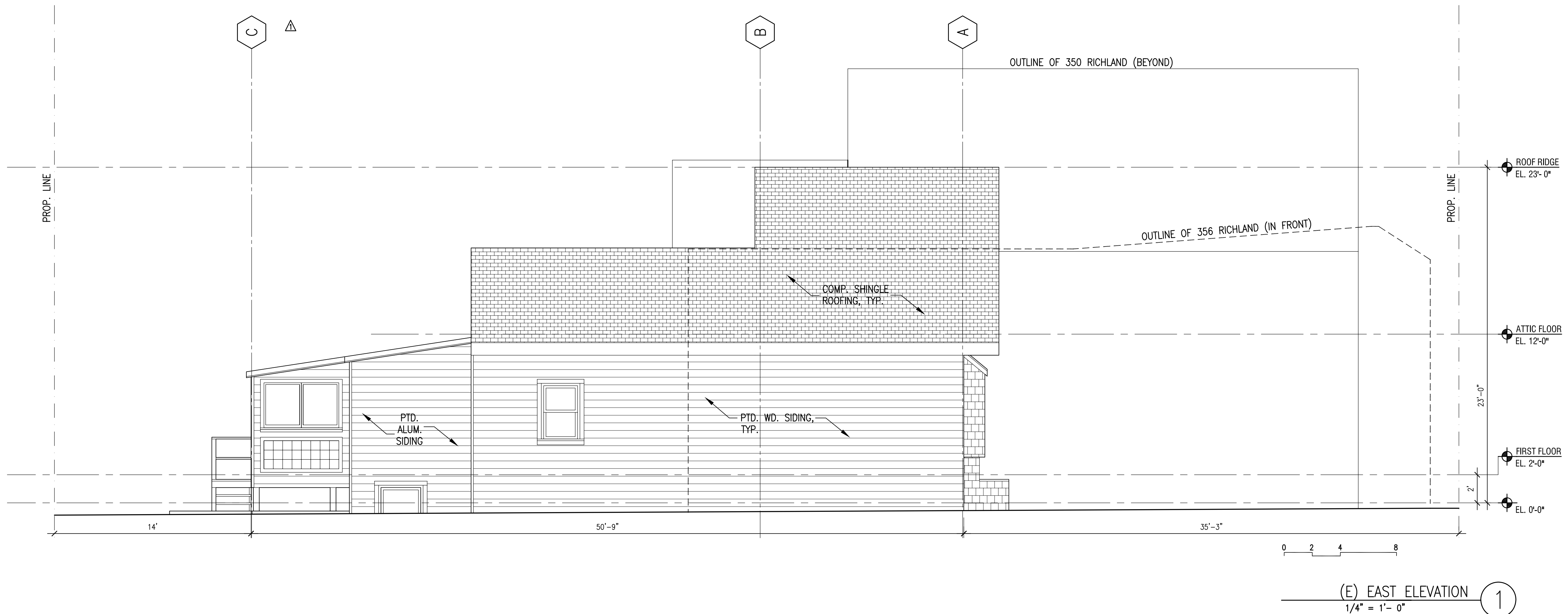
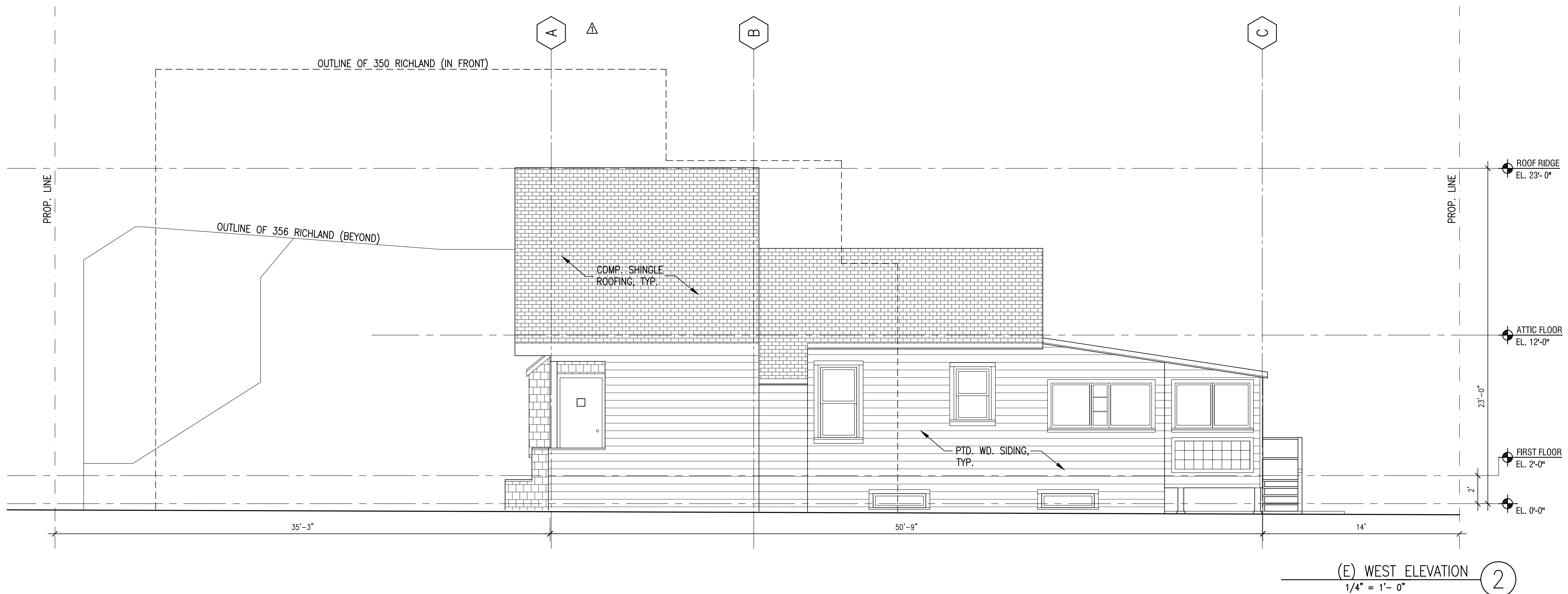
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A1.2

Drawing Number: _____

File Name: _____ Scale: $1/4"=1'-0"$

Plot File Created On:





352

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REVISION	03/02/11



Job Number: 09109

PROPOSED ELEVATIONS

Drawing Title:

Drawn By: MO

Checked By: MO

A3

Drawing Number:

File Name:

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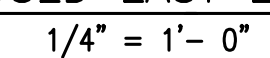
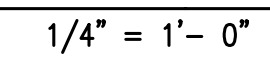
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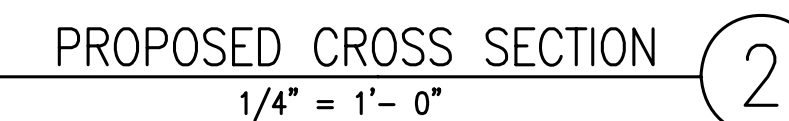
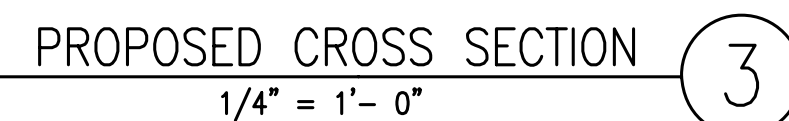






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Drawing Number: _____

File Name: Scale: $1/4"=1'-0"$

Plot File Created On



<u>KEY</u>	
(E)	EXISTING
(N)	NEW
SHINGLE SIDING TO MATCH (E)	
PTD. WD. SIDING TO MATCH (E)	
FIBER CEMENT PANEL AT PARTY WALL	
COMP SHINGLE ROOFING	

0 2 4 8

