



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27th, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard, Front Setback, & Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	359 Cumberland Street	Case No.:	2010.1132V
Cross Street(s):	Sanchez and Noe	Building Permit:	2010.12.29.9568
Block /Lot No.:	3601/036	Applicant/Agent:	Rachel Hamilton, Architect
Zoning District(s):	RH-1/ 40-X	Telephone:	(510) 549-1312
SUD:	Dolores Heights SUD	E-Mail:	rhamilton@hamilton-arch.com

PROJECT DESCRIPTION

The Project proposes to construct a partial third-story vertical addition (penthouse), a three-story horizontal rear addition, and horizontal front additions at the first and second-floor, and to make façade alterations to the existing two-story-over-garage single-family dwelling. The rear of the existing building is built at an acute angle (slanting toward the front property line), resulting in varied building depths at each level, with the deepest portion of the building (at the first floor) encroaching into the required rear yard. The proposed horizontal rear additions result in a plumb or "uniform" rear building wall.

PER SECTIONS 134 & 188 OF THE PLANNING CODE the subject property is required to maintain a 45% rear yard of approximately 51'-4", measured parallel to the rear property line. The existing structure currently encroaches into the required rear yard by approximately 2'-8" resulting in a rear yard of approximately 48'-8". The proposed alterations would increase the existing rear yard encroachment, resulting in a maximum encroachment of 6'-3", and in a minimum rear yard of approximately 45'-1". This intensification of the existing noncomplying structure necessitates variances from the rear yard (Section 134) and noncomplying structure (Section 188) provisions of the Code.

PER SECTIONS 132 & 188 OF THE PLANNING CODE the subject property is required to maintain a 13'-4" front setback. The existing structure currently encroaches into the front setback by approximately 7'-7" resulting in a front setback of 7'-5". The proposed horizontal front alterations would increase the existing front setback encroachment, by: (1) creating habitable space within the existing building volume above the garage; (2) redesigning the front bay window at the main (first floor) level; (3) enclosing a portion of the raised entrance at the main level; and (4) constructing a horizontal front addition at the upper (second floor) level. This intensification of the existing noncomplying structure necessitates variances from the front setback (Section 132) and noncomplying structure (Section 188) provisions of the Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Elizabeth Watty** Telephone: **(415) 558-6620** E-Mail: Elizabeth.Watty@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.1132V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On July 11, 2011 the Department issued the required Section 311 notification for this project (expires August 10, 2011).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

359 CUMBERLAND STREET, SAN FRANCISCO, CA

BLDG.DEPT. PERMIT APPLICATION No:

BLOCK: 3601 LOT: 036

PLANNING APPLICATION No:

BLDG.DEPT. PERMIT APPLICATION No:

These drawings may not be used for construction unless corresponding drawings stamped and signed by the Architect have been approved for a building permit by the Building Department, and such building permit is in the possession of the General Contractor or Owner.

16 DEC 10

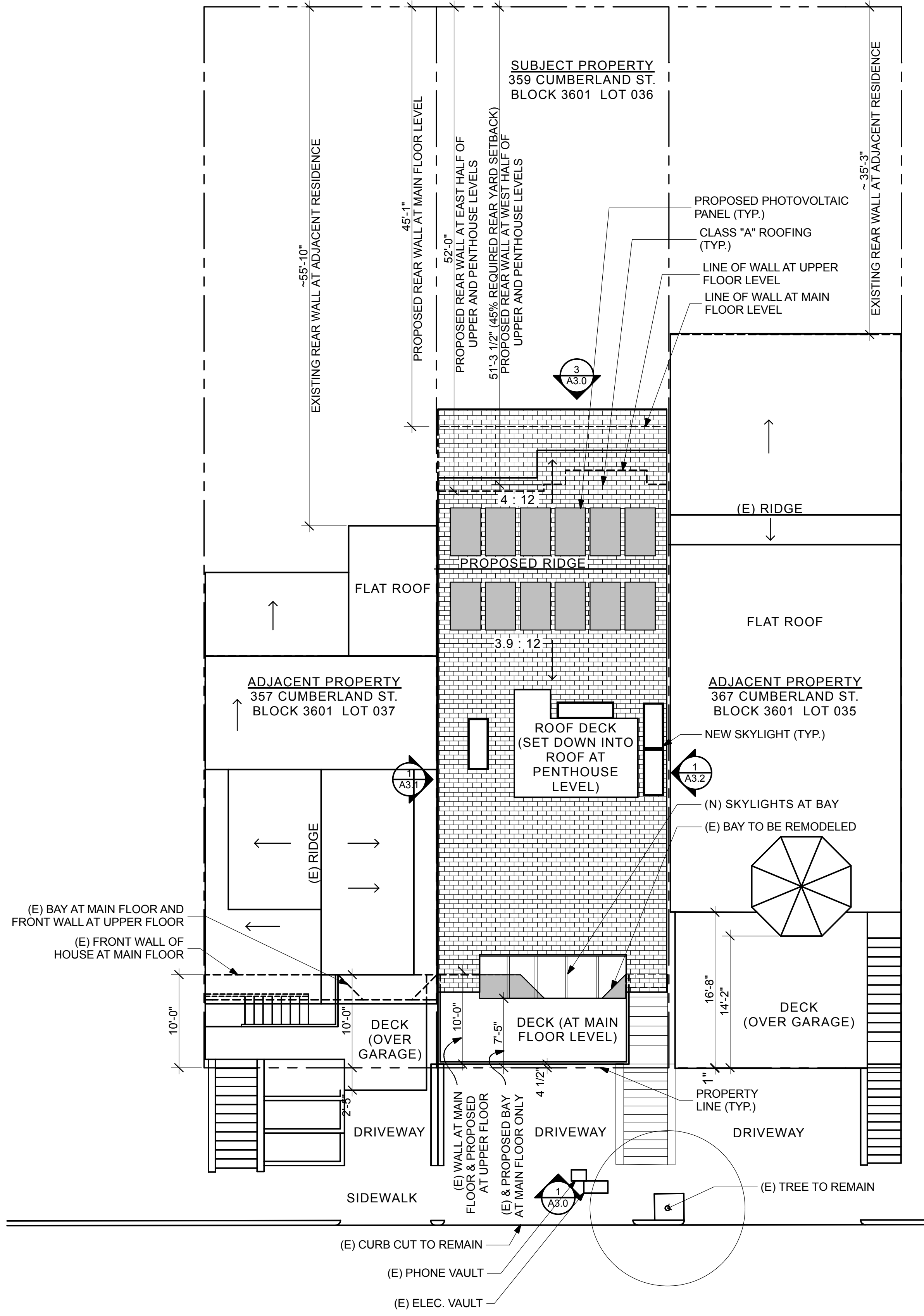
25 MAR 11

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PRINT	DATE
PLANNING & SITE PERMIT SUBMTL	12/16/10
REVISED PLANNING SUBMTL	11/02/11
REFORMATTED PLANNING SUBMTL	25/03/11
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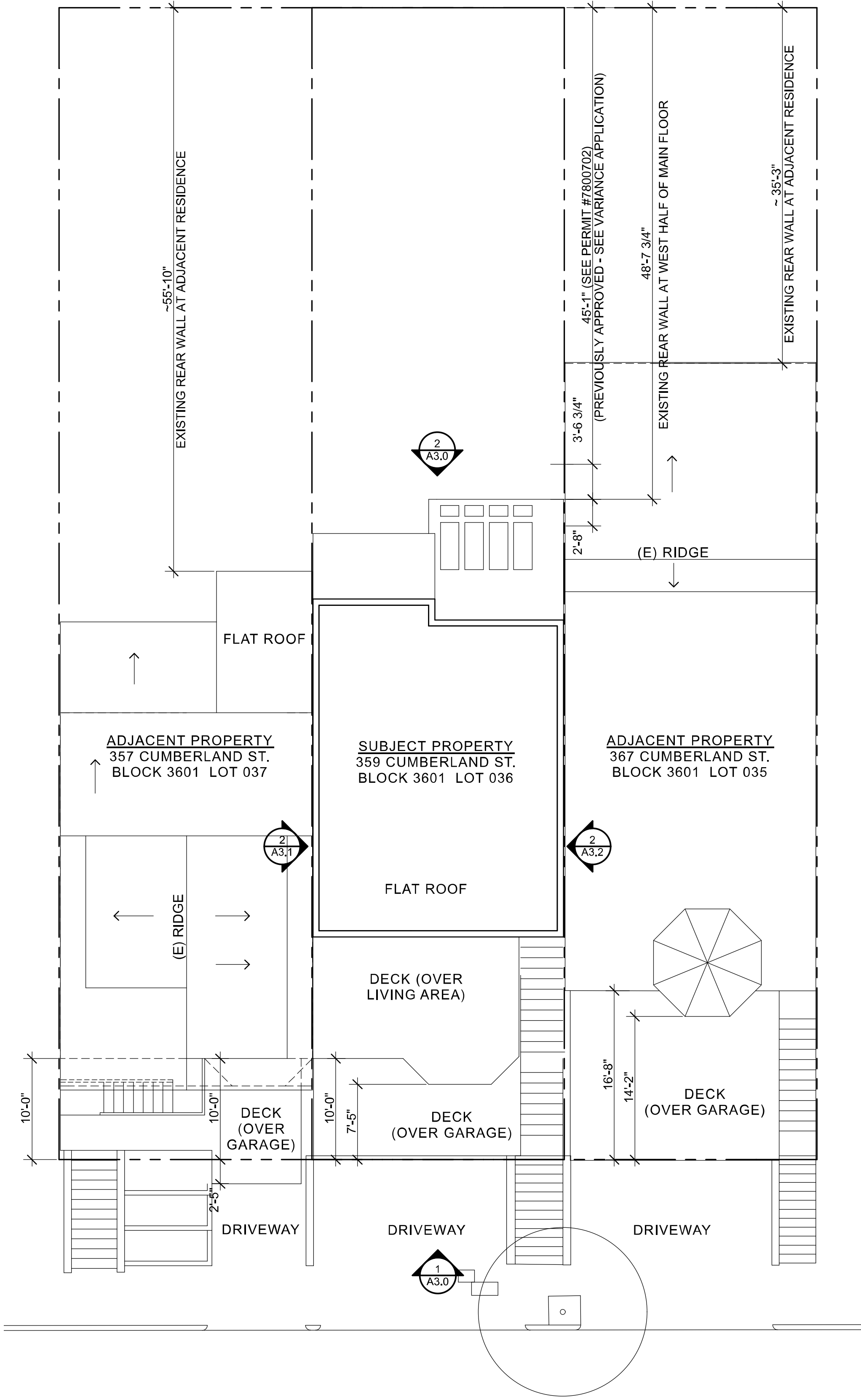
TITLE

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CUMBERLAND STREET

1
A1.0v
PROPOSED SITE & ROOF PLAN
SCALE: 1/8" = 1'-0"



CUMBERLAND STREET

2
A1.0v
EXISTING SITE & ROOF PLAN
SCALE: 1/8" = 1'-0"

SHEET NOTES

1. SITE / ROOF PLAN IS
BASED ON SURVEY PROVIDED
BY LEA & BRAZE ENGINEERING,
INC. DATED 9/22/2010.

KEYED NOTES

LEGEND

These drawings may not be
used for construction unless
corresponding drawings
stamped and signed by the
Architect have been approved
for a building permit by the
Building Department, and such
building permit is in the
possession of the General
Contractor or Owner.

DRAWING DATE	PLOT DATE
16 DEC 10	25 MAR 11

#	REVISIONS	BY	DATE
1	REVISED PLANNING SUBMITL	DRH	11/02/11

PRINT	DATE
PLANNING & SITE PERMIT SUBMITL	12/16/10
REVISED PLANNING SUBMITL	11/02/11
REFORMATTED PLANNING SUBMITL	25/03/11

PROJECT

✓ ✓ ✓

REMODELING FOR

**MARYAM MONSEF and
ALAN SAGATELYAN**

359 CUMBERLAND STREET
SAN FRANCISCO, CA 94114

✓ ✓ ✓

ARCHITECT

HAMILTON & COMPANY
ARCHITECTURE

1035 CARLETON STREET, Ste. 100
BERKELEY, CA 94710

TELEPHONE: (510) 549-1312
FACSIMILE: (510) 549-9115
hamilco@hamilton-arch.com

CONSULTANTS

SHEET CONTENTS

**SITE & ROOF
PLAN**

DRAWN BY: DRH	CHECKED BY:
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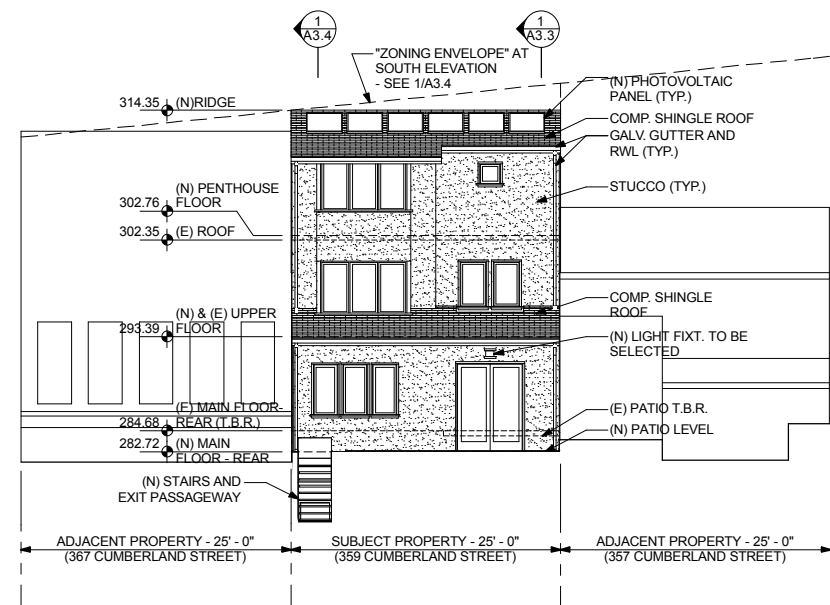
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A-1.0v

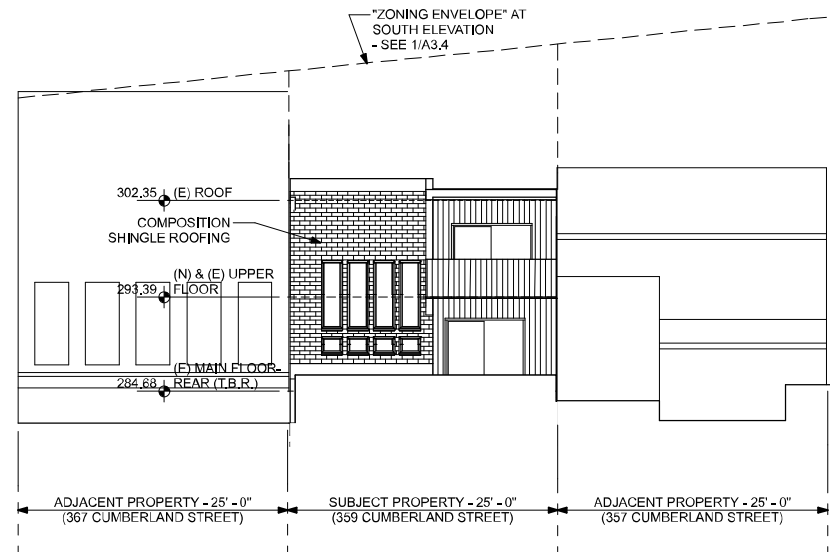
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1/8" = 1'-0"

2 OF 11

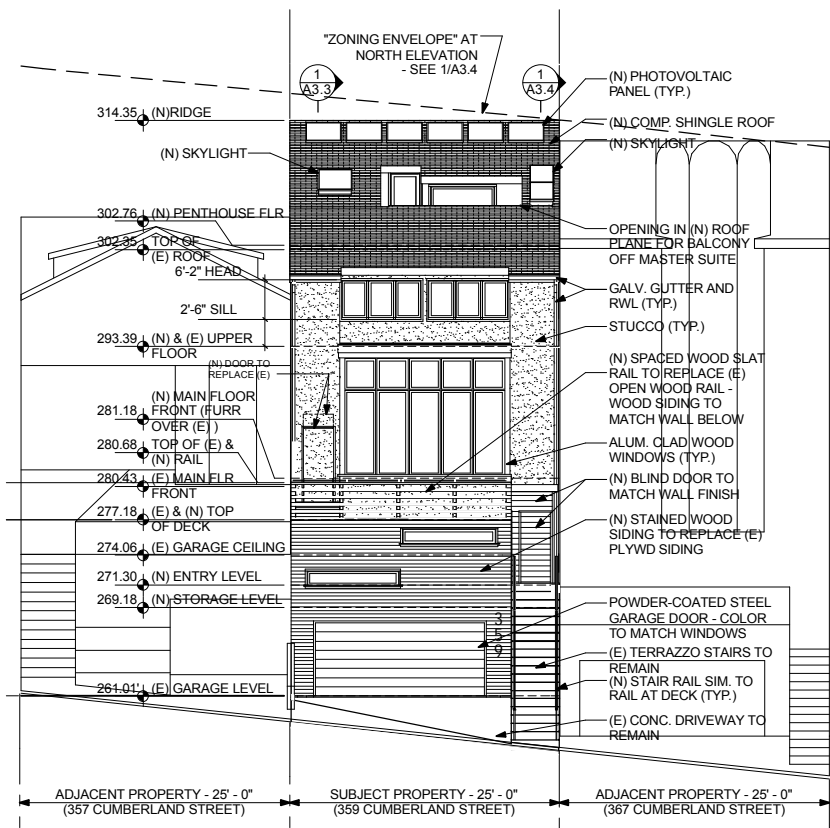
Contractor shall verify all measurements in field before commencing construction. These drawings constitute the original, unpublished work of Hamilton & Company, and may not be duplicated or used without the consent of Hamilton & Company.



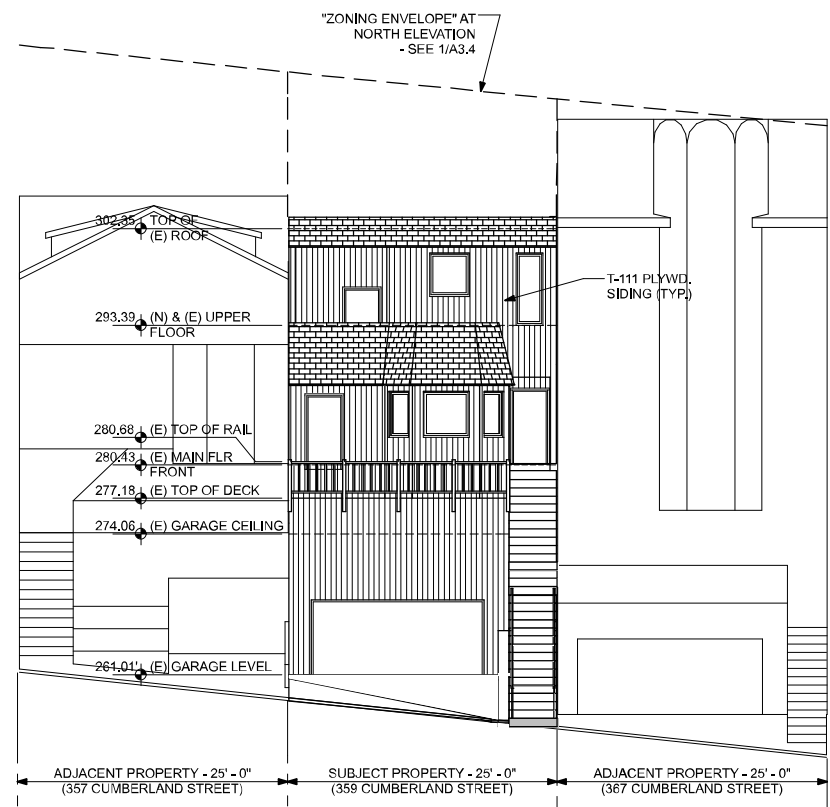
4 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SHEET NOTES

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DRAWING DATE	PLOT DATE
16 DEC 2010	16 MAY 11

#	REVISIONS	BY	DATE
1	REVISED PLANNING SUBMTL	DRH	02/11/11
2	REVISED PLANNING SUBMTL	DRH	05/13/11

PRINT	DATE
PLANNING & SITE PERMIT SUBMTL	12/16/10
REVISED PLANNING SUBMTL	02/11/11
REFORMATTED PLANNING SUBMTL	03/25/11
REVISED PLANNING SUBMTL	05/16/11
REVISED PLANNING SUBMITTAL	6/16/11

PROJECT

V V V

REMODELING FOR

MARYAM MONSEF and ALAN SAGATELYAN

359 CUMBERLAND STREET
SAN FRANCISCO, CA 94114

V V V

ARCHITECT

HAMILTON & COMPANY
ARCHITECTURE

1035 CARLETON STREET, Ste.100
BERKELEY, CA 94710

TELEPHONE: (510) 549-1312
FACSIMILE: (510) 549-9115
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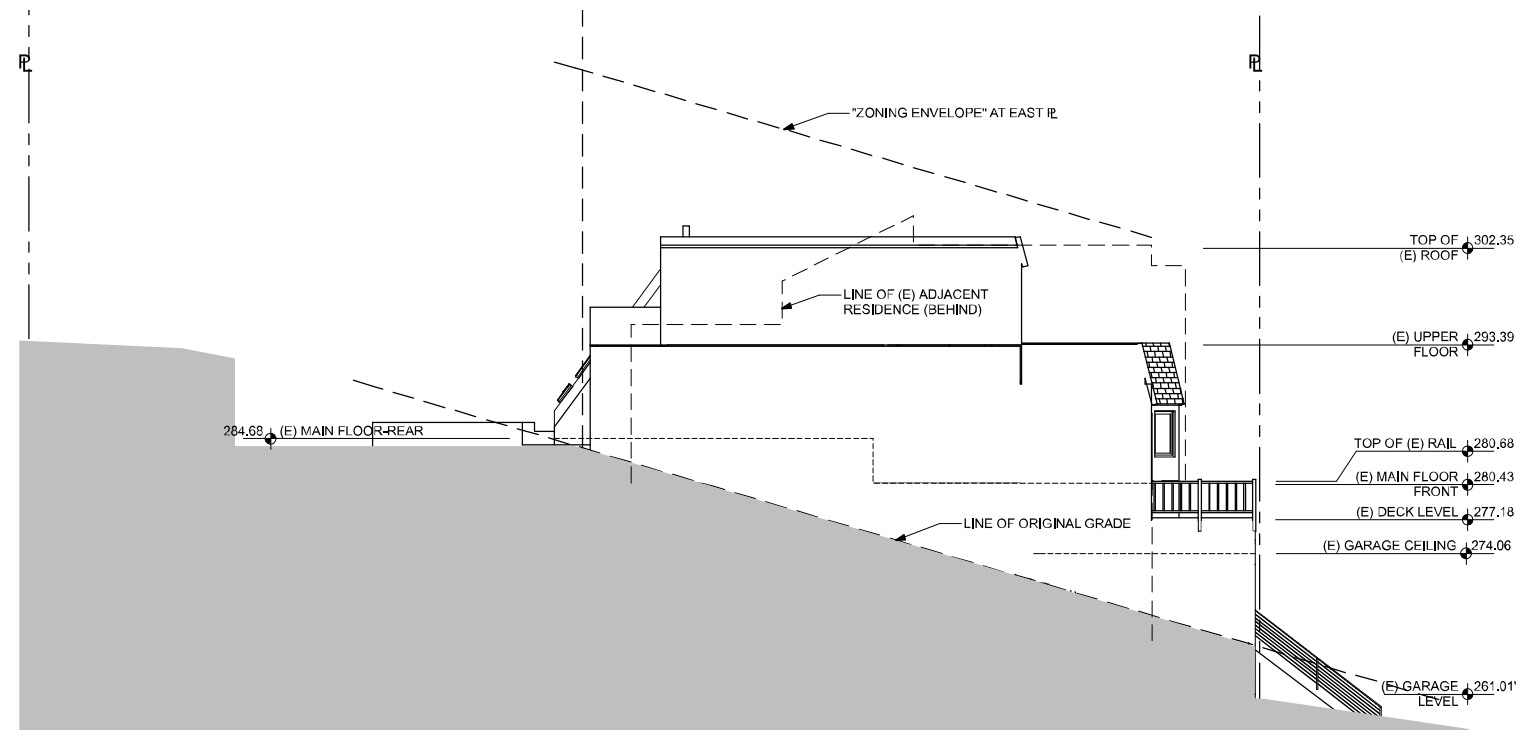
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NORTH & SOUTH EXTERIOR ELEVATIONS

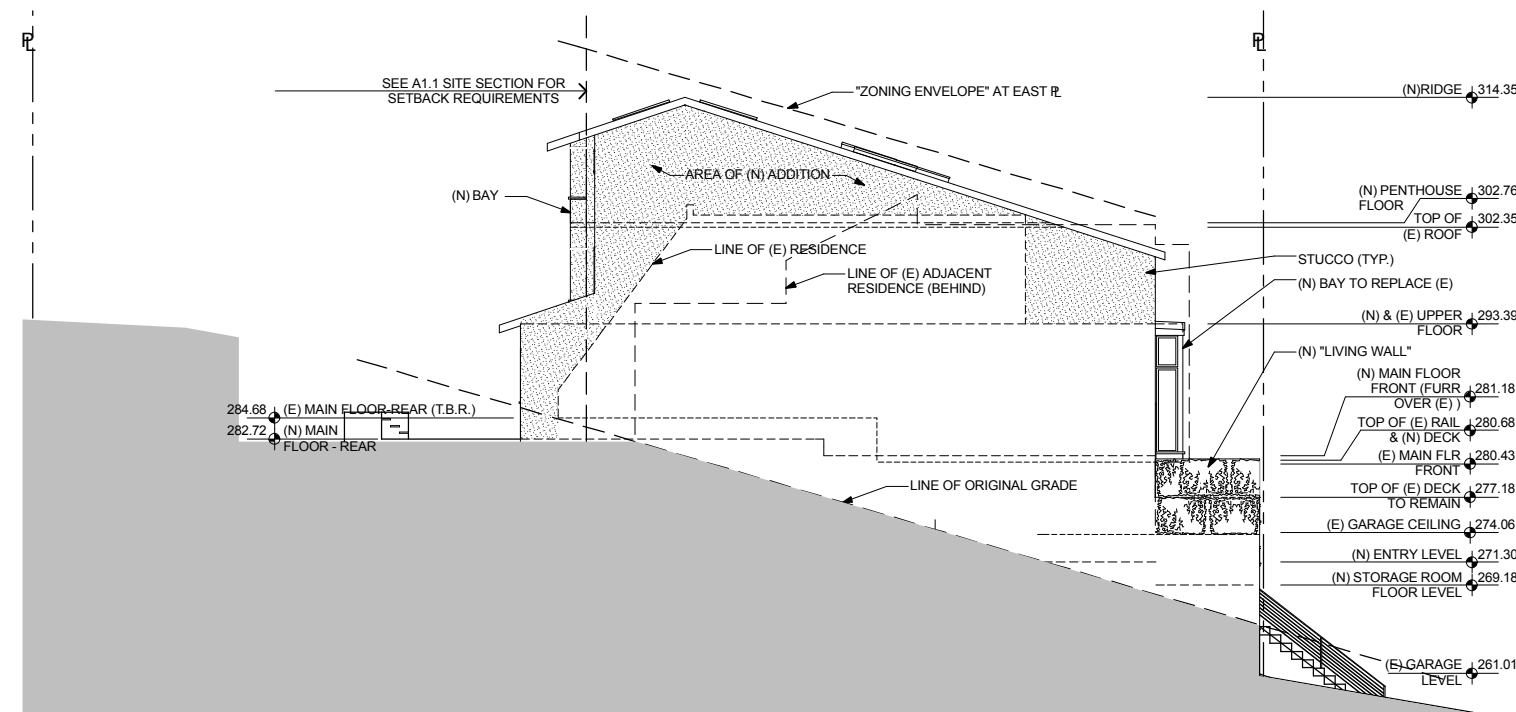
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SHEET No. **A3.0v**

SCALE: 1/8" = 1'-0" 6 OF: 11



2
A3.1v
EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



1
A3.1v
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

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DRAWING DATE
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PLOT DATE
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PROJECT

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SHEET CONTENTS

**EAST EXTERIOR
ELEVATIONS**

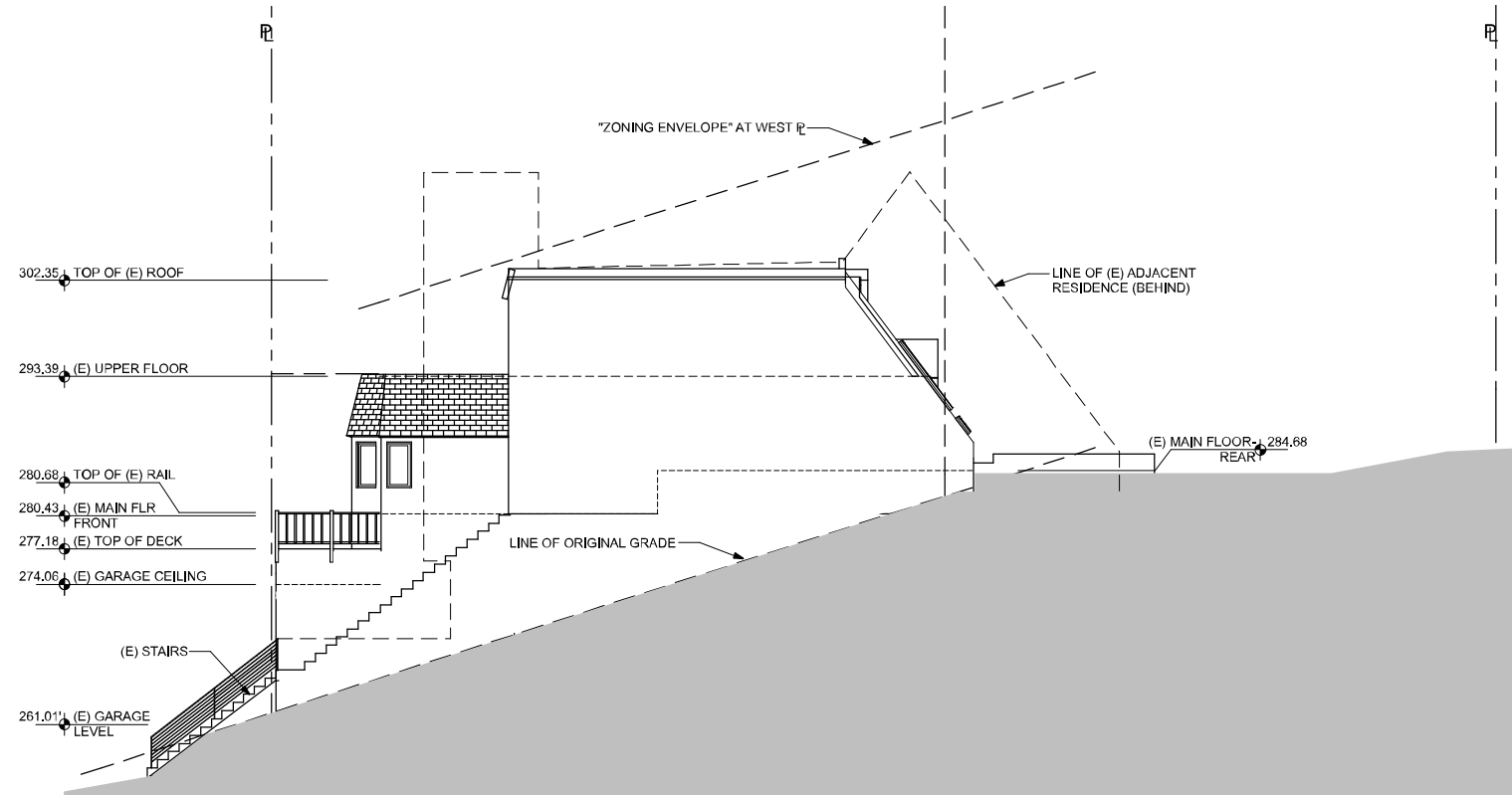
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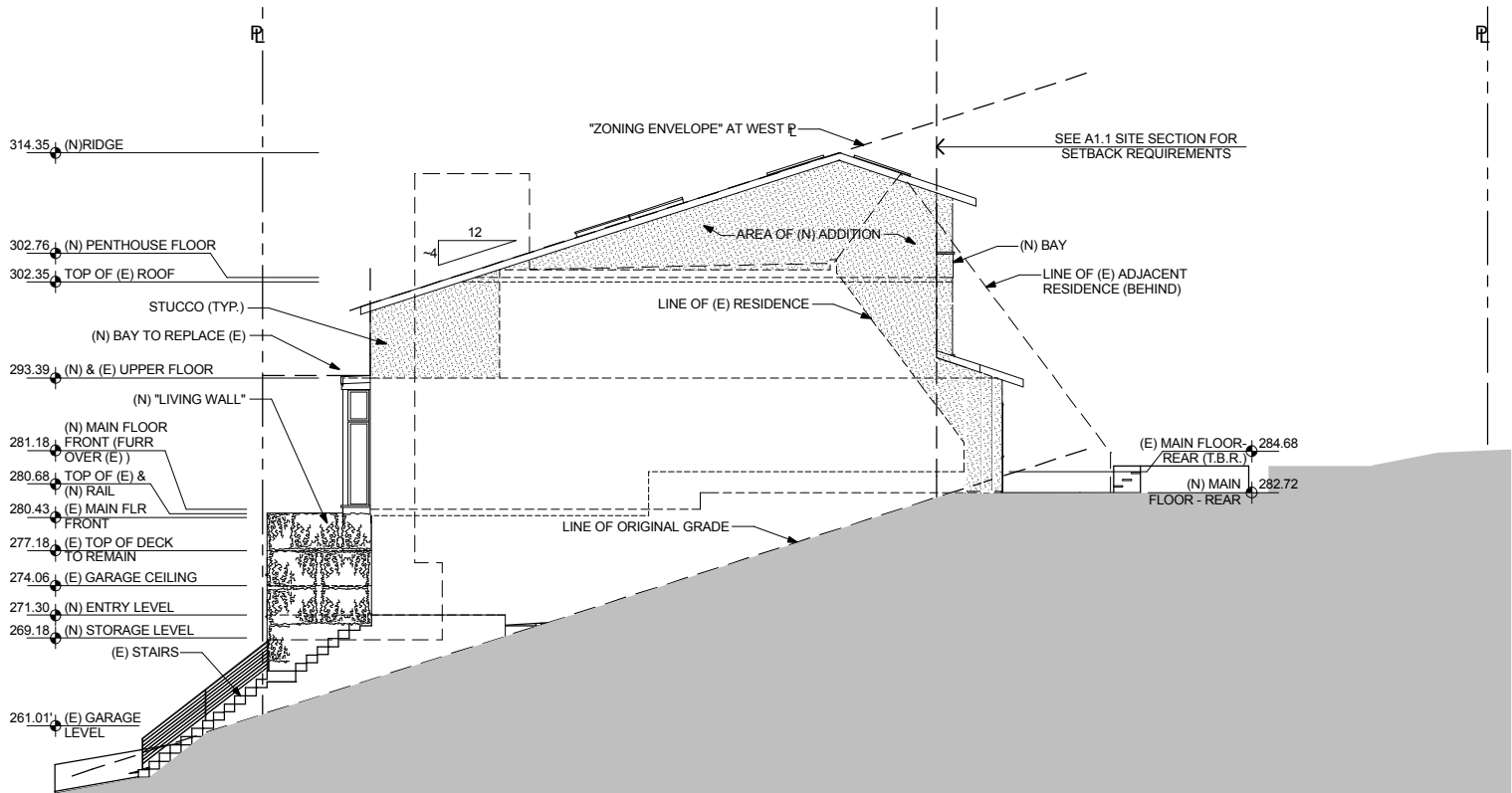
SHEET No.
A-3.1v

7 OF: 11

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2
A3.2v
EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



1
A3.2v
PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

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REVISED PLANNING SUBMTL	05/13/11
REVISED PLANNING SUBMITTAL	6/16/11

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
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SHEET CONTENTS

WEST EXTERIOR

ELEVATIONS

DRAWN BY: DRH	CHECKED BY:
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SCALE:
1/8" = 1'-0"

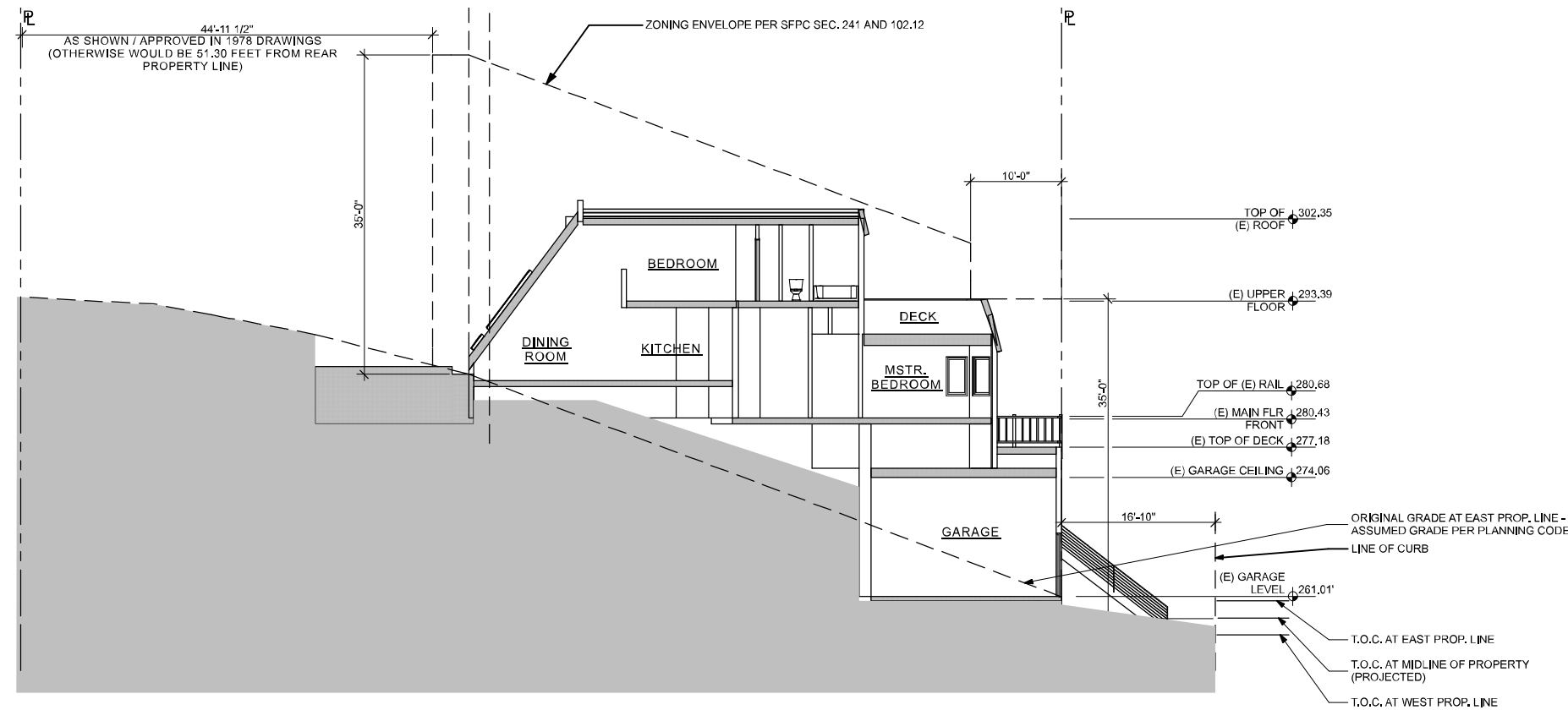
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A-3.2v

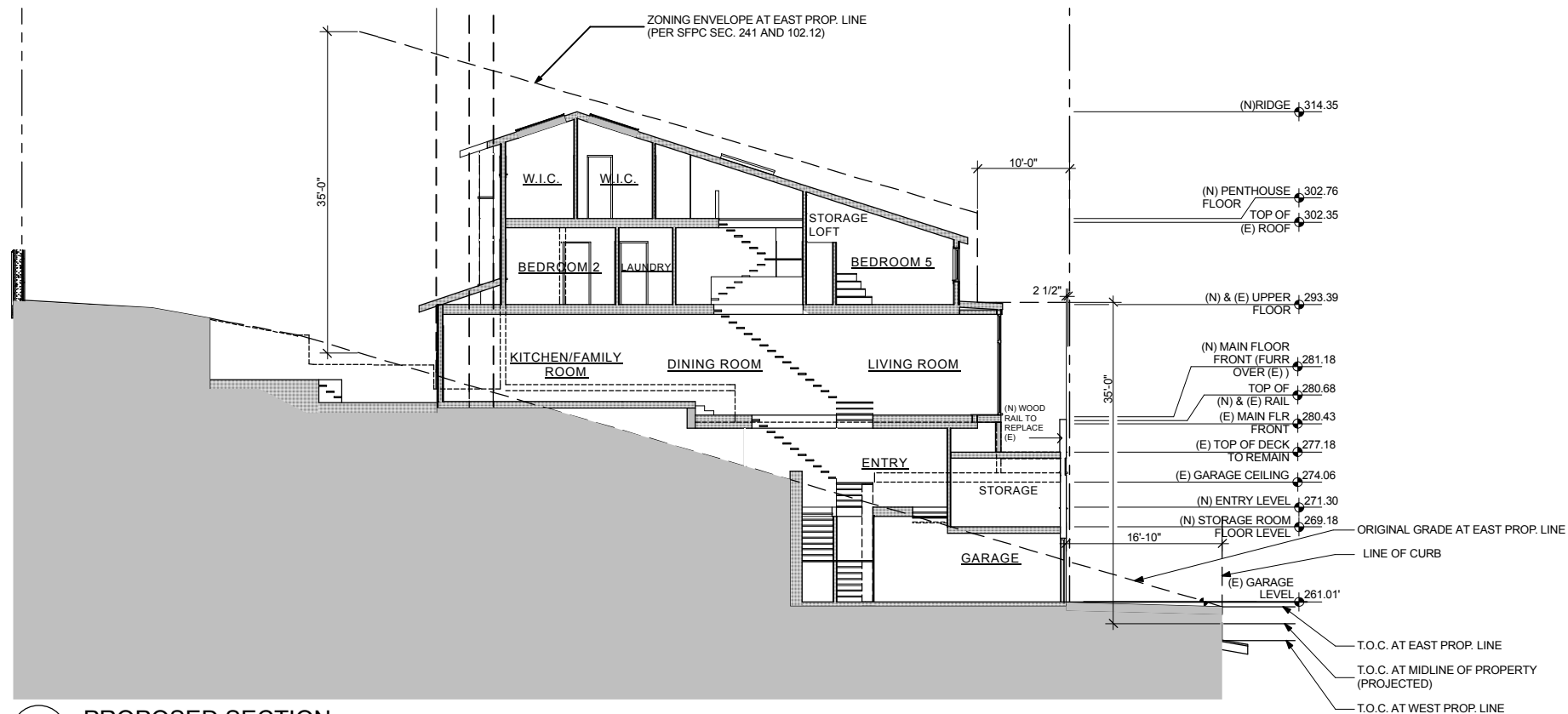
8 OF: 11

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PLANNING PERMIT SUBMITTAL



2
A-3.3v
EXISTING SECTION
SCALE: 1/8" = 1'-0"



1
A-3.3v
PROPOSED SECTION
SCALE: 1/8" = 1'-0"

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REFORMATTED PLANNING SUBMTL	03/25/11
REVISED PLANNING SUBMTL	05/13/11
REVISED PLANNING SUBMITTAL	6/16/11
REVISED PLANNING SUBMITTAL	6/24/11

PROJECT

V V V

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359 CUMBERLAND STREET
SAN FRANCISCO, CA 94114

V V V

ARCHITECT

HAMILTON & COMPANY
ARCHITECTURE

1035 CARLETON STREET, Ste.100
BERKELEY, CA 94710

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SHEET CONTENTS

BUILDING SECTIONS

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SHEET No.

A-3.4v

SCALE:
1/8" = 1'-0"

OF:

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PLANNING PERMIT SUBMITTAL