MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

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Planning Information: 415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, July 27th, 2011

Time: **Beginning at 9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (Rear Yard, Front Setback, & Noncomplying Structure)

Hearing Body: Zoning Administrator

PROPERTY INFORMATION APPLICATION INFORMATION

Project Address: 359 Cumberland Street

Cross Street(s): Sanchez and Noe

Block /Lot No.: 3601/036
Zoning District(s): RH-1/ 40-X

SUD: Dolores Heights SUD

Case No.: **2010.1132V**

Building Permit: 2010.12.29.9568

Applicant/Agent: Rachel Hamilton, Architect

Telephone: (510) 549-1312

E-Mail: <u>rhamilton@hamilton-arch.com</u>

PROJECT DESCRIPTION

The Project proposes to construct a partial third-story vertical addition (penthouse), a three-story horizontal rear addition, and horizontal front additions at the first and second-floor, and to make façade alterations to the existing two-story-over-garage single-family dwelling. The rear of the existing building is built at an acute angle (slanting toward the front property line), resulting in varied building depths at each level, with the deepest portion of the building (at the first floor) encroaching into the required rear yard. The proposed horizontal rear additions result in a plumb or "uniform" rear building wall.

PER SECTIONS 134 & 188 OF THE PLANNING CODE the subject property is required to maintain a 45% rear yard of approximately 51'-4", measured parallel to the rear property line. The existing structure currently encroaches into the required rear yard by approximately 2'-8" resulting in a rear yard of approximately 48'-8". The proposed alterations would increase the existing rear yard encroachment, resulting in a maximum encroachment of 6'-3", and in a minimum rear yard of approximately 45'-1". This intensification of the existing noncomplying structure necessitates variances from the rear yard (Section 134) and noncomplying structure (Section 188) provisions of the Code.

PER SECTIONS 132 & 188 OF THE PLANNING CODE the subject property is required to maintain a 13'-4" front setback. The existing structure currently encroaches into the front setback by approximately 7'-7" resulting in a front setback of 7'-5". The proposed horizontal front alterations would increase the existing front setback encroachment, by: (1) creating habitable space within the existing building volume above the garage; (2) redesigning the front bay window at the main (first floor) level; (3) enclosing a portion of the raised entrance at the main level; and (4) constructing a horizontal front addition at the upper (second floor) level. This intensification of the existing noncomplying structure necessitates variances from the front setback (Section 132) and noncomplying structure (Section 188) provisions of the Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Elizabeth Watty Telephone: (415) 558-6620 E-Mail: Elizabeth.Watty@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.1132V.pdf

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On July 11, 2011 the Department issued the required Section 311 notification for this project (expires August 10, 2011).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

MONSEF / SAGATELYAN RESIDENCE

359 CUMBERLAND STREET, SAN FRANCISCO, CA

APN: 3601-036
BLOCK: 3601 LOT: 036
PLANNING APPLICATION No:
BLDG.DEPT. PERMIT APPLICATION No:

correspondi stamped and Architect hat for a building Building Dep	d signed by the ve been approved g permit by the partment, and such mit is in the of the General			
DRA	WING DATE	PLOT DATE		
16 DEC 10		25 MAR 11		
#	REVISIONS		ВҮ	DATE
11	REVISED PLANNING SUBMTL DRH			11/02/11
PRINT				DATE
PLANNING & SITE PERMIT SUBMTL 12/				12/16/10
REVISED PLANNING SUBMTL 11/02/11				
REFORMATTED PLANNING SUBMTL 25/03/11				

TITLE ABBREVIATIONS ZONINGSUMMARY PHASING SCHEDULE **SCOPE OF WORK DRAWING INDEX** PHASE I AT THE RATE OF A- 0.0 • TITLE SHEET ASPHALT CONCRETE **ACOUSTICA** THE WORK OF THIS PROJECT IS TO REMODEL AN EXISTING CONDITIONS OF PHASE II -RESIDENCE AND ADD NEW FLOOR AREA AS FOLLOWS APPROVAL PHASE III FLOOR AREA CALCS ADJACENT OR ADJUSTABLE GARAGE/BASEMENT: ADD NEW INTERNAL STAIR AT EXISTING 2,500 sq.ft.min. ABOVE FINISH FLOOR DEMOLITION PLAN GARAGE TO NEW ENTRY LEVEL (SEE BELOW) PHASE IV OCCUPANCY & EXITING ANODIZED MISCELLANEOU: 25 ft, min, APPROX APPROXIMATE MASONRY OPENING SITE & ROOF PLAN **ARCHITECTURAL GENERAL NOTES** CREATE A NEW ENTRY LEVEL WITHIN THE EXISTING ENVELOPE OF 25 ft. min. SITE SECTION THE BUILDING BETWEEN THE EXISTING BASEMENT AND MAIN NOT APPLICABLE FLOOR LEVELS --- 493 SF TOTAL ADDED LIVING SPACE AT THIS BENCH MARK Average of adjacent buildings <u>MAIN FLOOR LEVEL:</u> REMODELING OF EXISTING INTERIOR, A- 3.0v • NORTH & SOUTH ELEVS BUILD-UP ROOF ON CENTER INCLUDING LOWERING EXISTING FLOOR FRAME AT REAR OF CAB CABINET 45% of lot depth 2. THE CONTRACTOR SHALL BE SOLELY AND COMPLETEY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS, PROPERTY, AND FOR ALL OVERFLOW DRAIN A- 3.1v ● EAST ELEVATION RESIDENCE AS REQUIRED TO INCREASE ROOM HEIGHT BY 18"; ADD NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS, AND FOR COMPLIANCE WITH O.S.H.A. SAFETY STANDARTS. ARCHITECTS AND THEIR CONSULTANTS JOB I14 ft. x 45% = 51'-3 1/2' NEW FLOOR AREA AT FRONT AND REAR OF RESIDENCE, INCLUDING A- 3.2v • WEST ELEVATION OPPOSITE SITE OBSERVATIONS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES. **CATCH BASIN** PAINT _eft Side*Setback No setback reg'd No change. A MINOR INCREASE IN SIZE OF EXISTING BAY AT FRONT WALL A- 3.3 • BUILDING SECTION POWER DRIVEN FASTENER THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL SPECIFIED PRODUCTS RELATING TO HIS WORK. HE IS TO SUBMIT WRITTEN OBJECTIONS PRIOR TO BIDDING, IF THE CEMEN -- 193 SF TOTAL ADDED LIVING SPACE AT THIS LEVEL CEM A- 3.4 | • | BUILDING SECTION CONTRACTOR HAS AN OBJECTION TO ANY PRODUCT AND/OR DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS **CAST IRON** CONTROL JOIN PLYWOOD UPPER FLOOR LEVEL: REMODELING OF EXISTING INTERIOR AND CEILING 4. THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ANY OTHER SEPARATE CONTRACTS SUCH AS OWNER FURNISHED ITEMS. SITE ADJACENT NEW ADDITIONS AT FRONT AND REAR OF RESIDENCE KITCHEN PLAN & ELEV CLEAR PRESSURE TREATED CONSTRUCTION, AND WORK WHICH ARE BEING DONE BY OTHERS. Primary Ur Penthouse CONCRETE MASONRY UNI CMU COL -- 528 SF TOTAL ADDED LIVING SPACE AT THIS LEVEL PARTITION BATH PLAN & ELEV COLUMN Upper Floor 1267 POLY VINYL CHLORIDE CONC 5. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUA CONCRETE QUARTER Main Floor 1487 POWER & SIGNAL <u>PENTHOUSE LEVEL</u>: THIS IS A NEW ADDITION ABOVE THE EXISTING CONN CONT RISER 548 548 CONTINUOUS POWER & SIGNAL **RADIUS** RESIDENCE AND INCLUDES A SMALL DECK RECESSED INTO THE CONTRACTOR CONTR **ROOF DRAIN** 6. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF ALL APPLICABLE CODES (SEE LIST, THIS SHEET). NOTHING IN THESE 1963 3968 Living Area Subtotal: NEW MAIN ROOF OF THE STRUCTURE POWER & SIGNAL CORNER GUARDS DRAWINGS IS TO BE CONSTRUED AS TO PERMIT WORK WHICH IS NOT CONFORMING TO ALL BUILDING CODES AND APPLICABLE LAWS --- 661 SF TOTAL ADDED LIVING SPACE AT THIS LEVEL DOUBLE **REFRIGERATO** 145 534 DEPARTMEN REQUIRED REFLECTED CEILING: DETAIL REPRESENTATIV THE PROJECT WILL REQUIRE A REAR YARD VARIANCE 2108 4502 2394 DOUGLAS FII RESILIENT LOWER FLOOR PLAN DIAMETER 8. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE OR ALLOW ANY MUD, SILT, AND OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD, ROOM ROUGH OPENING THE EXISTING RESIDENCE WAS BUILT IN 1979 AND IS NOT SUBJECT SILT, AND OR DEBRIS WHITCH ENCROACHES OR FALLS ONTO PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY REFLECTED CEILING: DIM DISP REDWOOD TO HISTORIC REVIEW (SEE BUILDING PERMIT NO: 78-00072) DISPENSER MAIN FLOOR PLAN RAINWATER LEADER 9. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT APPLICABLE LOCAL ORDINANCES FOR UTILITY SERVICES. DOOR 1 fu**ll-**size space REFLECTED CEILING: DOWNSPOU 10. THE OWNER SHALL OBTAIN ANY AND ALL REQUIRED ENCROACHMENT PERMITS FOR OFF-SITE WORK FROM THE CITY OR OTHER GOVERNING JURISDICTION. DRAWING SOLID BLOCKING UPPER FLOOR PLAN DRAWER SOLID CORE * NOTE: "front", "side" and "rear" designations are per their relation to Cumberland Street, **EXTERIOR DETAILS EXISTING** SEE CIVIL DRAWINGS SCHEDULE **EXTERIOR DETAILS EXHAUST FA** SEE ELECTRICAL DRAWINGS **EXPANSION JOIN** ARCHITECTURAL, MECHANICAL, ELECTRICAL SYMBOLS **BUILDING CODE SUMMARY** SEMI-GLOSS INTERIOR DETAILS **ELECTIRCAL** INTERIOR DETAILS SHEATHING **ELEVATOR** DOOR SCHEDULE **EMER EMERGENCY** SEE LANDSCAPE DRAWINGS **EQUAL** SLIDING WINDOW SCHEDULE OCCUPANCY GROUP OCCUPANT LOAD FACTOR: EQUIPMEN^T SEE MECHANICAL DRAWINGS **CONSTRUCTION TYPE:** V-B (FROM TABLE 1004.1.1) **ELECTRIC WATER COOLER DETAIL:**TOP - DRAWING NUMBER FINISH SCHEDULES SANITARY NAPKIN DISPENSER FOUR - WAY SWITCH **ELECTRIC WATER HEATER** 12,000 CEILING MOUNTED ALLOWABLE BUILDING AREA OCCUPANT LOAD: 4269 / 200 = 21.34 Occ. SEE PLUMBING DRAWINGS INTERIOR & EXTERIOR DIMMER SWITCH NUMBER OF EXITS REQUIRED SPECIFICATIONS (FROM TABLE 503) **BOTTOM - SHEET NUMBER** EXPO REVISION NUMBER ENERGY CODE PROPOSED BUILDING AREA: 4,269 sq.ft (FROM SEC. 1019.2.2) **EXTERIOR** STAINLESS STEE OCCUPANT SENSOR SWITCH FIRE ALARM 3-STORY MINIMUM EGRESS WIDTH (TABLE 1005.1 COMPLIANCE SERVICE SINK ALLOWABLE BUILDING HEIGHT KEYED NOTE FINISH FLOOR SEE STRUCTURAL DRAWINGS DUPLEX OUTLET STAIRWAYS: 21.34 X 0.3 = 6.4" (Does not govern.) (FROM TABLE 503) SMOKE DETECTOR FLOOR DRAIN STANDARD Х ROOM NUMBER SWITCHED DUPLEX OUTLET EXISTING BUILDING HEIGHT: 2-STORY + BASEMT $21.34 \times 0.2 = 4.3$ " (Does not govern.) FIRE EXTINGUISHER STEEL PROPOSED BUILDING HEIGHT 3-STORY + BASEMT MINIMUM STAIRWAY WIDTH STORAGE COMPUTER NETWORK FIXT FIXTURE STRUCT STRUCTURA (PODIUM SLAB CONSTR.) (From Sec. 1009.1 EXCEPTION 1) **FLOOR** WINDOW NUMBER SUSPENDED FIRE RESISTIVE CONSTRUCTION: 1-HR RATED MINIMUM STAIRWAY HEADROOM: 80" FLUORESCENT **FLUOR** SHEET VINYL **BOTTOM - SHEET NUMBER** HU THERMOSTAT FIRE SPRINKLERS: NONE (From Sec. 1009.2) CABLE TELEVISION FACE OF BLOCK TOP OF CURB STAIRWAY TREADS & RISERS ALARMS: 7.75" MAX. RISER / 10" MIN. TREAD **ELEVATION, FOR SMALL SPACES** INTERRUPTER OUTLE FACE OF FINISH S- 4.0 CATV SPEAKER PROVIDED PER SFBC (From Sec. 1009.3 EXCEPTION 4) FACE OF STUD TEMPERED GLAS GAS OUTLET WATERPROOF DUPLEX ─AFI S- 5.0 FRMG 907.2.10.1.2 ENTRANCE / EXIT DOOR: **TONGUE & GROOVE** FLOOR SINK THICK NONE FIRE S- 6.0 FIRE SPRINKLER RISER TOP OF TOP OF SHEATING FOOTING TOILET PAPER DISPENSER **APPLICABLE CODES** PROJECT DIRECTORY **VICINITY MAP** SURVEY SU-1 |•| TRANSFORMER **GAUGE** TOP OF SLAB **GALLON** TOP OF PLATE GALV GB GALVANIZED SAN FRANCISCO ZONING ORDINANCE & GENERAL PLAN GRAB BAR GLASS 2007 CALIFORNIA BUILDING CODE AS ADOPTED AND AMMENDED BY THE CITY OF GLU-LAM GLUE LAMINATED BEAM **UNLESS NOTED OTHERWISE GALVANIZED SHEET METAI** 2007 CALIFORNIA FIRE CODE AS ADOPTED AND AMMENDED BY THE CITY OF SAN GYPSUM WALL BOARD VINYL COMPOSITION TILE VERTICAL **HOLLOW CORE VERTICAL GRAIN** ACCESSIBILITY: CALIFORNIA STATE TITLE 24 UNIFORM FEDERAL ACCESSIBILITY STANDARDS HDR **HEADER** VINYL WALL COVERING

2007 CALIFORNIA MECHANICAL CODE AS ADOPTED AND AMMENDED BY THE CITY OF

2007 CALIFORNIA PLUMBING CODE AS ADOPTED AND AMMENDED BY THE CITY OF

2007 CALIFORNIA ELECTRICAL CODE AS ADOPTED AND AMMENDED BY THE CITY OF

(FROM GOOGLE MAPS) - N.T.S

HDWR

HORIZ

INSUL

HM

HARDWARE

HORIZONTA

IRRIGATION

INSULATION

HOLLOW META

INNER DIMENSIC

WATER CLOSET

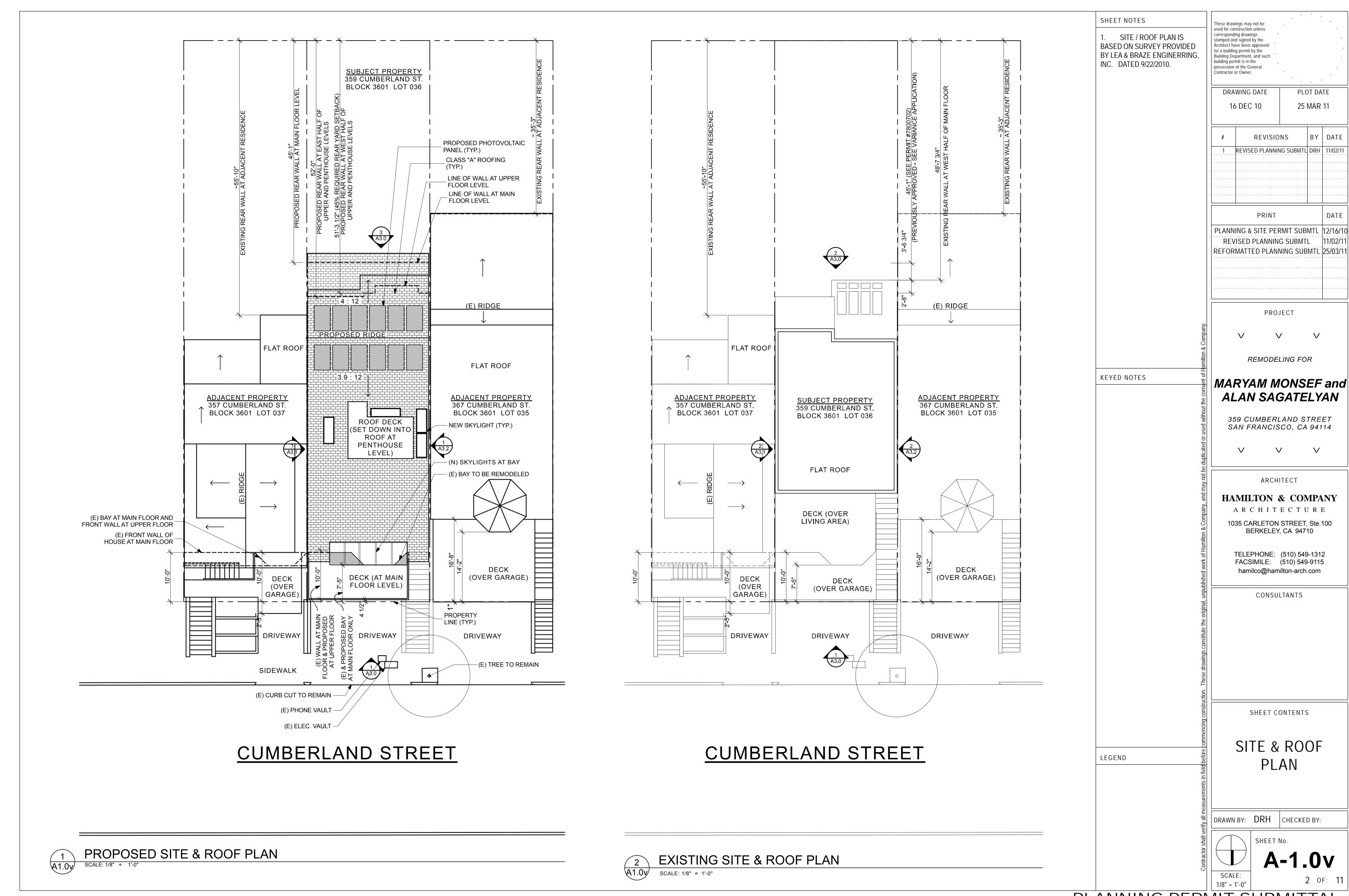
WATERPROOF

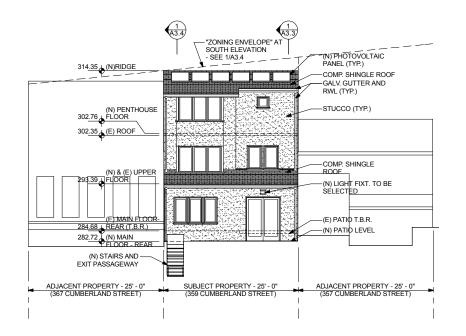
WWM WELDED WIRE MESH

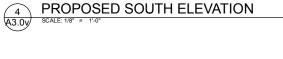
WATER RESISTANT
WELDED WIRE FABRIC

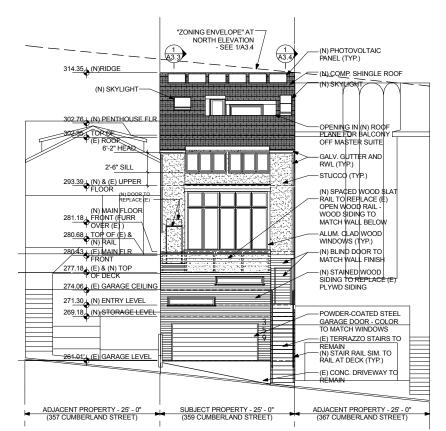
WOOD

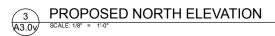
A-0.0

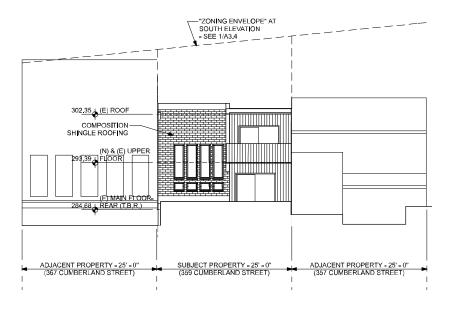






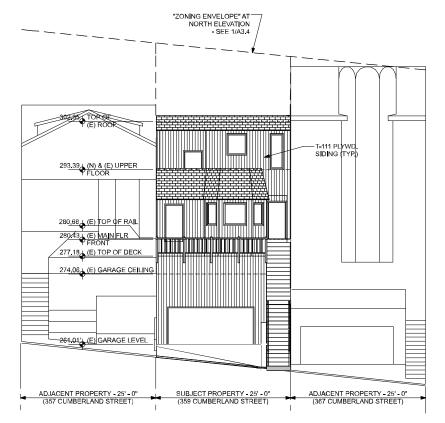






2 EXISTING SOUTH ELEVATION

A3.0y SCALE: 1/8" = 1'-0"



1 EXISTING NORTH ELEVATION

A3.00 SCALE: 1/8" = 1'-0"

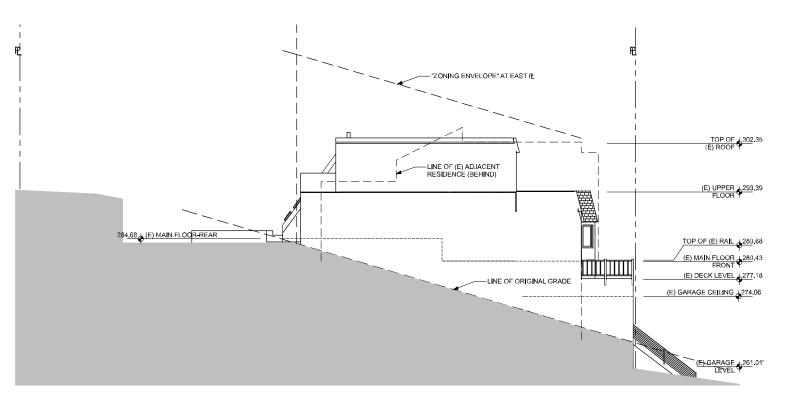
SHEET NOTES These drawings may not be used for construction unless corresponding drawings stamped and signed by the Architect have been approved for a building permit by the Building Department, and such building permit is in the possession of the General Contractor or Owner. DRAWING DATE PLOT DATE 16 DEC 2010 16 MAY 11 BY DATE REVISIONS REVISED PLANNING SUBMIT DRH 02/11/ REVISED PLANNING SUBMTL DRH 05/13/ PLANNING & SITE PERMIT SUBMTL 12/16/10 REVISED PLANNING SUBMTL REFORMATTED PLANNING SUBMTL REVISED PLANNING SUBMTL REVISED PLANNING SUBMITTAL 6/16/11 PROJECT V REMODELING FOR KEYED NOTES MARYAM MONSEF and **ALAN SAGATELYAN** 359 CUMBERLAND STREET SAN FRANCISCO, CA 94114 ARCHITECT HAMILTON & COMPANY ARCHITECTURE 1035 CARLETON STREET, Ste.100 BERKELEY, CA 94710 TELEPHONE: (510) 549-1312 FACSIMILE: (510) 549-9115 hamilco@hamilton-arch.com CONSULTANTS SHEET CONTENTS NORTH & SOUTH **EXTERIOR** LEGEND **ELEVATIONS** DRAWN BY: DRH | CHECKED BY:

SCALE:

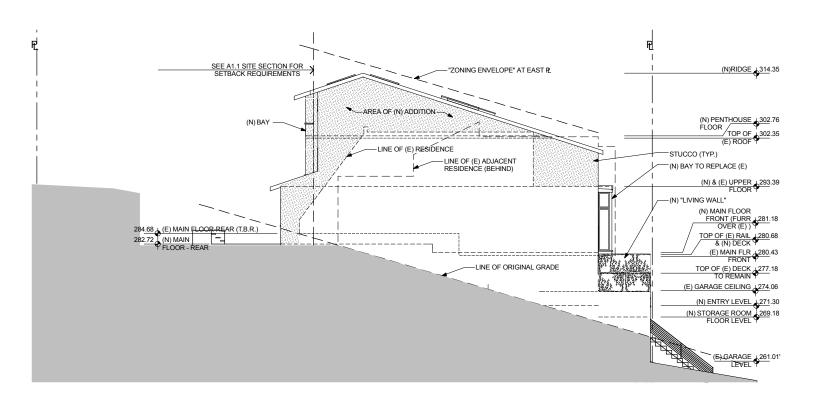
1/8" = 1'-0'

A3.0v

6 OF: 11



2 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

These drawings may not be used for construction unless corresponding drawings stamped and signed by the Architect have been approved for a building permit by the Building Department, and such building permit is in the possession of the General Contractor of Owner.

DRAWING DATE PLOT DATE

16 DEC 2010 13 MAY 11

REVISIONS BY DATE

1 REVISED PLANNING SUBMITL DRH 02/11/11

2 REVISED PLANNING SUBMITL DRH 06/13/11

 PRINT
 DATE

 PLANNING & SITE PERMIT SUBMTL
 12/16/10

 REVISED PLANNING SUBMTL
 02/11/11

 REFORMATTED PLANNING SUBMTL
 05/13/11

 REVISED PLANNING SUBMITTAL
 6/16/11

V V V

PROJECT

REMODELING FOR

MARYAM MONSEF and ALAN SAGATELYAN

359 CUMBERLAND STREET SAN FRANCISCO, CA 94114

V V

ARCHITECT

HAMILTON & COMPANY

ARCHITECTURE

1035 CARLETON STREET, Ste.100 BERKELEY, CA 94710

TELEPHONE: (510) 549-1312 FACSIMILE: (510) 549-9115 hamilto@hamilton-arch.com

CONSULTANTS

SHEET CONTENTS

EAST EXTERIOR ELEVATIONS

DRAWN BY: DRH CHECKED BY:

SHEET NO.

A-3.1

A-3.1

